

ASSEMBLY / WAREHOUSE ADDITION

EXTRUNET AMERICA TECUMSEH FACILITY

903 INDUSTRIAL DRIVE TECUMSEH, MICHIGAN 49286

ABBREVIATIONS

A/C	AIR CONDITIONING
A.F.F.	ABOVE FINISH FLOOR
AGG	AGGREGATE
ALT.	ALTERNATE
ALUM.	ALUMINUM
AMP.	AMPERES
AN	ALUMINUM
APPROX.	APPROXIMATE
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLK'G.	BLOCKING
BOT.	BOTTOM
B.W.	BOTH WAYS
C/C	CENTER TO CENTER
C.J.	CONTROL JOINT
C.L.	CENTER LINE
CLG.	CILING
CONTR.	CENTER
C.O.	CLEAN OUT
COL.	COLUMN
CONC.	CONCRETE
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
C.T.	CERAMIC TILE
CR	COLD WATER
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
D.S.	DOWNSPOUT
DWG.	DRAWING
EL.	ELEVATION
ELEC.	ELECTRIC
ELEV.	ELEVATION
EPS	EXPANDED POLYSTYRENE
E.W.	EACH WAY
EWG	ELECTRIC WATER COOLER
EXIST'G	EXISTING
EXP. JT.	EXPANSION JOINT
F.D.	FLOOR DRAIN
FIN.	FINISH
F.L.R.	FLOOR
F.T.	FEET
F.S.	FLOOR SINK
FTG.	FOOTING
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
G.W.B.	GYPSUM WALL BOARD
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
H.P.	HORSEPOWER
HT.	HEIGHT
HYAC	HEATING, VENTILATION, AND AIR CONDITIONING
H.W.	HOT WATER
ID.	INSIDE DIAMETER
IN.	INCH
INFO.	INFORMATION

INFORMATION

PROJECT LOCATION
EXTRUNET AMERICA
903 INDUSTRIAL DRIVE
TECUMSEH, MICHIGAN 49286

BUILDING OWNER:
EXTRUNET AMERICA
903 INDUSTRIAL DRIVE
TECUMSEH, MICHIGAN 49286

PROJECT ENGINEER
ARBOR CORPORATION
3112 SPRING HOLLOW CT.
ANN ARBOR, MI. 48105
PHONE NO. (734) 276-8672

GOVERNING AGENCIES
CITY OF TECUMSEH BUILDING AND ZONING DEPARTMENTS
COUNTY OF LENAWEE
STATE OF MICHIGAN

GENERAL CONTRACTOR
DAVENPORT BROTHERS CONSTRUCTION Co., INC.
301 INDUSTRIAL PARK DRIVE
BELLEVILLE, MICHIGAN 48111
PHONE NO. (734) 697-2994

CONTACT PERSON:
MR. HARLAN DAVENPORT
PRESIDENT
PHONE NO. (313) 218-0464

INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONALS, SITES OWNERS, MUNICIPALITY, COUNTY, STATE, AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATION OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS. THE PROPOSED PROJECT IS FOR A PRE-ENGINEERED BUILDING ADDITION FOR ASSEMBLY OF EXTRUSION MACHINERY AND WAREHOUSING OF THE SAME.

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NO HAZARDOUS MATERIALS AND/OR SUBSTANCES ARE TO BE STORED ON SITE. THE PROPERTY WILL HAVE WEEKLY TRASH DISPOSAL, AND ALL REFUSE IS TO BE STORED IN THE DUMPSTERS WITHIN THE FENCED AREA, LOCATED ON THE SOUTH SIDE OF THE EXISTING BUILDING.

PROJECT STATEMENT

DRAWING INDEX	T1.0	TITLE AND PROJECT INFORMATION SHEET
CIVIL DRAWINGS	C1	SITE PLAN
LANDSCAPE DRAWINGS	C2	TOPOGRAPHIC SURVEY PLAN
ARCHITECTURAL DRAWINGS	A1.0	PROPOSED FLOOR PLAN
	A2.0	BUILDING EXTERIOR ELEVATIONS

NO.	REVISIONS	DATE	BY
1	RELEASED FOR SITE PLAN REVIEW		
2			
3			
4			

**ASSEMBLY / WAREHOUSE ADDITION
EXTRUNET AMERICA**
903 INDUSTRIAL DR.
TECUMSEH, MICHIGAN

TITLE AND PROJECT INFORMATION

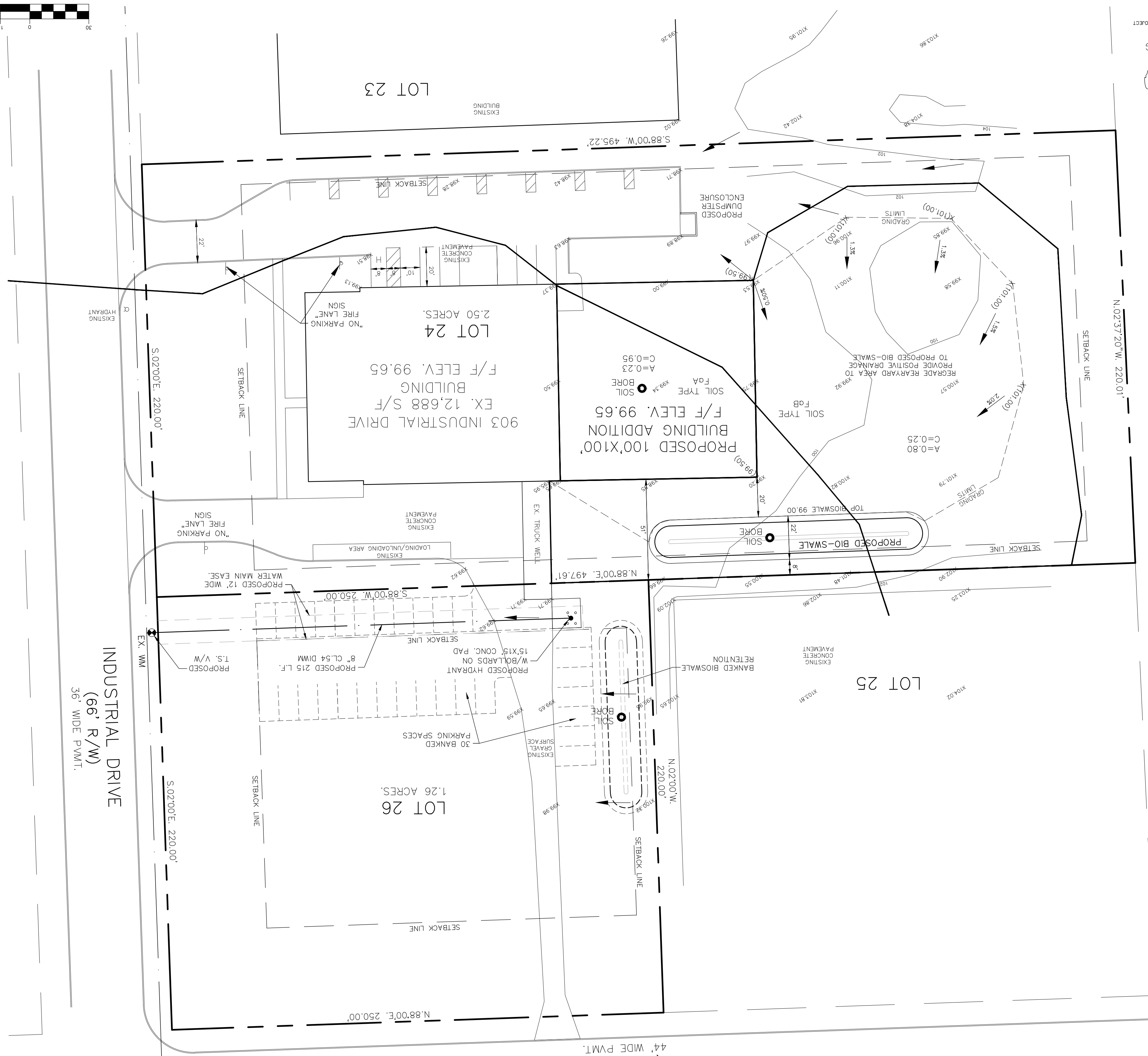
DESIGNED BY	LDW	DATE	MAY 2022
CHECKED BY	LDW	DATE	MAY 2022
SCALE	VARIES		
PROJECT	220420		
SHEET NO.	T1.0		

L. WARDEN, DESIGNER
LANCE WARDEN, BUILDING SPECIALIST L.L.C.
3819 PINENEW DRIVE EAST
DEXTER, MICHIGAN 48130
PHONE NO.: (734) 276-8672



811 (TOLL FREE)
3 WORKING DAYS BEFORE STARTING PUBLIC PROJECT

RAISIN CENTER HIGHWAY & PENN CENTRAL RAILROAD



LEGAL DESCRIPTION

PROVIDED BY CLIENT. A PARCEL OF LAND BEING LOCATED IN THE CITY OF TECUMSEH, COUNTY OF TENAWEE, STATE OF MICHIGAN; BEING CONTAINING 2.50 ACRES.
SUBJECT PROPERTY ZONED L1 (INDUSTRIAL DISTRICT)
ZONING AND SETBACKS

REAR	24'
SIDE	12'
FRONT	50'
BLDG. HEIGHT	40'
SETBACKS	
WEST	L1
EAST	L1
NORTH	L1
SOUTH	L1

REQUIRED NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF TECUMSEH.
2. THE DEVELOPER IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE DEVELOPERS ACTIONS.
ADJOINING PROPERTY ZONING:
NORTH L1
EAST L1
SOUTH L1
REAR 24'

REQUIRED PARKING

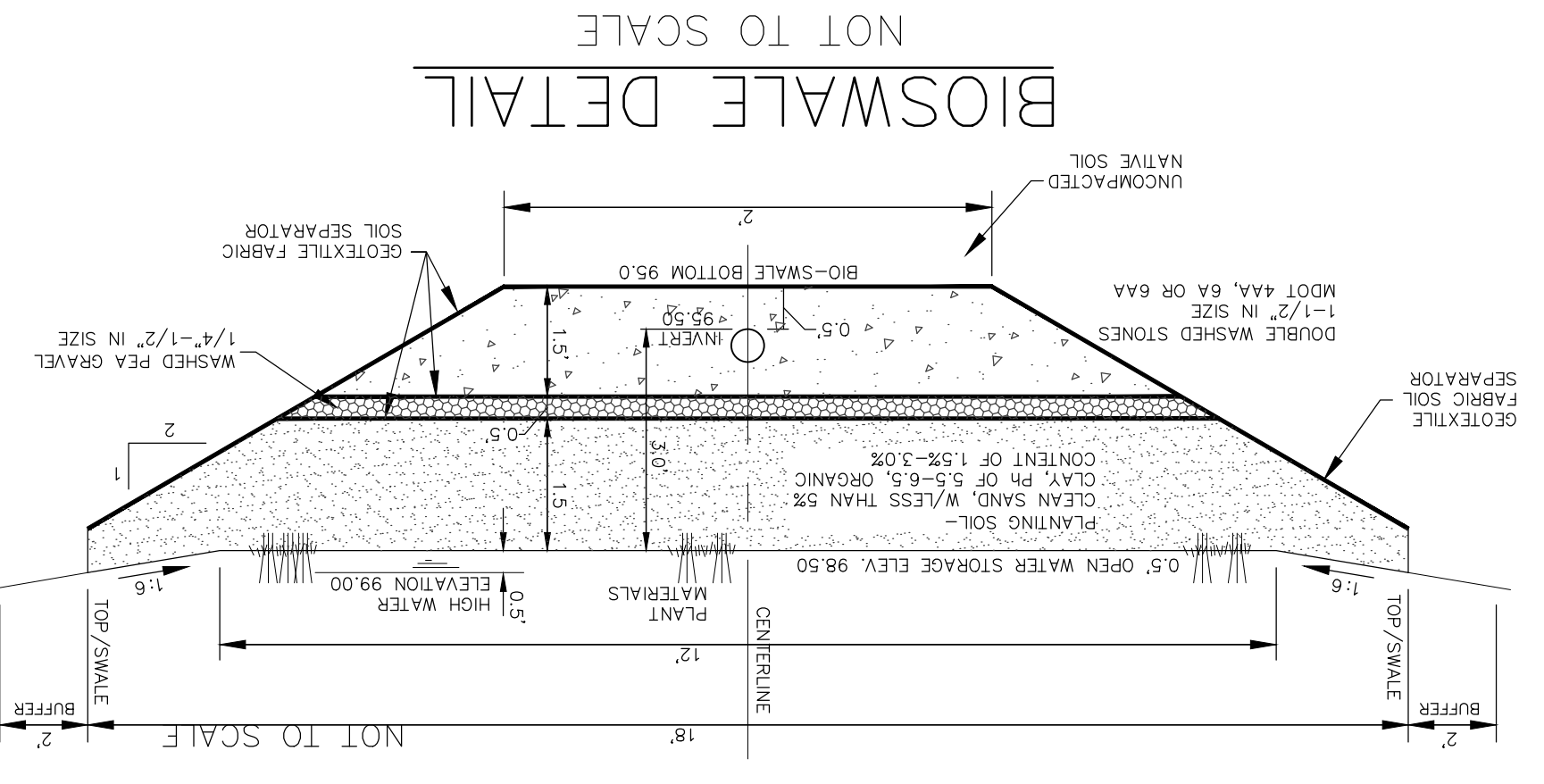
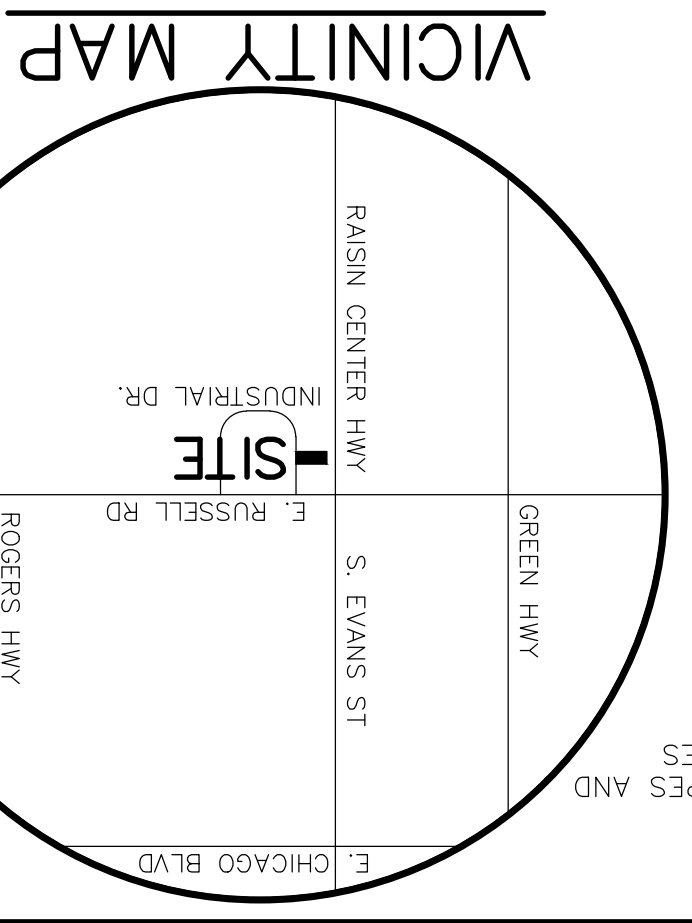
20,000 S/F SHOP / 550 = 36.4 ~ 37
2,680 S/F OFFICE / 350 = 7.7 ~ 8
TOTAL SPACES REQUIRED = 45
14 REGULAR SPACES
30 BANKED SPACES
45 TOTAL SPACES

SITE DATA

PER US SOIL SURVEY THE SITE IS COMPRISED OF F84 FOX COBBLY GRAVELLY LOAM, 3 TO 7 PERCENT SLOPES AND F84 FOX COBBLY GRAVELLY LOAM, 3 TO 7 PERCENT SLOPES.
TOTAL EXISTING FLOOR AREA = 12,688 S/F
TOTAL PROPOSED FLOOR AREA = 22,688 S/F
TOTAL PROPOSED USABLE AREA = 21,448 S/F
14 REGULAR SPACES
30 BANKED SPACES
45 TOTAL SPACES

PROPERTY CONTACT

EXTRUNET AMERICA, INC
903 INDUSTRIAL DRIVE
TECUMSEH, MI 49286
(517) 301-5404
CONTACT: JENNIFER LAHRING
EMAIL: JENNIFER.LAHRING@EXTRUNET.COM



DESIGN CRITERIA

LAND USE SUMMARY

Land Characteristic	area (ac)	coefficient	weighted c
Water surface	0.00	1.00	0.00
Roofs	0.23	0.95	0.2185
Asphalt, concrete	0.00	0.90	0.00
Gravel	0.00	0.80	0.00
Soil A	0.00	0.15	0.00
Soil B	0.00	0.25	0.00
Soil C	0.80	0.30	0.24
Soil D	1.03	0.45	0.46
allowable outflow	0.445	cfs	
no outlet allowable	0.200	cfs	

ALLOWABLE OUTLET Co = 0.200 cfs

SOLUTION

Qo	0.424	cfs/imp. ac.
T	122.29	min.
Vs	10133.33	cfs
Vt	1875.45	cfs

Required Storage Volume (Vt) = 1875.45 ft³

Storage Volume Provided

bio-swale:	99.00	ft³
Depth area 2	3.5	ft³

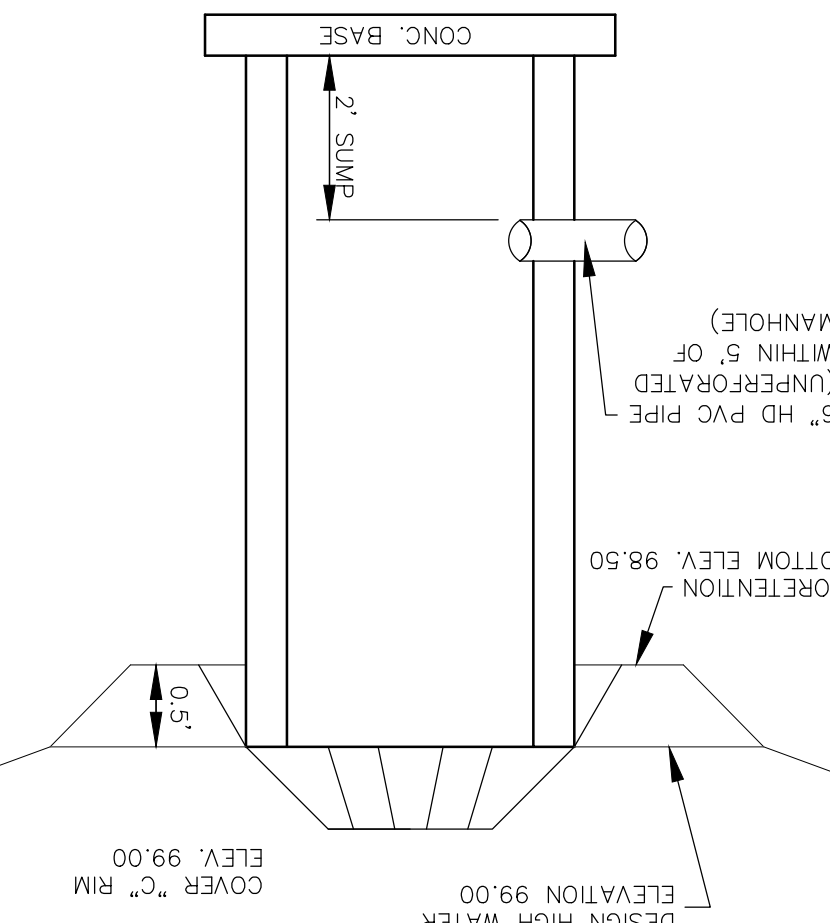
ENTER ELEV. AND AREA

ELEV.	AREA	VOLUME	CUM. VOL.	DEPTH
95.00	245.00	2325.00	2325.00	3.50
98.50	2.125.00	1779.61	4104.61	0.80
99.00	2.125.00	1279.61	5384.22	0.50
95.00	3.603.19	3603.19	9007.41	0.00

PROVIDED QUANTITY

depth at first layer (water depth) =	0.50	ft
storage volume layer 1 =	1279.61	ft³
storage area layer 2 =	3603.19	ft²
assume 20% storage within second layer =	720.64	ft³
Total quantity provided =	1875.45	ft³

2' DIA. BIODETENTION OVERFLOW INLET



DRAINAGE TYPES

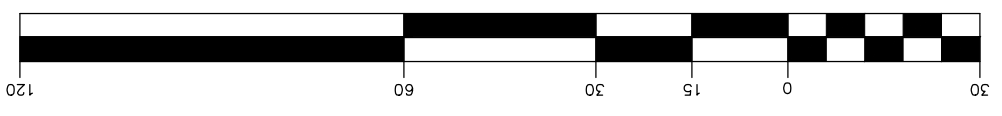
0.23 ACRES IMPERVIOUS (C=0.95)
0.80 ACRES PERVIOUS (C=0.25)
1.03 ACRES TOTAL (C=0.46)

LEGEND

X(000.00) EXISTING SPOT ELEVATION
X(000.00) PROPOSED SPOT ELEVATION

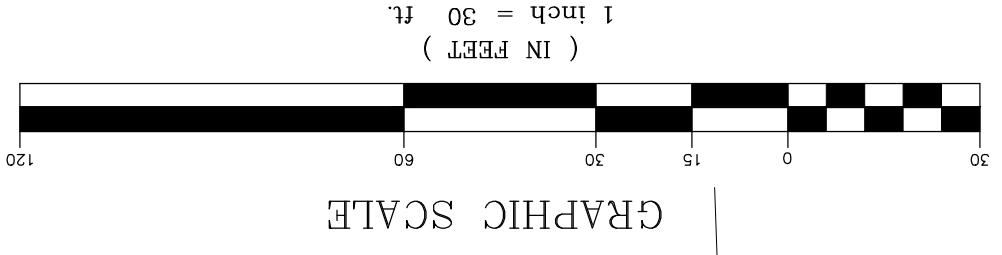
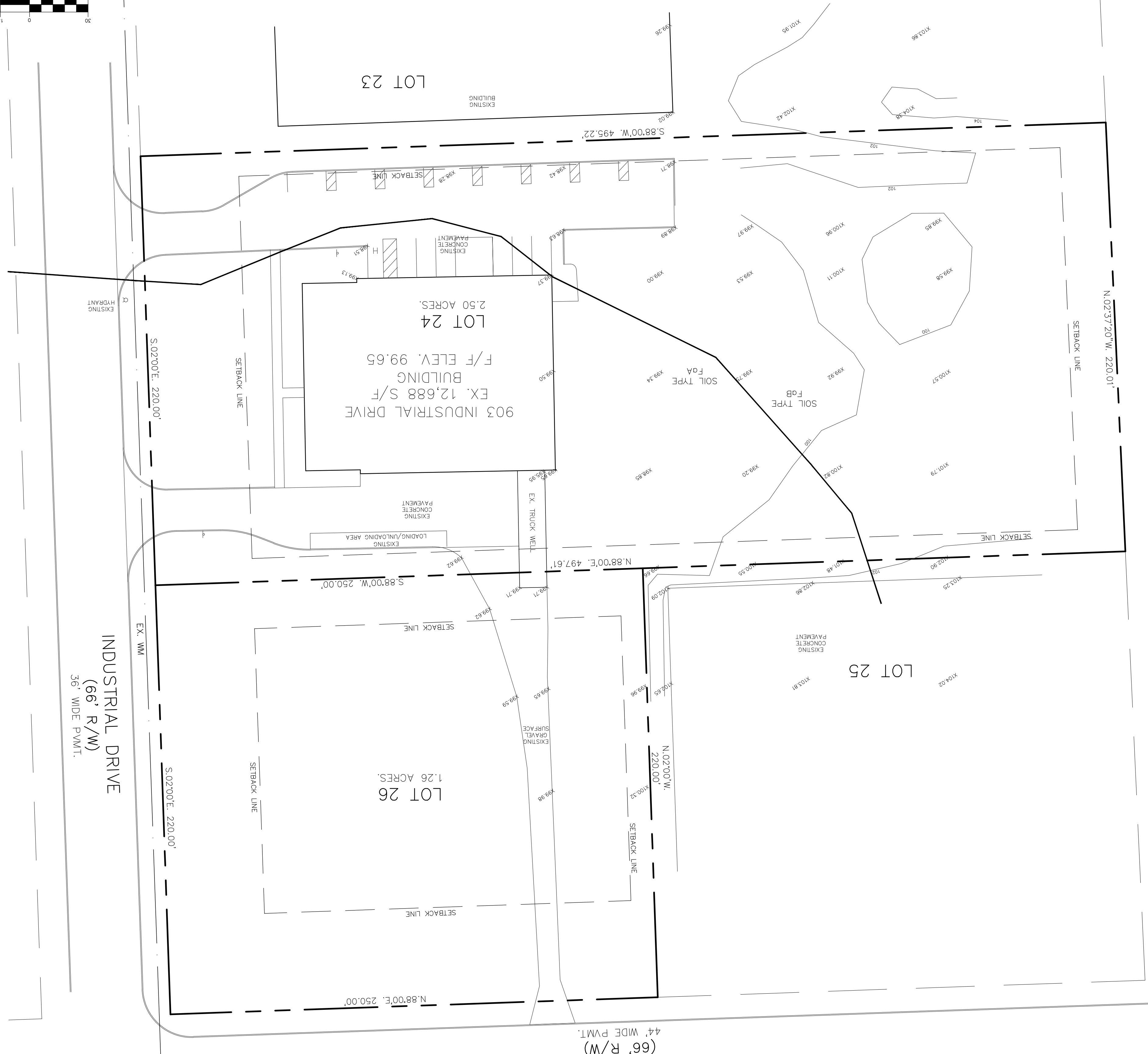
GRAPHIC SCALE

1 inch = 30 ft



SHEET NO. 1 OF 1
JOB NO. 2022-14
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]
DATE: 05-04-22
REVISIONS: 06-24-22
EXTRUNET AMERICA, INC
903 INDUSTRIAL DRIVE
TECUMSEH, MI 49286
SITE PLAN
CIVIL DESIGN SERVICES LLC
4996 MOORE ST. WYAND, MI 48184
(734) 756-2196
E-mail: khardy1964@hotmail.com

RAISIN CENTER HIGHWAY
& PENN CENTRAL RAILROAD



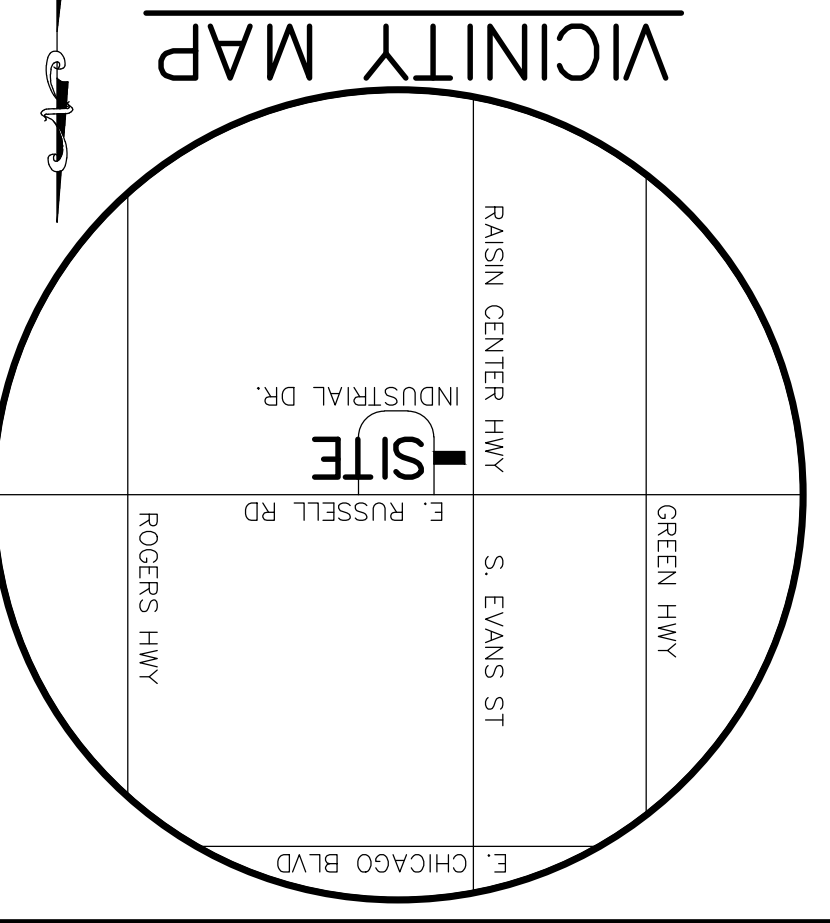
LEGEND
X000.00 EXISTING SPOT ELEVATION

LEGAL DESCRIPTION
PROVIDED BY CLIENT. A PARCEL OF LAND BEING LOCATED IN THE CITY OF TECUMSEH, COUNTY OF LENAWEE, STATE OF MICHIGAN; BEING DESCRIBED AS:
LOT 24 OF INDUSTRIAL PARK #1, CITY OF TECUMSEH,
SAID PARCEL CONTAINING 2.500 ACRES.
TAX ID #XT0-555-0240-00.
ALSO
LOT 26 OF INDUSTRIAL PARK #1, CITY OF TECUMSEH,
SAID PARCEL CONTAINING 1.26 ACRES.
TAX ID #XT0-555-0260-00.

ADJOINING PROPERTY ZONING:
NORTH L1
EAST L1
WEST L1
REAR SIDE 24'
FRONT 50'
BLDG. HEIGHT 40'
SETBACKS

ZONING AND SETBACKS

PROPERTY CONTACT
EXTRUNET AMERICA, INC
903 INDUSTRIAL DRIVE
TECUMSEH, MI 49286
(517) 301-5404
CONTACT: JENNIFER LAHRING
EMAIL: JENNIFER.LAHRING@EXTRUNET.COM



SHEET NO. 2 OF 2
JOB NO. 2022-14
DRAWING NO. A-
DATE 05-04-22
REVISIONS 06-24-22
DRAWN BY: [Name]
CHECKED BY: [Name]

EXTRUNET AMERICA, INC
903 INDUSTRIAL DRIVE
TECUMSEH, MI 49286

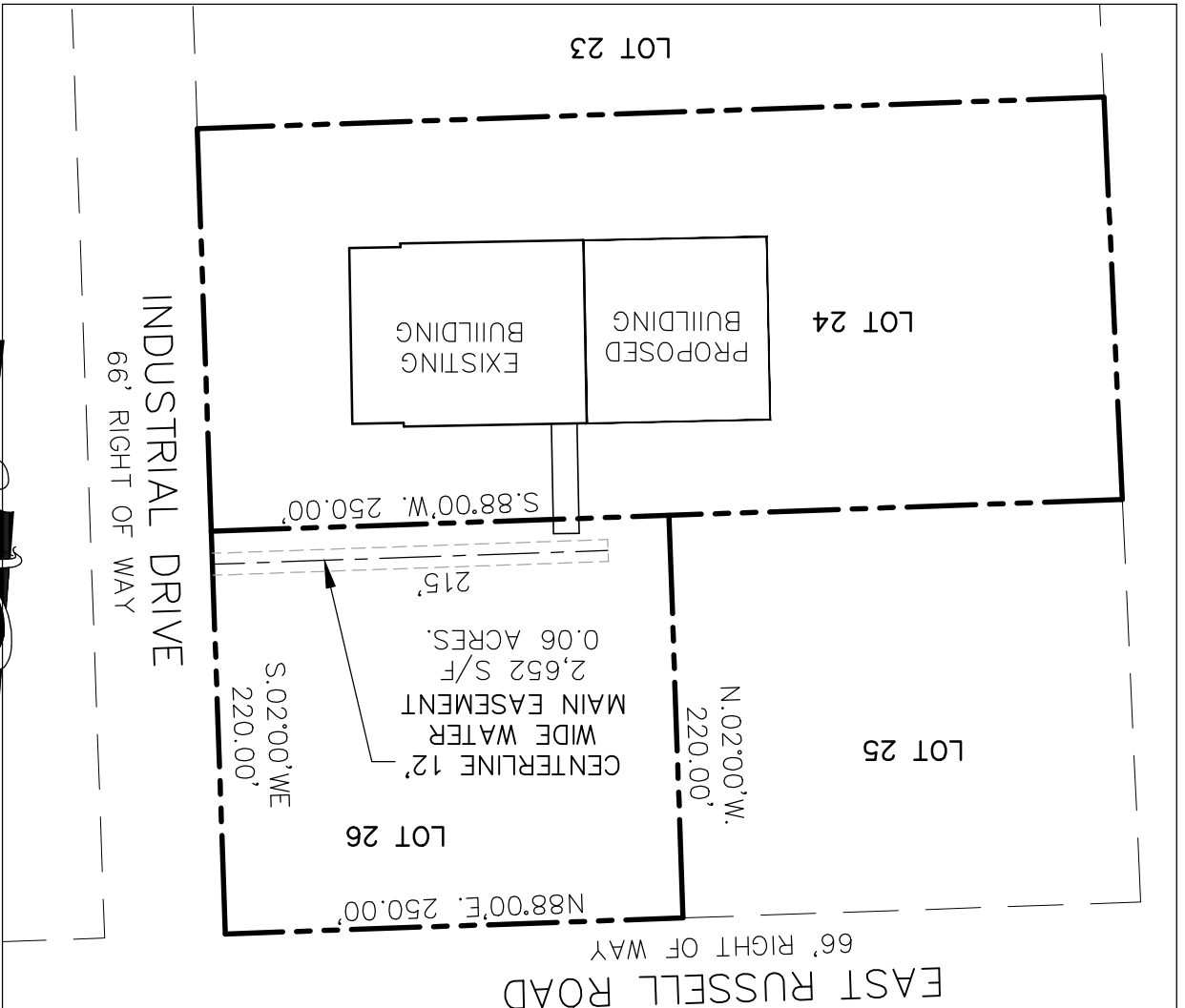
TOPOGRAPHIC SURVEY PLAN

HARDY CIVIL DESIGN SERVICES LLC
4996 MOORE ST. WAYNE, MI 48184
(734) 756-2196
E-mail: khardy1964@hotmail.com



811
(TOLL FREE)
3 WORKING DAYS
BEFORE STARTING YOUR PROJECT
MISS DIG
WHEN DIGGING
IN MICHIGAN, CALL
811 OR WORKING
ELECTRIC SERVICE
NEAR OPERATED
MICHIGAN, CALL

PROPOSED WATER MAIN EASEMENT



LEGAL DESCRIPTION

PARCEL:
 LOT 26 OF INDUSTRIAL PARK #1, CITY OF TECUMSEH, LENAWEE COUNTY, MI.
 SAID PARCEL CONTAINING 1.26 ACRES.
 TAX ID#XTO-555-0260-00.

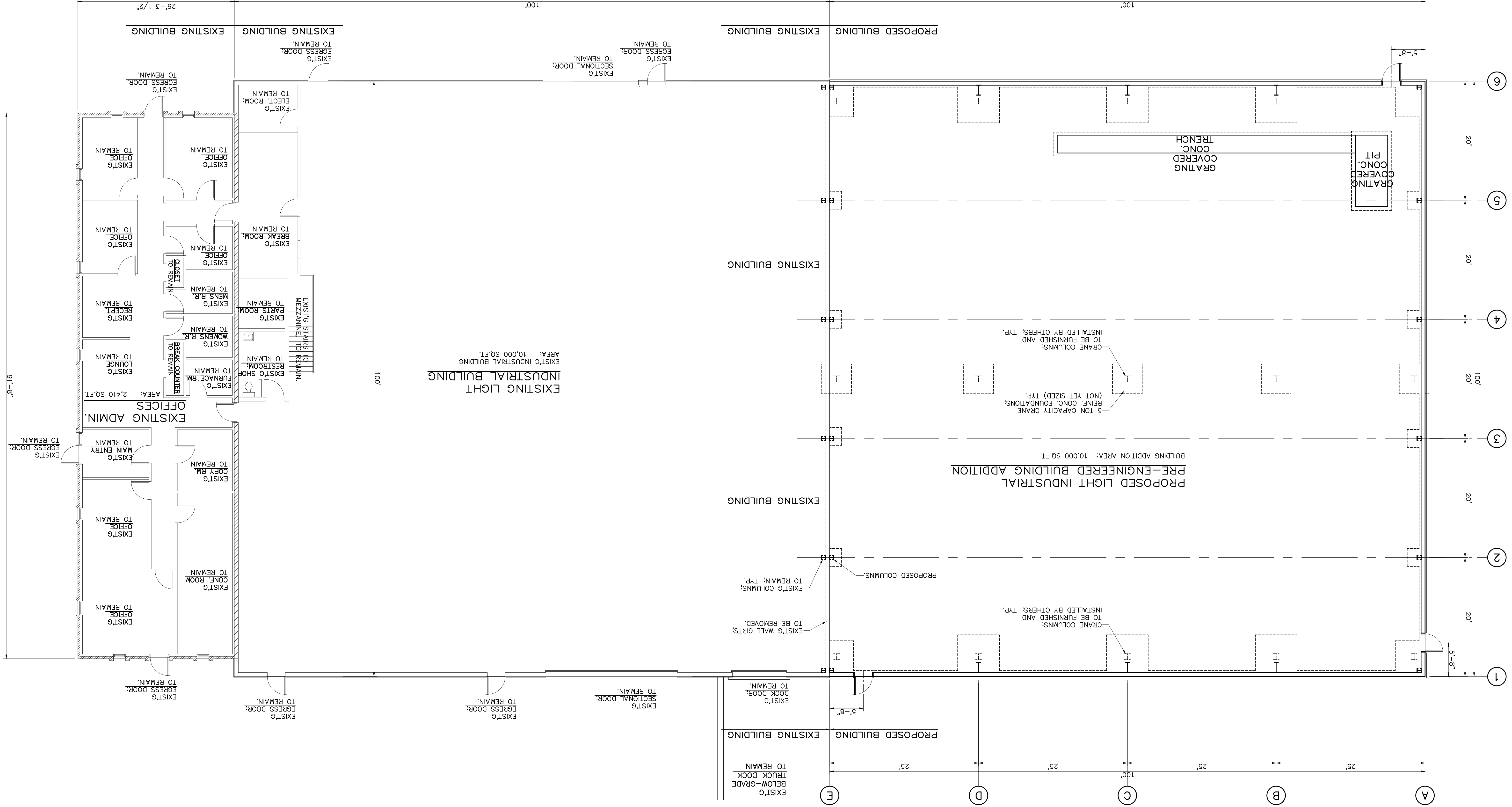
PROPOSED 12' WATER MAIN EASEMENT:

SAID EASEMENT BEING THE NORTHERLY 12 FEET OF THE SOUTHERLY 24 FEET OF THE EASTERLY 216.00 FEET OF LOT 26 OF INDUSTRIAL PARK #1, CITY OF TECUMSEH, LENAWEE COUNTY, MI.
 SAID EASEMENT CONTAINING 2,652 S/F - 0.06 ACRES.

WATER MAIN EASEMENT
12' WIDE EASEMENT
 903 INDUSTRIAL DRIVE
 CITY OF TECUMSEH,
 LENAWEE COUNTY, MI

DATE: 06-24-2022
 JOB NO. 2022-14
 DWG No. D-
 SHEET: 1 of 1
 SCALE: 1"=100'

HARDY
 CIVIL DESIGN
 SERVICES LLC
 4996 MOORE ST.
 WAYNE, MI 48184
 (734) 756-2196 // kbhardy1964@hotmail.com



PLAN LEGEND

- ROOM NAME AND NUMBER:
SEE ROOM FINISH SCHEDULE
ON SHEET A5.0.
- FENESTRATION NUMBER, BOTH
NEW AND EXISTING. SEE DOOR
SCHEDULE ON SHEET A5.0.
- PROPOSED WALLS:
SEE THE WALL TYPES DESCRIPTIONS
ON THIS SHEET.
- WALLS
PROPOSED
- WALL PARTITION TYPES:
SEE THE WALL TYPES DESCRIPTIONS
ON THIS SHEET.
- CONSTRUCTION NOTE:
SEE THE CONSTRUCTION NOTES
KEY ON THIS SHEET.

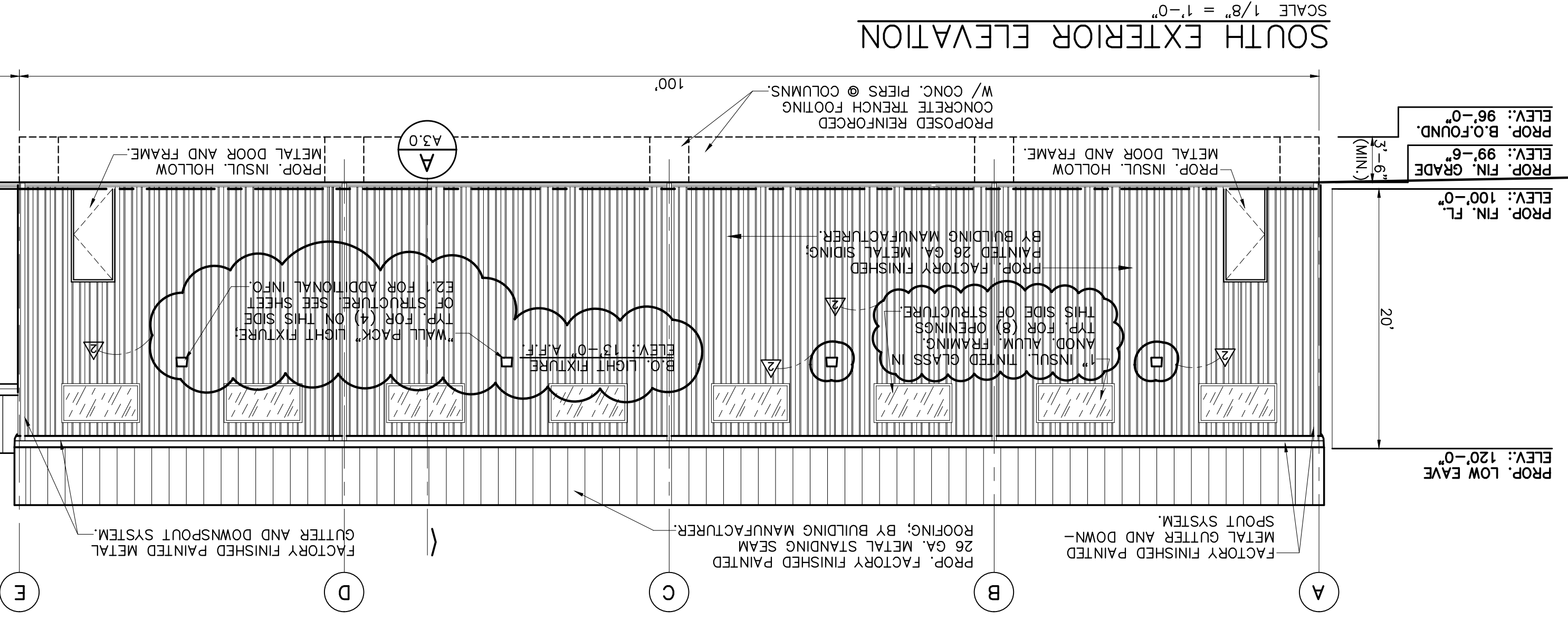
DESIGNED BY	LDW	DATE	MAY 2022
CHECKED BY	LDW	DATE	MAY 2022
DATE	MAY 2022	FILE	
SCALE	VARIES		
DRAWING			
PROJECT	220420		
SHEET NO.	A1.0		

WAREHOUSE BUILDING ADDITION
903 INDUSTRIAL DR.
TECUMSEH, MICHIGAN
FLOOR PLAN

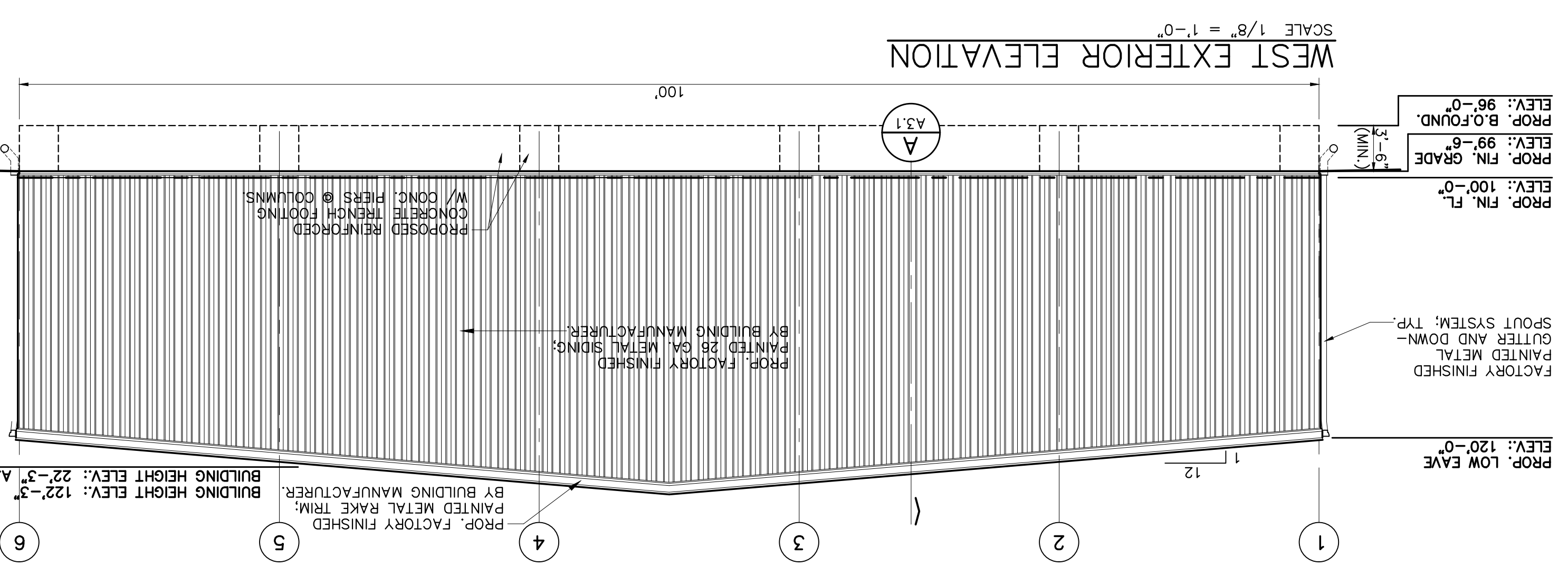
NO.	REVISIONS	DATE	BY
1	REVIEW ONLY	1/27/22	
2	REVISED PER MEETING W/ CLIENT	1/27/22	
3	ADDED EXIST'G BUILDING AREAS	4/1/22	
4			

REVISIONS IN ACCORDANCE WITH CONSTRUCTION RECORDS

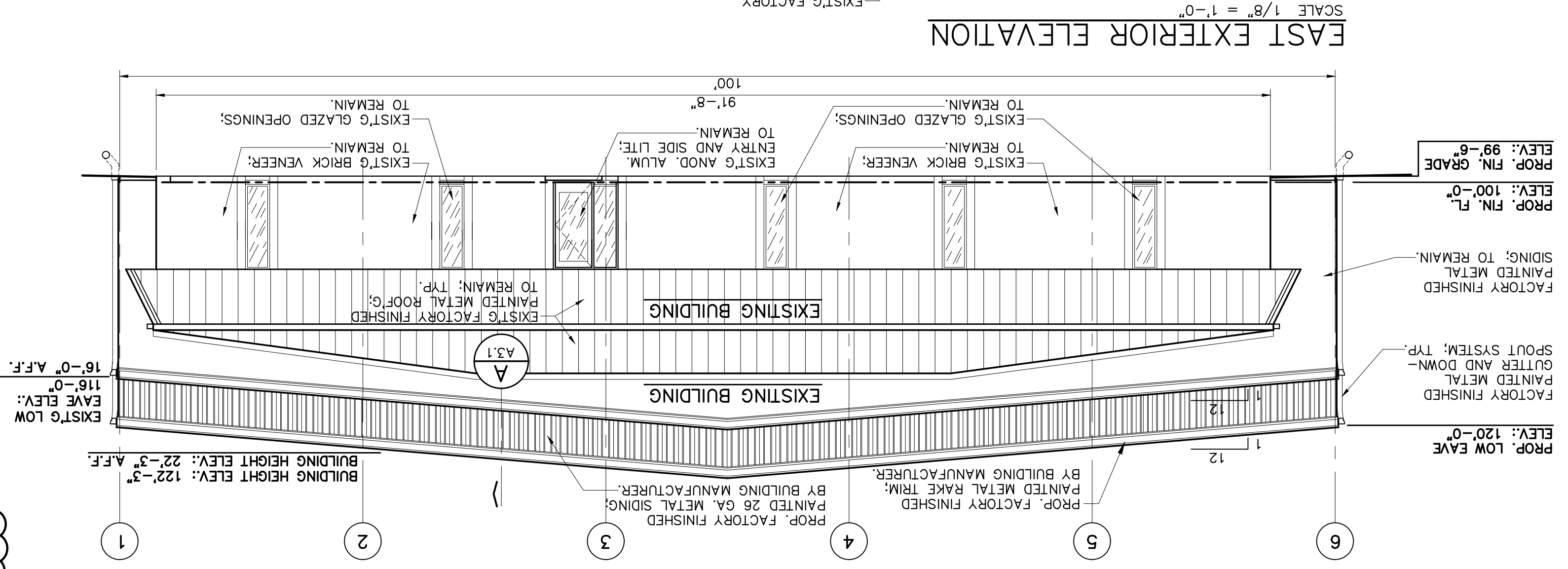
L. WARDEN, DESIGNER
LANCE WARDEN, BUILDING SPECIALIST L.L.C.
3819 PINEVIEW DRIVE EAST
DEXTER, MICHIGAN 48130
PHONE No.: (734) 276-8672



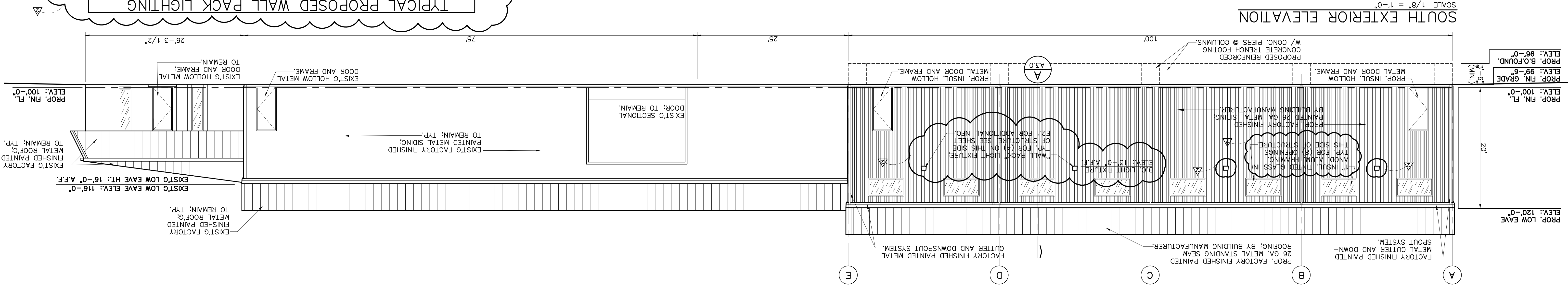
SOUTH EXTERIOR ELEVATION
SCALE 1/8" = 1'-0"



WEST EXTERIOR ELEVATION
SCALE 1/8" = 1'-0"



EAST EXTERIOR ELEVATION
SCALE 1/8" = 1'-0"



NORTH EXTERIOR ELEVATION
SCALE 1/8" = 1'-0"

BUILDING ADDITION EXTERIOR FINISHES

SIDING: 3'-26 GA. FACTORY FINISHED INSULATED STEEL PANELS, BY BUILDING MANUFACTURER. COLOR IS DARK GRAY (FORMAL).

TRIM: 26 GA. FORMED AND FACTORY FINISHED BY BUILDING MANUFACTURER. CORNERS, FLASHES, WINDOW AND DOOR TRIMS.

ROOF: 26 GA. GALVALUME STANDING SEAM AND FACTORY FINISHED PANELS.

BY BUILDING MANUFACTURER.

TYPICAL PROPOSED WALL PACK LIGHTING
SCALE N.T.S.

Lumecon LWP - FC - MN

Performance Data

The LWP-FC-MN is rated with a maximum lumen output of 1200 lumens per foot. The lumen output is based on a 1000-hour test. The lumen output is based on a 1000-hour test. The lumen output is based on a 1000-hour test.

Technical Specifications

Input Voltage: 120-277V or 347-480V

Power Factor: 0.95

Temperature: 2700K, 3000K, 4000K, 5000K, 6000K, 7000K, 8000K, 9000K, 10000K

Dimensions & Weights

Model	Width	Height	Depth	Weight
LWP-FC-MN-15	150W HID	1.633 Lm	1.13 Lm	1.13 Lm
LWP-FC-MN-25	150W HID	2.621 Lm	1.14 Lm	1.14 Lm
LWP-FC-MN-35	150W HID	3.609 Lm	1.15 Lm	1.15 Lm
LWP-FC-MN-45	150W HID	4.597 Lm	1.16 Lm	1.16 Lm
LWP-FC-MN-55	150W HID	5.585 Lm	1.17 Lm	1.17 Lm
LWP-FC-MN-65	150W HID	6.573 Lm	1.18 Lm	1.18 Lm
LWP-FC-MN-75	150W HID	7.561 Lm	1.19 Lm	1.19 Lm
LWP-FC-MN-85	150W HID	8.549 Lm	1.20 Lm	1.20 Lm
LWP-FC-MN-95	150W HID	9.537 Lm	1.21 Lm	1.21 Lm
LWP-FC-MN-105	150W HID	10.525 Lm	1.22 Lm	1.22 Lm

Description

The LWP-FC-MN is a high-performance LED wall pack lighting fixture. It is designed for outdoor use and is suitable for a variety of applications. The fixture is made of aluminum and is available in a variety of finishes. The fixture is designed to be mounted to a wall or post and is suitable for use in a variety of environments.

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L. WARDEN, DESIGNER
LANE WARDEN, BUILDING SPECIALIST LLC.
3819 PINEVIEW DRIVE EAST
DEXTER, MICHIGAN 48130
PHONE NO.: (734) 276-8672

REVISIONS

NO.	DATE	BY	REVISIONS
1	4/2/22		REVIEW ONLY
2	6/20/22		REVIEW PER MICHIGAN 6/20/22 REVIEW COMMENT LETTER.
3			
4			

ASSEMBLY / WAREHOUSE BUILDING ADDITION
903 INDUSTRIAL DR.
TECHUMSEH, MICHIGAN

BUILDING ELEVATIONS

DESIGNED BY: LDW
DATE: MAY 2022
CHECKED BY: LDW
DATE: MAY 2022
SCALE: VARIES
PROJECT: 220420
SHEET NO.: A2.0

