

**ISSUED FOR: SHELL PERMIT ONLY**



**37611 CHERRY HILL, WESTLAND, MI**

**OWNER:**  
**WESTLAND PRINCIPLES, L.L.C**  
 KINSHIP CULTIVATION FACILITY  
 KINSHIP PROVISION STORE  
 ATTN. CURT MOLINO  
 26621 EAST RIVER ROAD  
 GROSSE ILE, MI 48138  
 (313) 218-4069  
 Curt.Molino@yahoo.com

**ARCHITECT:**  
**GUIDO ARCHITECTS INC.**  
 23419 FORD ROAD  
 DEARBORN, MICHIGAN 48128  
 (313) 274-7800  
 dkrestel@guidoarchitects.com

**CIVIL ENGINEERING:**  
**LANDMARK ENGINEERING**  
 HASSAN ODEH  
 9401 GENERAL DR.  
 PLYMOUTH, MICHIGAN 48170  
 (248) 557-3000  
 hodeh@landmarkengineeringco.com

**LANDSCAPE ARCHITECT:**  
**NAGY DEVLIN LAND DESIGN, LLC**  
 31736 WEST CHICAGO AVE.  
 LIVONIA, MICHIGAN 48150  
 (734) 634-9208

**CONTRACTOR:**  
**DAVENPORT BROTHERS CONSTRUCTION**  
 MARK DAVENPORT  
 301 INDUSTRIAL PARK DR.  
 BELLEVILLE, MICHIGAN 48111  
 (734) 697-2994  
 mark@davenportbrothers.com



**CODE INFORMATION**

APPLICABLE CODES: 2015 MICHIGAN BUILDING CODE  
 2015 MICHIGAN PLUMBING CODE  
 2015 MICHIGAN MECHANICAL CODE  
 2014 NATIONAL ELECTRICAL CODE  
 with PART 8 RULES  
 2015 INTERNATIONAL FIRE CODE  
 2018 NFPA 101  
 STATE OF MICHIGAN BUREAU OF FIRE SERVICES RULES

ACCESSIBILITY: ANSI 117.1 - 2009

PROVISIONING STORE:  
 AREA AND HEIGHT- 6,080 S.F. 17'-0" / 25'-0" 1 STORY  
 USE GROUP: M, RETAIL  
 CONSTRUCTION TYPE: II B  
 RETAIL AREA- 2,786 S.F. / 60 (gross) S.F. PER PERSON = 47 PERSONS  
 STOCK RM.- 1,145 S.F. / 300 (gross) S.F. PER PERSON = 4 PERSONS  
 RETAIL ACCESSORY AREAS- 1,149 S.F. / 100 (gross) S.F. PER PERSON = 12 PERSONS  
 TOTAL OCCUPANT LOAD = 63 PERSONS

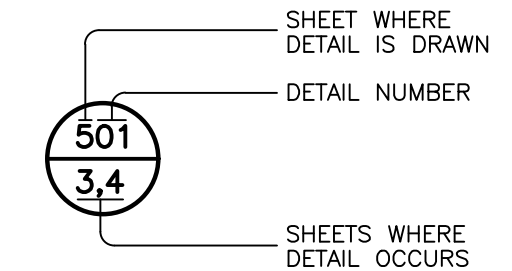
PLUMBING FIXTURE REQUIREMENTS:  
 RETAIL- 63 TOTAL OCCUPANTS- 32 MALES, 32 FEMALES  
 WATER CLOSETS-  
 1/500 MALE AND FEMALE = 2  
 TOTAL- 1 FOR MALES, 1 FOR FEMALES  
 LAVATORIES-  
 1/750 MALE AND FEMALE = 2  
 TOTAL- 1 FOR MALES, 1 FOR FEMALES  
 2 UNISEX TOILET RMS. PROVIDED  
 1 SERVICE SINK  
 1 DRINKING FOUNTAIN

CULTIVATION FACILITY:  
 AREA AND HEIGHT- 21,313 S.F. 20'-0" / 28'-0" 1 STORY  
 USE GROUP: F-1 (ACCESSORY BUSINESS AREA) GROW AND PROCESSING AREAS  
 CONSTRUCTION TYPE: II B  
 AUTOMATIC FIRE SUPPRESSION SYSTEM TO BE INSTALLED PER NFPA 13 AND STATE OF MI. B.F.S.  
 ODOR CONTROL MEASURES TO BE INSTALLED  
 250' EXIT ACCESS TRAVEL DISTANCE  
 50' MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE AT GROW ROOMS  
 OCCUPANT LOAD- GROW AND PROCESSING- 20,538 S.F. / 200 (gross) S.F. PER PERSON = 103 PERSONS  
 BUSINESS AREAS- 775 S.F. / 100 (gross) S.F. PER PERSON = 8 PERSONS  
 TOTAL OCCUPANT LOAD = 111 PERSONS

PLUMBING FIXTURE REQUIREMENTS:  
 F-1 USE - 111 OCCUPANTS - 56 MALES, 56 FEMALES  
 WATER CLOSETS-  
 1/100 MALE AND FEMALE = 2  
 TOTAL- 1 FOR MALES, 1 FOR FEMALES  
 LAVATORIES-  
 1/100 MALE AND FEMALE = 2  
 TOTAL- 1 FOR MALES, 1 FOR FEMALES  
 1 UNISEX TOILET RM. AND 1 MALE AND 1 FEMALE MULTI-OCCUPANT TOILET RMS. PROVIDED  
 1 SERVICE SINK  
 1 DRINKING FOUNTAIN



THE INTERNATIONAL SYMBOL OF ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED TO BE POSTED AS REQUIRED BY MICHIGAN STATE LAW.



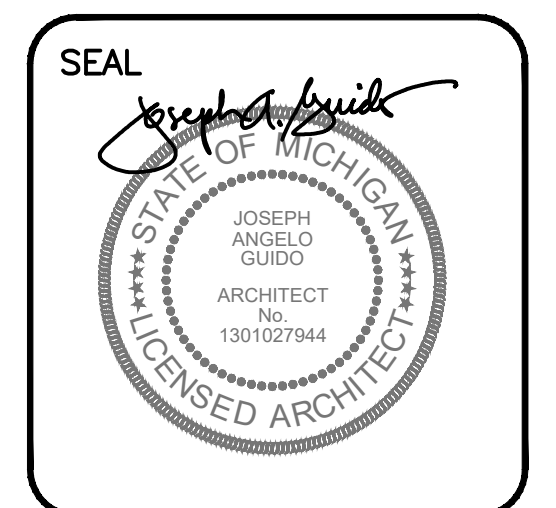
**SHEET INDEX:**

CIVIL / ARCHITECTURAL/ STRUCTURAL	
T-1	TITLE SHEET
1 (1 OF 2)	KEMTEC PARTIAL ALTA SURVEY
(1 OF 2)	(ALL PARCEL 3/PART PARCEL 2 BEFORE AMENDMENT)
2 (2 OF 2)	KEMTEC PARTIAL ALTA SURVEY
(2 OF 2)	(ALL PARCELS 1&2/PART PARCEL 3 BEFORE AMENDMENT)
ASP-1	ARCHITECTURAL SITE PLAN (WITH AMENDED PARCELS 2&3)
V-2	PHOTOMETRIC PLAN (21-69292V2)
LP-1	LANDSCAPE PLANTING PLAN
LP-2	LANDSCAPE NOTES AND DETAILS
C-0	COVER SHEET
C-1	GRADING AND EROSION CONTROL PLAN
C-2	LAYOUT PLAN
C-3	UTILITIES PLAN
C-4	RIGHT TURN DECELERATION LANE, DRIVE & CENTERLINE EXTENSION
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C-10	STORM MAINTENANCE EXHIBITS
C-11	WATER AND SANITARY EASEMENTS
TS-1	TOPOGRAPHIC SURVEY
1 OF 2	CITY OF WESTLAND SANITARY SEWER DETAILS SHT.1 OF 2
2 OF 2	CITY OF WESTLAND SANITARY SEWER DETAILS SHT.2 OF 2
1 OF 2	CITY OF WESTLAND STANDARD STORM SEWER DETAILS SHT.1 OF 2
2 OF 2	CITY OF WESTLAND STANDARD STORM SEWER DETAILS SHT.2 OF 2
1 OF 2	CITY OF WESTLAND STANDARD WATERMAIN DETAILS SHT.1 OF 2
2 OF 2	CITY OF WESTLAND STANDARD WATERMAIN DETAILS SHT.2 OF 2
F-1	PROVISION STORE FOUNDATION
F-2	CULTIVATION FACILITY FOUNDATION
S-1	PROVISION STORE STRUCTURAL FRAMING PLAN
S-2	CULTIVATION FACILITY STRUCTURAL PLAN
A-1	PROVISION STORE FLOOR PLAN
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A-3	PROVISION STORE ELEVATIONS
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A-6	PROVISION STORE SECTIONS
A-7	CULTIVATION FACILITY CROSS SECTION
A-8	CULTIVATION FACILITY CROSS SECTION

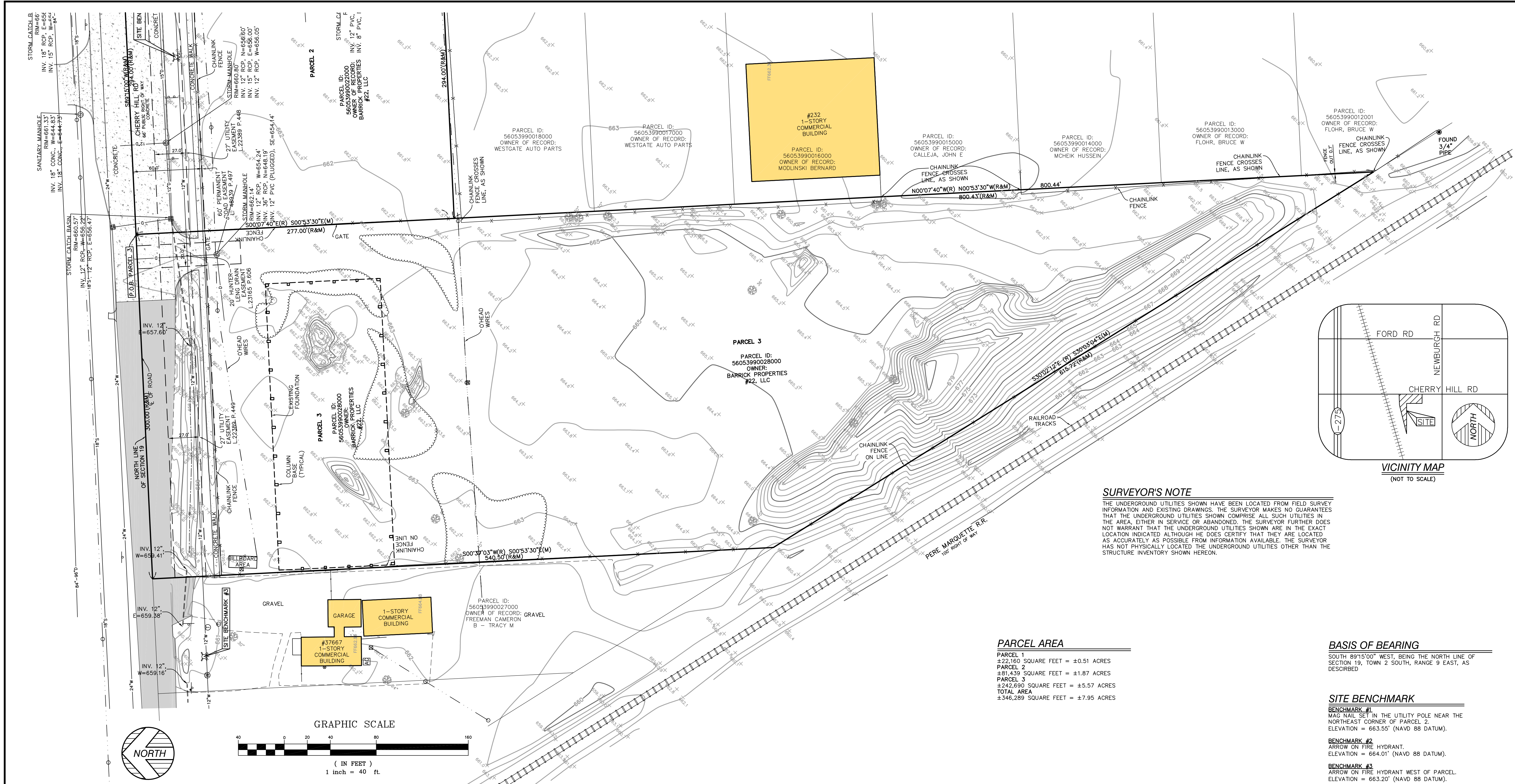
THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR MUNICIPALITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

ISSUED  
 SHELL ONLY PERMIT  
 08/26/2022

REVISED



JOB NO.  
**1821**  
 SHEET NO.  
**T-1**



**SURVEYOR'S NOTE**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

**PARCEL AREA**

PARCEL 1  
 22,160 SQUARE FEET = ±0.51 ACRES  
 PARCEL 2  
 81,439 SQUARE FEET = ±1.87 ACRES  
 PARCEL 3  
 242,690 SQUARE FEET = ±5.57 ACRES  
 TOTAL AREA  
 346,289 SQUARE FEET = ±7.95 ACRES

**BASIS OF BEARING**

SOUTH 89°15'00" WEST, BEING THE NORTH LINE OF SECTION 19, TOWN 2 SOUTH, RANGE 9 EAST, AS DESCRIBED

**SITE BENCHMARK**

**BENCHMARK #1**  
 MAG NAIL SET IN THE UTILITY POLE NEAR THE NORTHEAST CORNER OF PARCEL 2.  
 ELEVATION = 663.55' (NAVD 88 DATUM).  
**BENCHMARK #2**  
 ARROW ON FIRE HYDRANT.  
 ELEVATION = 664.01' (NAVD 88 DATUM).  
**BENCHMARK #3**  
 ARROW ON FIRE HYDRANT WEST OF PARCEL.  
 ELEVATION = 663.20' (NAVD 88 DATUM).

**PROPERTY DESCRIPTION**

PARCELS OF LAND SITUATED IN THE CITY WESTLAND, COUNTY OF WAYNE, STATE OF MICHIGAN, BEING DESCRIBED AS:

**PARCEL 1:**  
 THAT PART OF THE EAST 1/2 OF SECTION 19, TOWN 2 SOUTH, RANGE 9 EAST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID SECTION DISTANT SOUTH 89 DEGREES 15 MINUTES WEST 288.71 FEET FROM THE NORTHEAST CORNER OF SECTION 19 AND PROCEEDING THENCE SOUTH 89 DEGREES 15 MINUTES WEST ALONG SAID NORTH LINE 80 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 40 SECONDS EAST, 277 FEET; THENCE NORTH 89 DEGREES 15 MINUTES EAST 80 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 40 SECONDS WEST, 277 FEET TO THE POINT OF BEGINNING.

**PARCEL 2:**  
 THAT PART OF THE EAST 1/2 OF SECTION 19, TOWN 2 SOUTH, RANGE 9 EAST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID SECTION DISTANT SOUTH 89 DEGREES 15 MINUTES WEST 368.71 FEET FROM THE NORTHEAST CORNER OF SECTION 19 AND PROCEEDING THENCE SOUTH 89 DEGREES 15 MINUTES WEST (RECORDED AS SOUTH 89 DEGREES 43 MINUTES 50 SECONDS WEST) ALONG SAID NORTH LINE 300.00 FEET; THENCE SOUTH 00 DEGREES 37 MINUTES 03 SECONDS WEST (RECORDED AS SOUTH 00 DEGREES 24 MINUTES 40 SECONDS EAST) 540.50 FEET TO THE NORTHEASTERLY LINE OF PERE MARQUETTE RAILROAD RIGHT-OF-WAY; THENCE SOUTH 30 DEGREES 02 MINUTES 12 SECONDS EAST (RECORDED AS SOUTH 29 DEGREES 34 MINUTES 14 SECONDS EAST) ALONG SAID NORTHEASTERLY LINE 615.72 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 40 SECONDS WEST (RECORDED AS NORTH 00 DEGREES 24 MINUTES 40 SECONDS WEST) 1077.43 FEET TO THE POINT OF BEGINNING.

**PARCEL 3:**  
 THAT PART OF THE EAST 1/2 OF SECTION 19, TOWN 2 SOUTH, RANGE 9 EAST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID SECTION DISTANT SOUTH 89 DEGREES 15 MINUTES WEST 662.71 FEET FROM THE NORTHEAST CORNER OF SECTION 19 AND PROCEEDING THENCE SOUTH 89 DEGREES 15 MINUTES WEST (RECORDED AS SOUTH 89 DEGREES 43 MINUTES 50 SECONDS WEST) ALONG SAID NORTH LINE 300.00 FEET; THENCE SOUTH 00 DEGREES 37 MINUTES 03 SECONDS WEST (RECORDED AS SOUTH 00 DEGREES 24 MINUTES 40 SECONDS EAST) 540.50 FEET TO THE NORTHEASTERLY LINE OF PERE MARQUETTE RAILROAD RIGHT-OF-WAY; THENCE SOUTH 30 DEGREES 02 MINUTES 12 SECONDS EAST (RECORDED AS SOUTH 29 DEGREES 34 MINUTES 14 SECONDS EAST) ALONG SAID NORTHEASTERLY LINE 615.72 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 40 SECONDS WEST (RECORDED AS NORTH 00 DEGREES 24 MINUTES 40 SECONDS WEST) 1077.43 FEET TO THE POINT OF BEGINNING.

**TITLE REPORT NOTE**

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. C-147080, DATED JULY 7, 2017, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

K. PERMANENT ROAD EASEMENT AGREEMENT AS RECORDED IN LIBER 48939, PAGE 497, WAYNE COUNTY RECORDS. (AS SHOWN)

L. EASEMENT FOR WATER MAINS AS RECORDED IN LIBER 14713, PAGE 669, WAYNE COUNTY RECORDS, AS TO PARCELS 1 AND 2. (DOCUMENT IS ILLEGIBLE)

M. POLE LINE PERMIT TO THE DETROIT EDISON COMPANY AS RECORDED IN LIBER 11376, PAGE 191, WAYNE COUNTY RECORD, AS TO PARCELS 1 AND 2. (SEE DOCUMENT FOR TERMS AND CONDITIONS)

N. POLE LINE PERMIT TO THE DETROIT EDISON COMPANY AS RECORDED IN LIBER 11376, PAGE 192, WAYNE COUNTY RECORD, AS TO PARCEL 3. (SEE DOCUMENT FOR TERMS AND CONDITIONS)

O. EASEMENT TO MICHIGAN BELL TELEPHONE COMPANY AS RECORDED IN LIBER 22389, PAGE 447, WAYNE COUNTY RECORDS, AS TO PARCEL 1. (AS SHOWN)

P. EASEMENT TO MICHIGAN BELL TELEPHONE COMPANY AS RECORDED IN LIBER 22389, PAGE 448, WAYNE COUNTY RECORDS, AS TO PARCEL 2. (AS SHOWN)

Q. EASEMENT TO MICHIGAN BELL TELEPHONE COMPANY AS RECORDED IN LIBER 22389, PAGE 449, WAYNE COUNTY RECORDS, AS TO PARCEL 3. (AS SHOWN)

R. EASEMENT FOR HUNTER-LENG DRAIN AND BRANCHES AS RECORDED IN LIBER 23165, PAGE 606, WAYNE COUNTY RECORDS, AS TO PARCEL 3. (AS SHOWN)

**SURVEYOR'S CERTIFICATION**

TO CHIRCO TITLE AGENCY, INC.; FIDELITY NATIONAL TITLE INSURANCE COMPANY; AND KINSHIP CANNABIS CO.

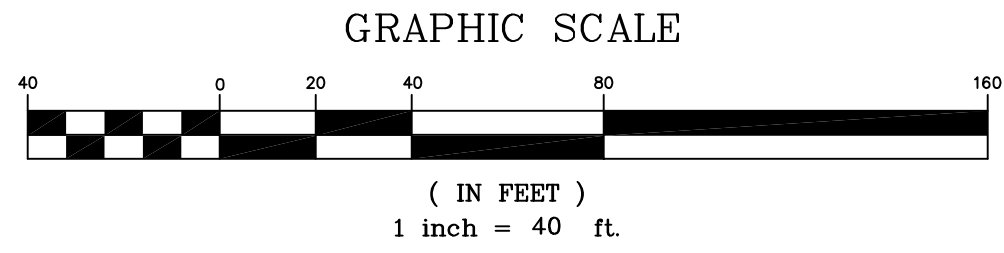
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 2, 4, 5, 7A, 8, 9, AND 11 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 12/08/20.

DATE OF PLAT OR MAP: 12/09/20

DANIEL J. JACKSON  
 PROFESSIONAL SURVEYOR  
 MICHIGAN LICENSE NO. 53499  
 22556 GRATIOT AVE., EASTPOINTE, MI 48021  
 djackson@kemtec-survey.com

**LEGEND**

●	FOUND MONUMENT (AS NOTED)	—	CONCRETE CURB
○	FOUND SECTION CORNER (AS NOTED)	—	EDGE OF CONCRETE (CONC.)
(R&M)	RECORD AND MEASURED DIMENSION	—	EDGE OF ASPHALT (ASPH.)
(R)	RECORD DIMENSION	—	EDGE OF GRAVEL
(M)	MEASURED DIMENSION	—	FENCE (AS NOTED)
X	GROUND ELEVATION	—	WALL (AS NOTED)
○	ELECTRIC METER	—	TREE / BRUSH LINE (AS NOTED)
○	UTILITY POLE	—	OVERHEAD UTILITY LINE
○	TELEPHONE MANHOLE	—	STORM LINE
○	CLEANOUT	—	WATER LINE
○	ROUND CATCH BASIN	—	CORRUGATED METAL PIPE (AS NOTED)
○	SQUARE CATCH BASIN	—	MINOR CONTOUR LINE
○	STORM DRAIN MANHOLE	—	MAJOR CONTOUR LINE
○	FIRE HYDRANT	—	BUILDING AREA
○	WATER GATE MANHOLE	—	ASPHALT
○	AIR CONDITIONING UNIT	—	CONCRETE
○	BOLLARD	—	
○	SINGLE POST SIGN	—	
○	DOUBLE POST SIGN	—	
○	DECIDUOUS TREE (AS NOTED)	—	
○	EXISTING COLUMN BASE	—	
—	PARCEL BOUNDARY LINE	—	
—	ADJOINER PARCEL LINE	—	
—	SECTION LINE	—	
—	EASEMENT (AS NOTED)	—	
—	BUILDING	—	



DATE	BY	REVISION	DESCRIPTION
01/15/21	DJ	3	ROTATE AND CHANGE SCALE OF DRAWING; REVISE PROPERTY LINE CALLS
12/21/20	JMH	1	REVISED UTILITIES AND TOPOGRAPHY
12/15/20	MRJ	2	REVISED UTILITIES
12/09/20	MRJ	1	DATE

SCALE: 1" = 30'

PRODUCT NOS: 20-03323

STORM CATCH BASIN  
 INV. 12' CONC. W=657.84'  
 INV. 12' CONC. E=657.89'  
 INV. 12' CONC. N=657.89'  
 INV. 12' CONC. S=657.89'

STORM CATCH BASIN  
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 INV. 12' CONC. E=657.89'  
 INV. 12' CONC. N=657.89'  
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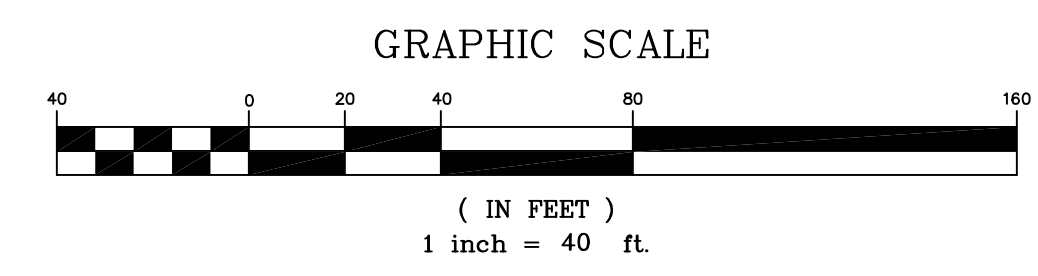
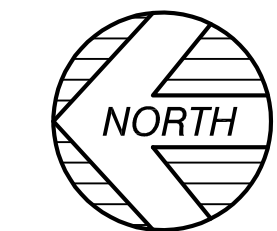
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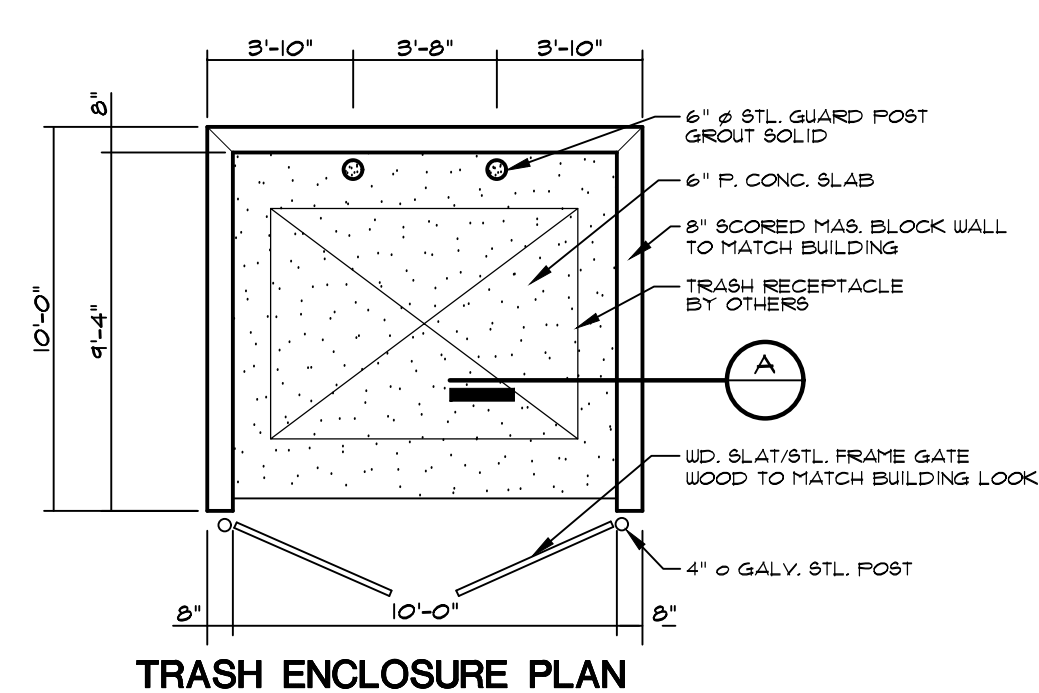
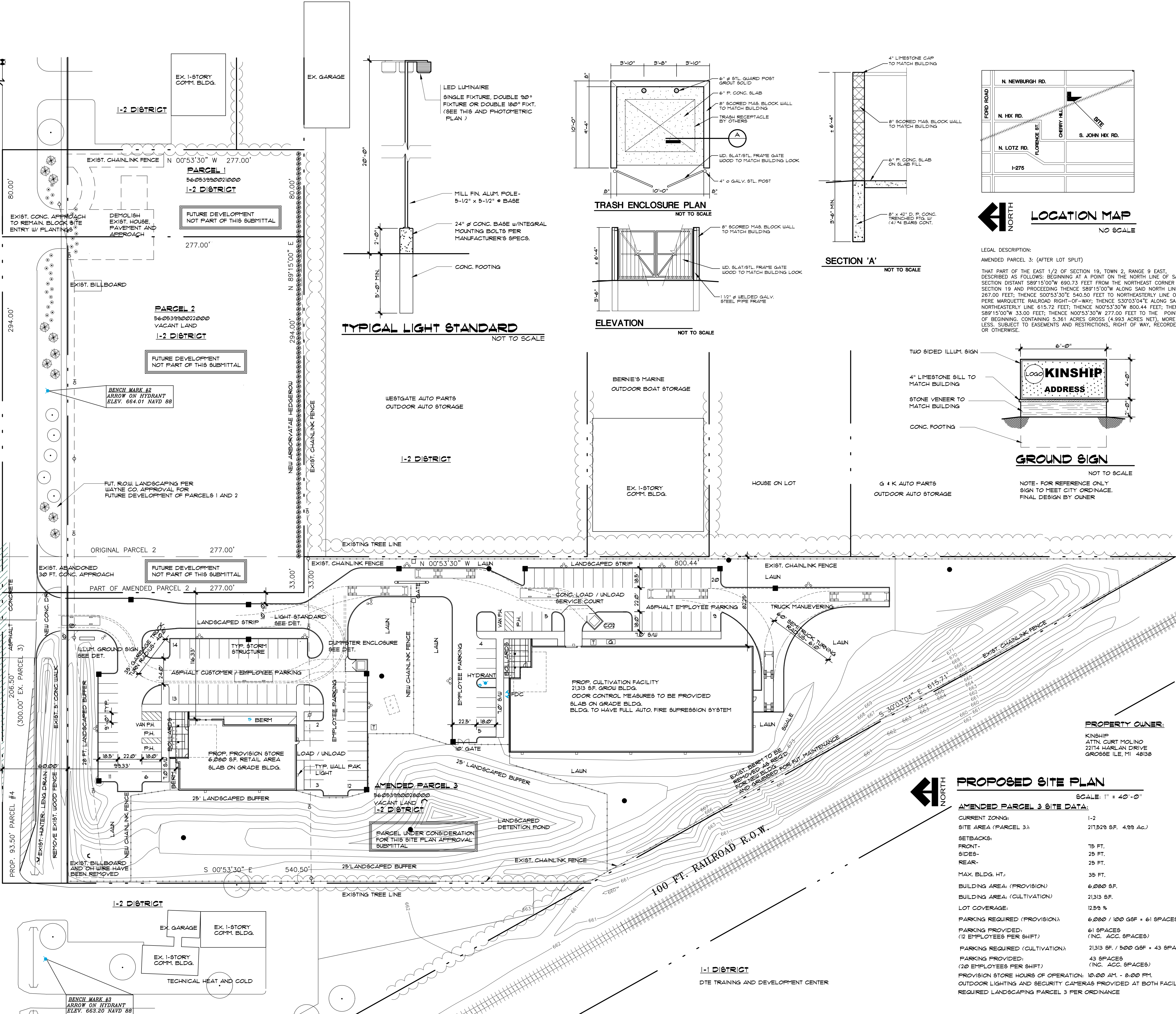
**LEGEND**

- FOUND MONUMENT (AS NOTED)
- (R&M) FOUND SECTION CORNER (AS NOTED)
- (R) RECORD AND MEASURED DIMENSION
- (M) MEASURED DIMENSION
- X 0.50 GROUND ELEVATION
- ELECTRIC METER
- UTILITY POLE
- TELEPHONE MANHOLE
- CLEANOUT
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- STORM DRAIN MANHOLE
- FIRE HYDRANT
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- AIR CONDITIONING UNIT
- BOLLARD
- SINGLE POST SIGN
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- DECIDUOUS TREE (AS NOTED)
- EXISTING COLUMN BASE
- PARCEL BOUNDARY LINE
- - - ADJOINER PARCEL LINE
- - - SECTION LINE
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- BUILDING
- CONCRETE CURB
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF GRAVEL
- - - FENCE (AS NOTED)
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- WATER LINE
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- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE

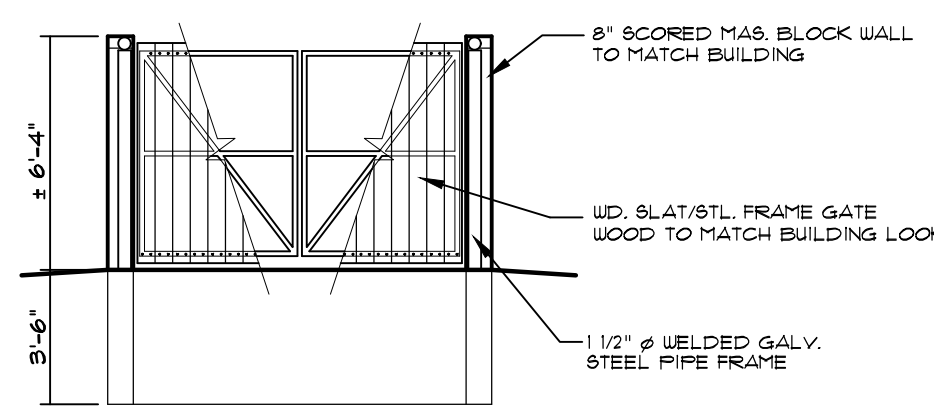
**ALTA / NSPS LAND TITLE SURVEY**  
 PREPARED FOR: KINSHIP CANNABIS CO  
 37435 CHERRY HILL RD, WESTLAND, MICHIGAN,  
 PART OF SECTION 19,  
 TOWN 2 SOUTH, RANGE 9 EAST

DATE	BY	REVISION	DESCRIPTION
01/15/21	DJ	3	ROTATE AND CHANGE SCALE OF DRAWING, REVISE PROPERTY LINE CALLS
12/21/20	JMH	2	REVISED UTILITIES AND TOPOGRAPHY
12/15/20	MRJ	1	REVISED UTILITIES

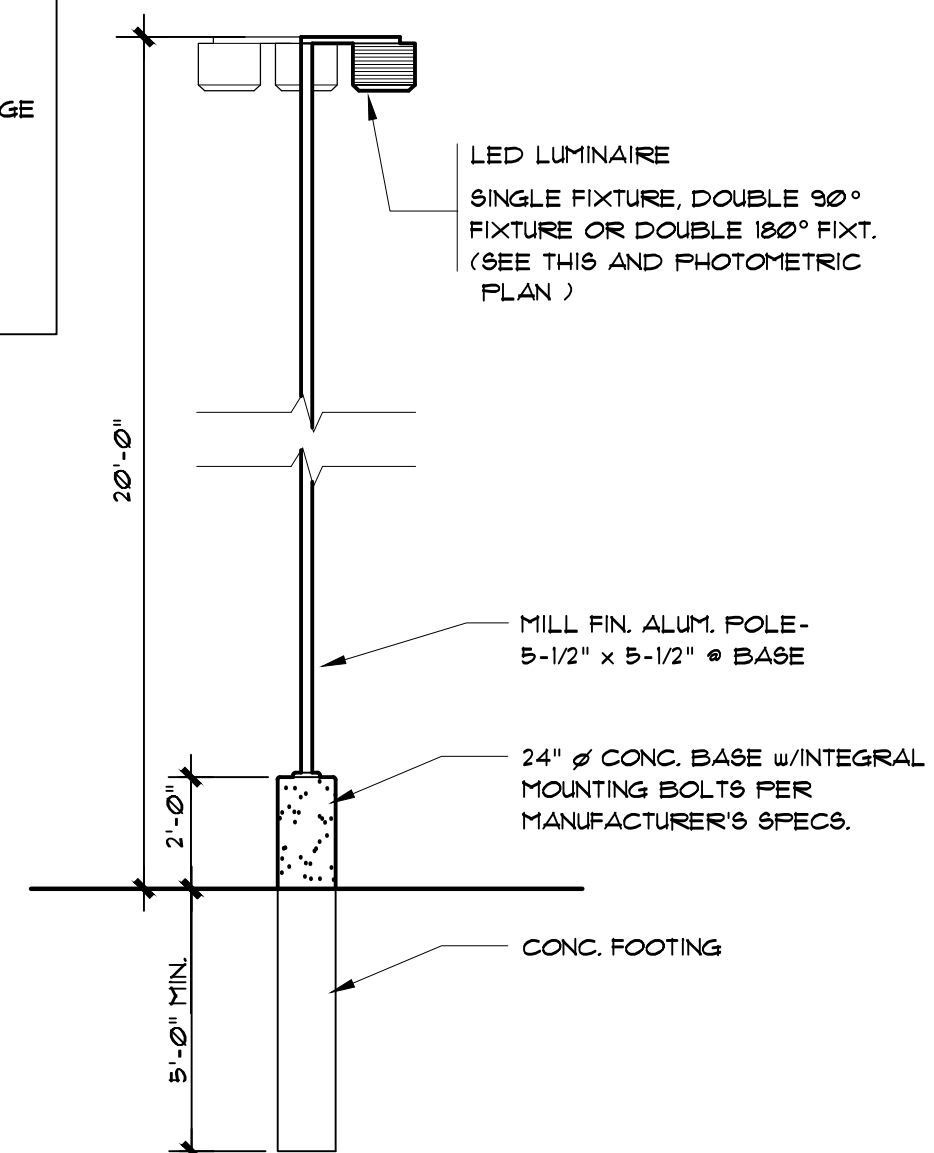
POINT OF COMMENCEMENT  
NORTHEAST CORNER  
OF SECTION 19  
TOWN 2 SOUTH  
RANGE 9 EAST



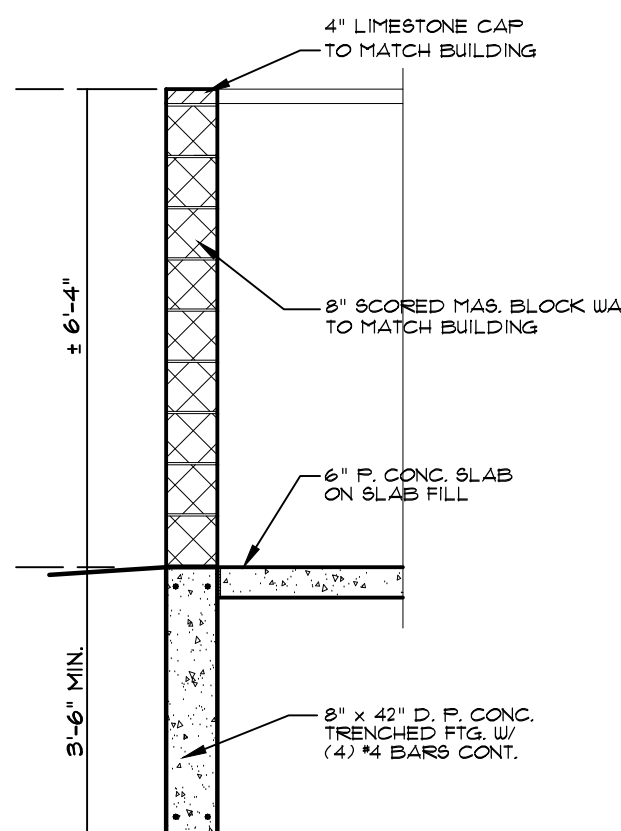
TRASH ENCLOSURE PLAN  
NOT TO SCALE



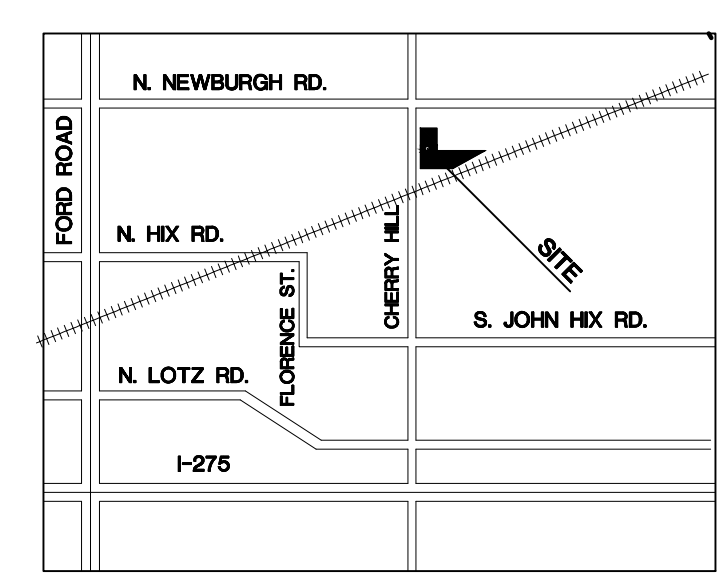
ELEVATION  
NOT TO SCALE



TYPICAL LIGHT STANDARD  
NOT TO SCALE

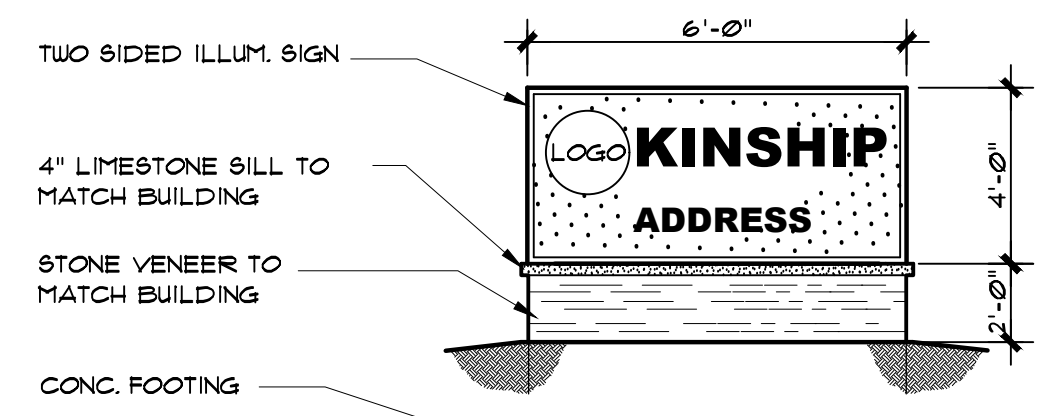


SECTION 'A'  
NOT TO SCALE



LOCATION MAP  
NO SCALE

LEGAL DESCRIPTION:  
AMENDED PARCEL 3: (AFTER LOT SPLIT)  
THAT PART OF THE EAST 1/2 OF SECTION 19, TOWN 2, RANGE 9 EAST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID SECTION 19 DISTANT S89°15'00"W 690.73 FEET FROM THE NORTHEAST CORNER OF SECTION 19 AND PROCEEDING THENCE S89°15'00"W ALONG SAID NORTH LINE 287.00 FEET; THENCE S00°53'30"E 540.50 FEET TO NORTHEASTERLY LINE OF PERE MARQUETTE RAILROAD RIGHT-OF-WAY; THENCE S3°03'04"E ALONG SAID NORTHEASTERLY LINE 615.72 FEET; THENCE N00°53'30"W 800.44 FEET; THENCE S89°15'00"W 33.00 FEET; THENCE N00°53'30"W 277.00 FEET TO THE POINT OF BEGINNING, CONTAINING 5.361 ACRES GROSS (4.993 ACRES NET), MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS, RIGHT OF WAY, RECORDED OR OTHERWISE.



GROUND SIGN  
NOT TO SCALE

NOTE: FOR REFERENCE ONLY  
SIGN TO MEET CITY ORDINANCE.  
FINAL DESIGN BY OWNER

PROPOSED SITE PLAN

SCALE: 1" = 40'-0"

AMENDED PARCEL 3 SITE DATA:

CURRENT ZONING:	I-2
SITE AREA (PARCEL 3):	217,529 SF, 4.99 Ac.
SETBACKS:	
FRONT-	75 FT.
SIDES-	25 FT.
REAR-	25 FT.
MAX. BLDG. HT.:	35 FT.
BUILDING AREA: (PROVISION)	6,280 SF.
BUILDING AREA: (CULTIVATION)	2139 SF.
LOT COVERAGE:	12.89 %
PARKING REQUIRED (PROVISION):	6,280 / 100 GSF = 61 SPACES
PARKING PROVIDED:	61 SPACES (INC. ACC. SPACES)
PARKING REQUIRED (CULTIVATION):	2139 SF. / 500 GSF = 43 SPACES
PARKING PROVIDED:	43 SPACES (INC. ACC. SPACES)
PROVISION STORE HOURS OF OPERATION:	10:00 AM - 8:00 PM
OUTDOOR LIGHTING AND SECURITY CAMERAS PROVIDED AT BOTH FACILITIES	
REQUIRED LANDSCAPING PARCEL 3 PER ORDINANCE	

PROPERTY OWNER:  
KINSHIP  
ATTN: CURT MOLINO  
22174 HARLAN DRIVE  
GROESBE ILE, MI 48138

Dimensions are to rough framing unless noted otherwise.  
DO NOT SCALE DRAWING. Use figure dimensions only.  
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DATE: 10-27-2023  
REVISION: 10-27-23  
DRAWN BY: JAC  
CHECKED BY: JAC

ISSUED: 10-27-23  
SCALE: 1"=40'-0"

PROJECT: ASP-1  
CLIENT: KINSHIP  
ARCHITECT: GUIDO ARCHITECTS  
1301027944

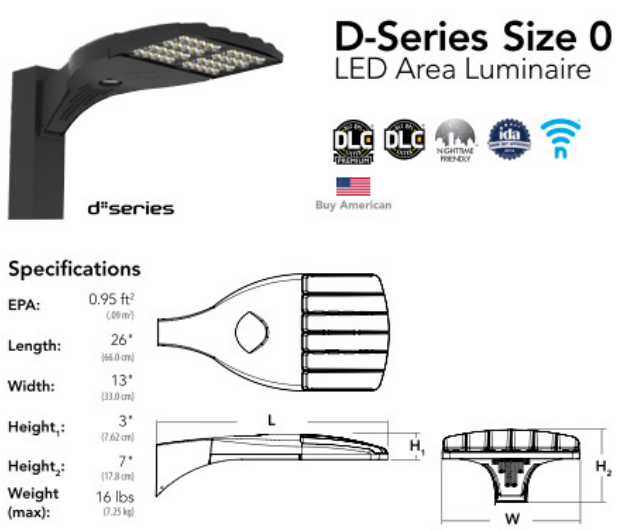
Guido Architects Inc.  
Architects / Planners  
23419 Ford Road Dearborn, MI 48128  
(313) 274-7800 Fax (313) 274-7808  
Email: guido@guidoarchitects.com

REGISTERED ARCHITECT  
STATE OF MICHIGAN  
ANGILO GUIDO ARCHITECT  
1301027944

KINSHIP PROVISIONING AND CULTIVATION  
WESTLAND, MICHIGAN  
ARCHITECTURAL SITE PLAN

1821

ASP-1



**D-Series Size 0 LED Area Luminaire**

P1, P2, & P3

**Specifications**

EPA: 0.95 ft<sup>2</sup>/ft<sup>2</sup>

Length: 29.5" inches

Width: 13" inches

Height: 7" inches

Weight: 16.5 lbs

**Introduction**

The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

**Ordering Information** EXAMPLE: DSX0 LED P4 40K T3M MVOLT SPA NLTAR2 P1RH NDOBX

Letter	Label	Color Temperature	Beam Angle	Mounting	Notes
DSX0	DSX0	40K	30°	T3M	Top Mount
P1	P1	40K	30°	SPA	Spot pole mounting
P2	P2	40K	30°	SPA	Spot pole mounting
P3	P3	40K	30°	SPA	Spot pole mounting
NLTAR2	NLTAR2	40K	30°	SPA	Spot pole mounting
P1RH	P1RH	40K	30°	SPA	Spot pole mounting
NDOBX	NDOBX	40K	30°	SPA	Spot pole mounting

**System**

System	Notes	Notes
DSX0	High-IP protection (IP66)	Dark bronze
P1	High-IP protection (IP66)	Black
P2	High-IP protection (IP66)	Black
P3	High-IP protection (IP66)	Black
NLTAR2	High-IP protection (IP66)	Black
P1RH	High-IP protection (IP66)	Black
NDOBX	High-IP protection (IP66)	Black

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Corning, Georgia 30502 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)

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DSX0 LED Area Luminaire Page 1 of 8



**WDGE3 LED Architectural Wall Sconce**

W1

**Specifications**

Depth (D1): 6"

Depth (D2): 1.5"

Height: 10"

Width: 19.5"

Weight: 19.5 lbs (without options)

**Introduction**

The WDGE3 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with Lutron's DALI wireless controls, the WDGE3 family provides additional energy savings and code compliance. WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole-mounted luminaires.

**WDGE LED Family Overview**

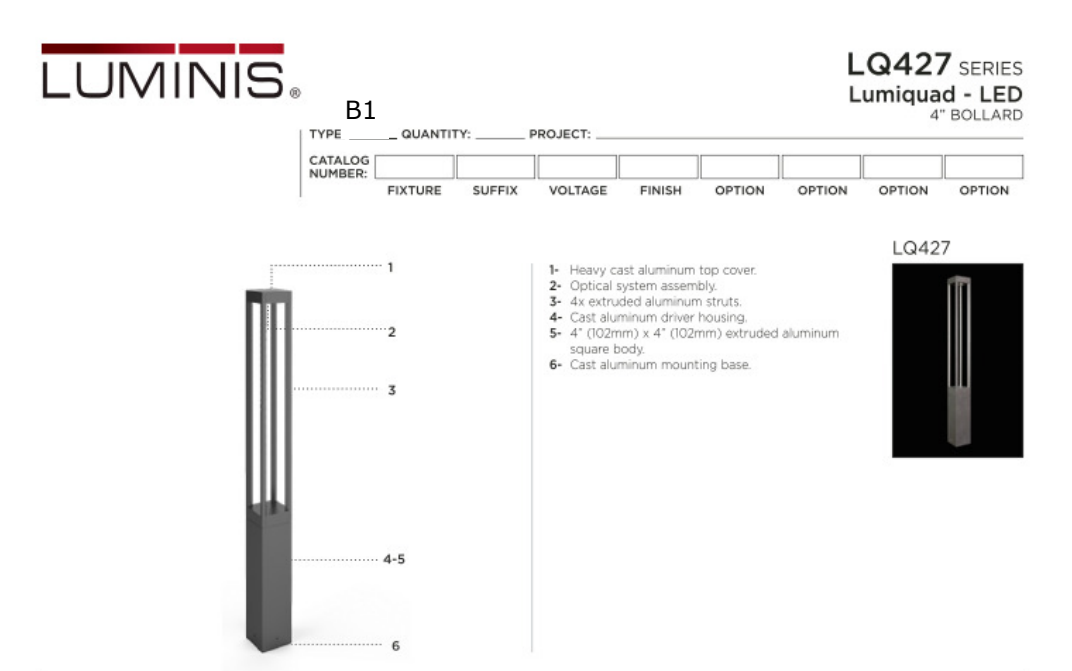
Luminaire	Subtotal (ft. x ft.)	Color Temp.	Beam	Power (W)	2000K	3000K	4000K	5000K	6000K	7000K
WDGE1 LED	48"	---	---	1,200	---	---	---	---	---	---
WDGE2 LED	36"	30W	30W	Standard / ridge	1,200	2,000	3,000	4,500	6,000	---
WDGE3 LED	15W	15W	15W	Standard / ridge	1,200	2,000	3,000	4,500	6,000	---
WDGE4 LED	---	---	---	Standard / ridge	12,000	18,000	25,000	25,000	25,000	25,000

**Ordering Information** EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDOBX

Letter	Label	Color Temperature	Beam Angle	Mounting	Notes
WDGE3	WDGE3	40K	30°	R3	Recessed
P3	P3	40K	30°	R3	Recessed
R3	R3	40K	30°	R3	Recessed
SRM	SRM	40K	30°	R3	Recessed
DDOBX	DDOBX	40K	30°	R3	Recessed

**Accessories**

Accessories	Notes
WDGE3-0100	1" Heavy cast aluminum top cover
WDGE3-0101	2" Cast aluminum system assembly
WDGE3-0102	3" Cast aluminum system assembly
WDGE3-0103	4" Cast aluminum system assembly
WDGE3-0104	5" Cast aluminum system assembly
WDGE3-0105	6" Cast aluminum system assembly



**LUMINIS LQ427 SERIES Lumiquad LED**

B1

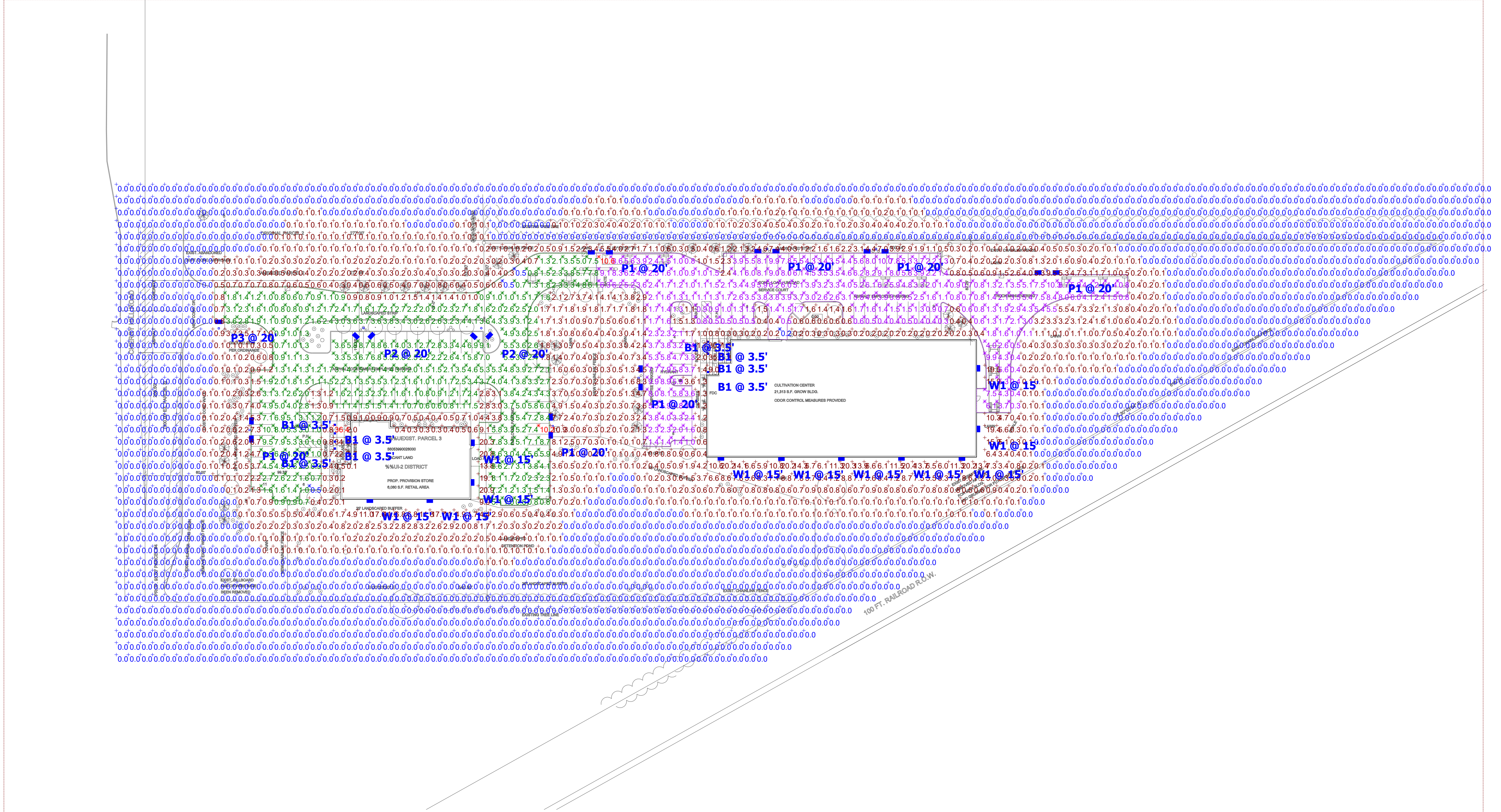
**Specifications**

Height: 4.5"

Width: 6"

**Introduction**

The LQ427 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with Lutron's DALI wireless controls, the LQ427 family provides additional energy savings and code compliance. LQ427 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole-mounted luminaires.



**General Note**

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
- LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT [ASG@GASSERBUSH.COM](mailto:ASG@GASSERBUSH.COM) OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT [QUOTES@GASSERBUSH.COM](mailto:QUOTES@GASSERBUSH.COM) OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

**Schedule**

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Light Loss Factor
□ . □	P1	7	Lithonia Lighting	DSX0 LED 40K MVOLT	LED	0.9
□ . □	P2	2	Lithonia Lighting	DSX0 LED 40K MVOLT	LED	0.9
□ . □	P3	1	Lithonia Lighting	DSX0 LED 40K MVOLT	LED	0.9
□ . □	W1	11	Lithonia Lighting	WDGE3 LED 40K	LED	0.9
□ . □	B1	8	Luminis Canada Inc.	LQ427	LED	0.9

KINSHIP CANNABIN  
PHOTOMETRIC PLAN  
PREPARED FOR: GUIDO ARCHITECTS  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

Designer  
DS  
Date  
11/24/2021  
rev. 01/04/2022  
Scale  
Not to Scale  
Drawing No.  
#21-69292 V2



**LANDSCAPE PLANTING NOTES:**

**PLANTING**

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Westland, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be clean and flush, leaving no stubs or torn bark, and tree paint must not be applied. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil.
- All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy. If such certificate is issued during the April thru September 30 period, if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31.
- Plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth setting unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape occurred to a depth of six inches to eighteen inches (6"-18") depending on the depth of the subgrade excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, and four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth setting, unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape occurred to a depth of six inches to eighteen inches (6"-18") depending on the depth of the subgrade excavated material with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth setting.

**MATERIAL**

- Plants shall not be located within two feet (2') of the property line.
- Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be: a. Nursery grown; b. State Department of Agriculture Inspected; c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched according to the details provided; and e. Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/SherIdelphi" @ ten percent (10%), Chewning Fescue @ Twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Ryegrass @ five percent (5%). Weed control shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod shall be two (2) year old Baron/SherIdelphi Kentucky Blue Grass blend grown in sod nursery on loam soil.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.
- Proposed perennials shall be full, well-rooted plants.
- Cobblestone mulch to consist of two inch to six inch (2"-6") cobbles eight inches (8") deep with geotextile fabric beneath.

**GENERAL**

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work will consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- All landscape areas to be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- All shrub dimensions override scale dimensions on the plans.
- Report all changes, substitutions, or deletions to the Owner's representative.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner or Owner's representative reserves the right to approve all plant material.
- All ground mounted mechanical units shall be screened on three (3) sides with living plant material.

**MAINTENANCE**

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.

**RETENTION POND LANDSCAPE NOTES:**

**PLANTING:**

- Follow the Supplier's recommended procedures for bed preparation, installation, and soil erosion control measures of the proposed seeded areas. After the plants germinate and begin to grow follow the maintenance guidelines included on this sheet.
- Rollout four inches (4") of compost or topsoil into the top six inches (6") of the surface of the basin. (Compost may be obtained from the municipal facility at Six Mile and Ridge Roads. Call Oryx Environmental at 248 305-9377 or 248 349-7230 for hours of operation and general information.)
- Provide a cover crop of annual ryegrass at a rate of ten pounds (10#) per acre and seed oats at a rate of thirty pounds (30#) per acre over the entire area to be seeded.
- All plant material and planting applications shall meet all guidelines and specifications set forth by the *American Standard of Nursery Stock*.

**MAINTENANCE OF THE RETENTION AREA**

- ESTABLISHMENT:** During the first growing season, the native seed areas should be mowed two (2) to four (4) times to a height of four inches to six inches (4"-6") when the plants reach a height of ten inches to twelve inches (10"-12"). Hand pulling may be needed to control unwanted weed populations. If a mower cannot be set high enough, a string trimmer can be used. During the second growing season, the native seed areas should be mowed a few times to a height of about eight inches (8") when the plants reach a height of ten inches to eighteen inches (10"-18"). Hand pulling may be needed to control unwanted weed populations. By the second growing season it should be apparent if some areas need reseeding. Long term management includes mowing and hand pulling of weeds. The native planting may be mowed to a short height and the clippings removed in the early Spring before birds begin nesting.
- WATERING:** Watering should be performed as needed. During the establishment period after the initial planting, watering is very important and should be conducted every two to three (2-3) days. The initial planting should be checked regularly for appropriate moisture availability. Two (2) methods for determining adequate moisture levels include the following: a.) If the plants will during the day when the temperature is at its highest, but revive during the night, then watering is not necessary, and b.) by testing the soil moisture at a depth of four inches (4") by inserting a small rod into the soil. If the rod is wet, then the soil is moist at a depth of four inches (4") and watering is not necessary.
- EROSION CONTROL:** Provide an erosion control blanket on the side slopes of the seeded areas retention area. The erosion control blanket shall be pegged in place.
- EDGING:** The edge of the retention area should be maintained to avoid grass growing into the detention area. The edge can be maintained with a V-notched cut edge. The channel should be maintained at four inches (4") or greater and renewed every six to eight (6-8) weeks.
- CUTTING BACK:** Tall wildflowers should be cut back by one-third. Early flowering plants can be cut back in late June or early July and late flowering plants in late October.
- THINNING:** After the retention area has become established and thriving, it may be necessary to thin perennials by dividing individual plants in Spring or Fall.
- REPLACEMENT:** Any plants that die or become diseased should be replaced. Plant health should be checked regularly with replanted material occurring in the Spring or Fall.
- REMOVAL OF LITTER AND DEBRIS:** Litter, trash, and debris should be removed on a regular basis to insure that inlets remain free flowing and to keep the area in a neat and attractive appearance.
- INORGANIC APPLICATIONS:** In general, retention areas do not need fertilization as nutrients from surrounding areas is usually at an elevated level. If soil fertility appears to be an issue, the soil should be tested and appropriate actions taken based on the results. Insecticides, herbicides, fungicides, and rodenticides should not be used in the retention area. If a plant is diseased or infested with insects, it should simply be removed and replaced.

**SEED MIX COMPOSITIONS**

WETLAND SEED MIX	
<b>MICHIGAN WILDFLOWER FARM</b>	Swamp Milkweed
A composition of wildflowers, sedges, and grasses.	New England Aster
Application rate: 3 oz. per 1000sq. ft. or 7 lbs. per acre	Swamp Aster
<b>BOYDANICAL NAME</b>	<b>COMMON NAME</b>
<b>Wildflowers</b>	
<i>Asclepias incarnata</i>	
<i>Aster novae-angliae</i>	
<i>Aster paniculatus</i>	
<i>Aster umbellatus</i>	
<i>Eupatorium maculatum</i>	
<i>Eupatorium perfoliatum</i>	
<i>Erigeron philadelphicus</i>	
<i>Liatris scariosa</i>	
<i>Panicum urticoides</i>	
<i>Rudbeckia hirta</i>	
<i>Rudbeckia speciosa</i>	
<i>Silphium laciniatum</i>	
<i>Silphium tataricum</i>	
<i>Solidago canadensis</i>	
<i>Solidago odora</i>	
<i>Veronica hastata</i>	
<i>Veronica missouriensis</i>	
<i>Veronica virginicum</i>	
<b>Sedges/Grasses</b>	
<i>Andropogon gerardii</i>	
<i>Carex crinita</i>	
<i>Carex stricta</i>	
<i>Scirpus opimus</i>	
<i>Scirpus atrovirens</i>	
	Big Bluestem
	Fringed Sedge
	Tussock Sedge
	Wood Grass
	Bulrush

**WETLAND SEED MIX**

CUSTOM SHORT GRASS SEED MIX	
<b>MICHIGAN WILDFLOWER FARM</b>	Application rate: 3 oz. per 1000 sq. ft.
Fry Application rate: 60% Fescue/Fly perenn (50%) Grass.	
<b>BOYDANICAL NAME</b>	<b>COMMON NAME</b>
<b>Wildflowers</b>	
<i>Acilinea melilotum</i>	
<i>Andropogon canadensis</i>	
<i>Asclepias tuberosa</i>	
<i>Carex lasiocarpa</i>	
<i>Echinochloa purpurea</i>	
<i>Kuhnia autroroides</i>	
<i>Moronea fistulosa</i>	
<i>Panicum diploide</i>	
<i>Rudbeckia hirta</i>	
<i>Solidago speciosa</i>	
<b>Sedges/Grasses</b>	
<i>Andropogon scoparius</i>	
<i>Bouteloua curtipendula</i>	
<i>Koeleria pyramidata</i>	
<i>Sporobolus heterolepis</i>	
* Supplier to add these species to the mix.	

**CUSTOM SHORT GRASS SEED MIX**

MICHIGAN WILDFLOWER FARM  
11770 Culer Road  
Portland, Michigan 48875-9452  
Phone: (517) 847 6010 Fax: (517) 847 6072

**LANDSCAPE PLANTING NOTES:**

**PLANTING**

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- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be clean and flush, leaving no stubs or torn bark, and tree paint must not be applied. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
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- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth setting unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape occurred to a depth of six inches to eighteen inches (6"-18") depending on the depth of the subgrade excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, and four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth setting, unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape occurred to a depth of six inches to eighteen inches (6"-18") depending on the depth of the subgrade excavated material with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth setting.

**MATERIAL**

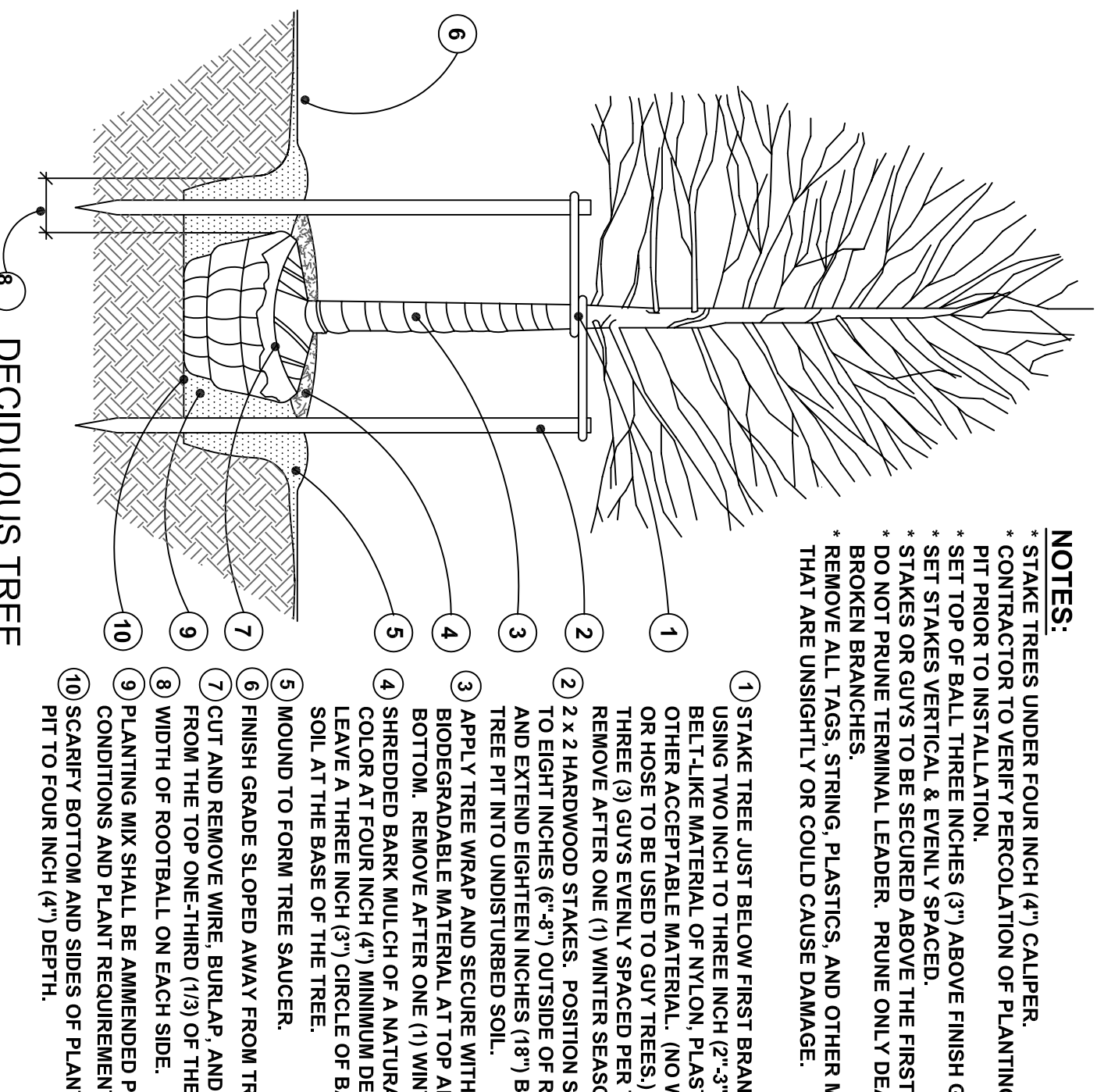
- Plants shall not be located within two feet (2') of the property line.
- Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be: a. Nursery grown; b. State Department of Agriculture Inspected; c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched according to the details provided; and e. Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/SherIdelphi" @ ten percent (10%), Chewning Fescue @ Twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Ryegrass @ five percent (5%). Weed control shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod shall be two (2) year old Baron/SherIdelphi Kentucky Blue Grass blend grown in sod nursery on loam soil.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.
- Proposed perennials shall be full, well-rooted plants.
- Cobblestone mulch to consist of two inch to six inch (2"-6") cobbles eight inches (8") deep with geotextile fabric beneath.

**GENERAL**

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work will consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- All landscape areas to be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- All shrub dimensions override scale dimensions on the plans.
- Report all changes, substitutions, or deletions to the Owner's representative.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner or Owner's representative reserves the right to approve all plant material.
- All ground mounted mechanical units shall be screened on three (3) sides with living plant material.

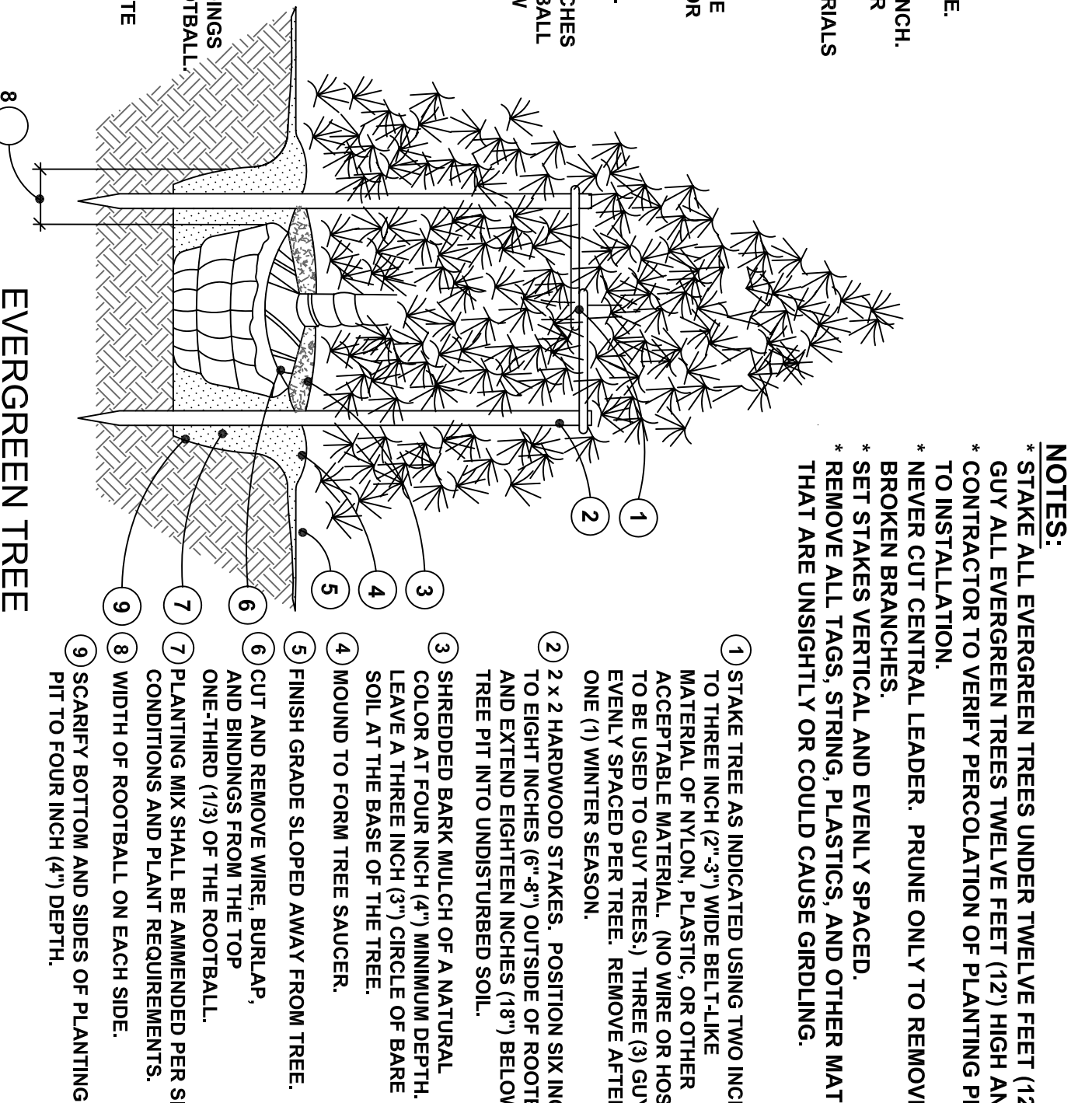
**MAINTENANCE**

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.



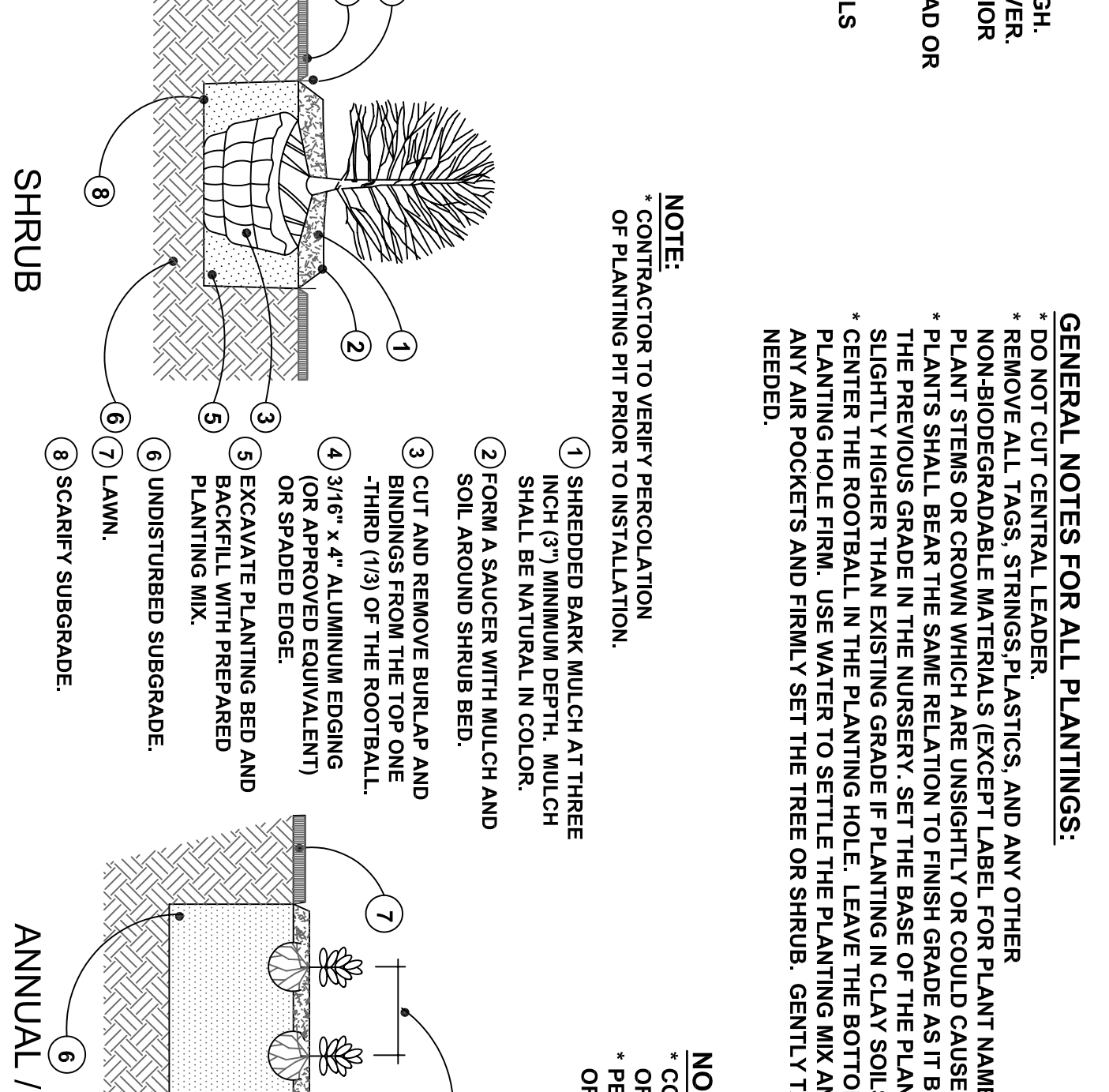
**NOTES:**

- STAKE TREES UNDER FOUR INCH (4") CALIPER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- SET STAKES VERTICAL & EVENLY SPACED.
- DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.



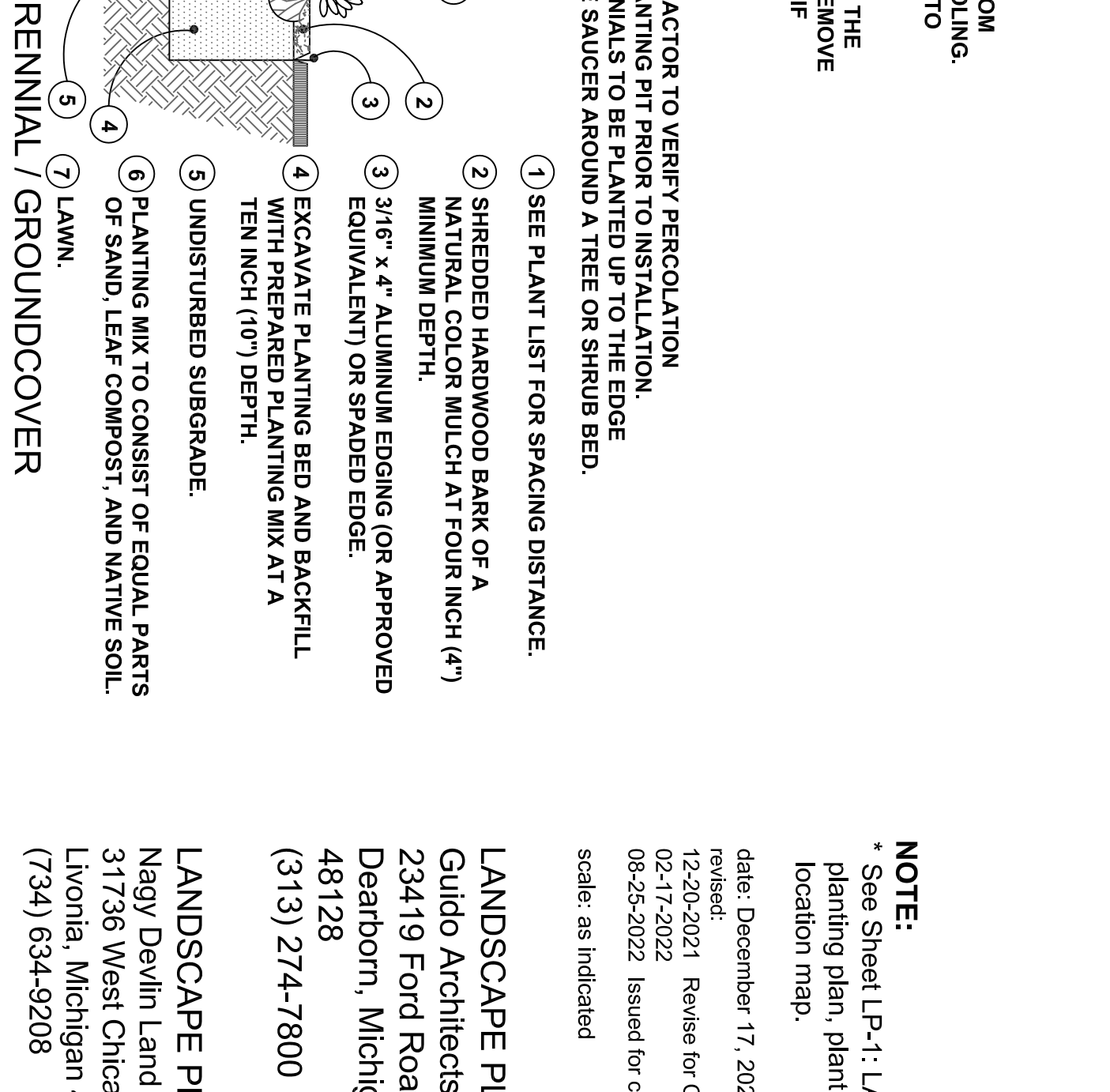
**NOTES:**

- STAKE ALL EVERGREEN TREES TWELVE FEET (12") HIGH, GUY ALL EVERGREEN TREES TWELVE FEET (12") HIGH AND OVER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- NEVER CUT CENTRAL LEADER.
- SET STAKES VERTICAL AND EVENLY SPACED.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDING.



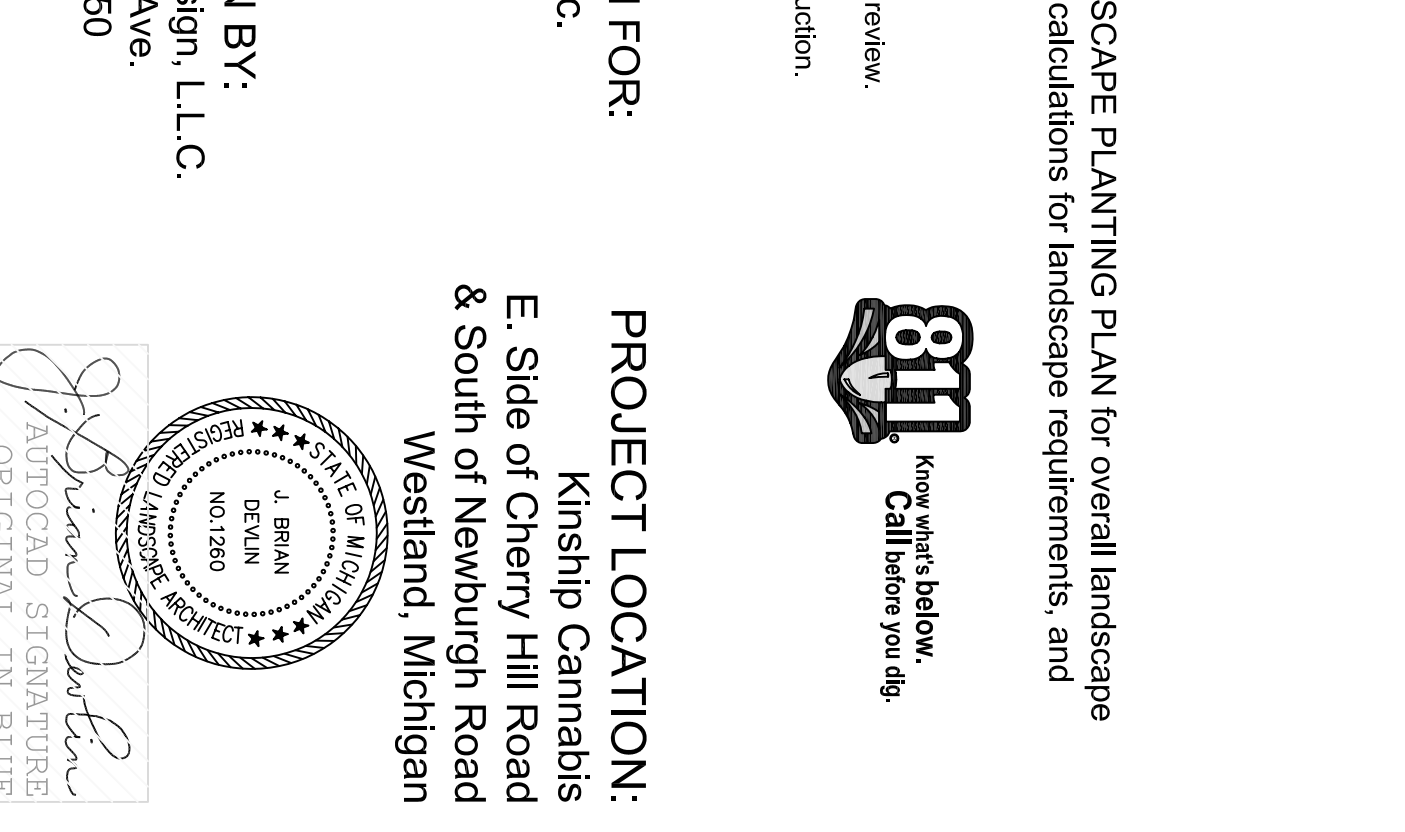
**GENERAL NOTES FOR ALL PLANTINGS:**

- DO NOT CUT CENTRAL LEADER.
- REMOVE ALL TAGS, STRING, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDING.
- PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- CENTRAL LEADER SHALL BE CUT AT THE BOTTOM OF THE CANOPY AND THE FEET OF THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.



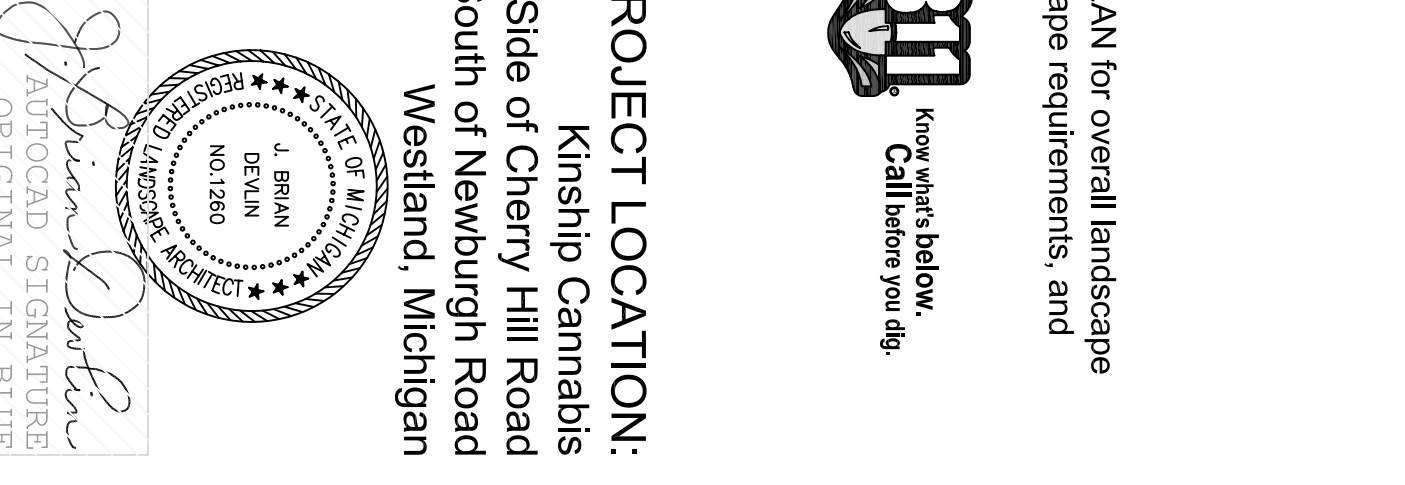
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**NOTES:**

- SEE SHEET LP-1: LANDSCAPE PLANTING PLAN FOR OVERALL LANDSCAPE PLANTING PLAN, PLANT LIST, CALCULATIONS FOR LANDSCAPE REQUIREMENTS, AND LOCATION MAP.



**NOTES:**

- SEE PLAN FOR HEIGHT OF BERM.
- EXISTING GRADE WELL-DRAINED ORGANIC TOPSOIL.

**PLANTING DETAILS**

not to scale

**RETENTION POND LANDSCAPE NOTES:**

**PLANTING:**

- Follow the Supplier's recommended procedures for bed preparation, installation, and soil erosion control measures of the proposed seeded areas. After the plants germinate and begin to grow follow the maintenance guidelines included on this sheet.
- Rollout four inches (4") of compost or topsoil into the top six inches (6") of the surface of the basin. (Compost may be obtained from the municipal facility at Six Mile and Ridge Roads. Call Oryx Environmental at 248 305-9377 or 248 349-7230 for hours of operation and general information.)
- Provide a cover crop of annual ryegrass at a rate of ten pounds (10#) per acre and seed oats at a rate of thirty pounds (30#) per acre over the entire area to be seeded.
- All plant material and planting applications shall meet all guidelines and specifications set forth by the *American Standard of Nursery Stock*.

**MAINTENANCE OF THE RETENTION AREA**

- ESTABLISHMENT:** During the first growing season, the native seed areas should be mowed two (2) to four (4) times to a height of four inches to six inches (4"-6") when the plants reach a height of ten inches to twelve inches (10"-12"). Hand pulling may be needed to control unwanted weed populations. If a mower cannot be set high enough, a string trimmer can be used. During the second growing season, the native seed areas should be mowed a few times to a height of about eight inches (8") when the plants reach a height of ten inches to eighteen inches (10"-18"). Hand pulling may be needed to control unwanted weed populations. By the second growing season it should be apparent if some areas need reseeding. Long term management includes mowing and hand pulling of weeds. The native planting may be mowed to a short height and the clippings removed in the early Spring before birds begin nesting.
- WATERING:** Watering should be performed as needed. During the establishment period after the initial planning, watering is very important and should be conducted every two to three (2-3) days. The initial planting should be checked regularly for appropriate moisture availability. Two (2) methods for determining adequate moisture levels include the following: a.) If the plants will during the day when the temperature is at its highest, but revive during the night, then watering is not necessary, and b.) by testing the soil moisture at a depth of four inches (4") by inserting a small rod into the soil. If the rod is wet, then the soil is moist at a depth of four inches (4") and watering is not necessary.
- EROSION CONTROL:** Provide an erosion control blanket on the side slopes of the seeded areas retention area. The erosion control blanket shall be pegged in place.
- EDGING:** The edge of the retention area should be maintained to avoid grass growing into the detention area. The edge can be maintained with a V-notched cut edge. The channel should be maintained at four inches (4") or greater and renewed every six to eight (6-8) weeks.
- CUTTING BACK:** Tall wildflowers should be cut back by one-third. Early flowering plants can be cut back in late June or early July and late flowering plants in late October.
- THINNING:** After the retention area has become established and thriving, it may be necessary to thin perennials by dividing individual plants in Spring or Fall.
- REPLACEMENT:** Any plants that die or become diseased should be replaced. Plant health should be checked regularly with replanted material occurring in the Spring or Fall.
- REMOVAL OF LITTER AND DEBRIS:** Litter, trash, and debris should be removed on a regular basis to insure that inlets remain free flowing and to keep the area in a neat and attractive appearance.
- INORGANIC APPLICATIONS:** In general, retention areas do not need fertilization as nutrients from surrounding areas is usually at an elevated level. If soil fertility appears to be an issue, the soil should be tested and appropriate actions taken based on the results. Insecticides, herbicides, fungicides, and rodenticides should not be used in the retention area. If a plant is diseased or infested with insects, it should simply be removed and replaced.

**SEED MIX COMPOSITIONS**

WETLAND SEED MIX	
<b>MICHIGAN WILDFLOWER FARM</b>	Swamp Milkweed
A composition of wildflowers, sedges, and grasses.	New England Aster
Application rate: 3 oz. per 1000sq. ft. or 7 lbs. per acre	Swamp Aster
<b>BOYDANICAL NAME</b>	<b>COMMON NAME</b>
<b>Wildflowers</b>	
<i>Asclepias incarnata</i>	
<i>Aster novae-angliae</i>	
<i>Aster paniculatus</i>	
<i>Aster umbellatus</i>	
<i>Eupatorium maculatum</i>	
<i>Eupatorium perfoliatum</i>	
<i>Erigeron philadelphicus</i>	
<i>Liatris scariosa</i>	
<i>Panicum urticoides</i>	
<i>Rudbeckia hirta</i>	
<i>Rudbeckia speciosa</i>	
<i>Silphium laciniatum</i>	
<i>Silphium tataricum</i>	
<i>Solidago canadensis</i>	
<i>Solidago odora</i>	
<i>Veronica hastata</i>	
<i>Veronica missouriensis</i>	
<i>Veronica virginicum</i>	
<b>Sedges/Grasses</b>	
<i>Andropogon gerardii</i>	
<i>Carex crinita</i>	
<i>Carex stricta</i>	
<i>Scirpus opimus</i>	
<i>Scirpus atrovirens</i>	
	Big Bluestem
	Fringed Sedge
	Tussock Sedge
	Wood Grass
	Bulrush

**WETLAND SEED MIX**