

SOUTH BELLEVILLE VILLAS

515 SUMPTER ROAD

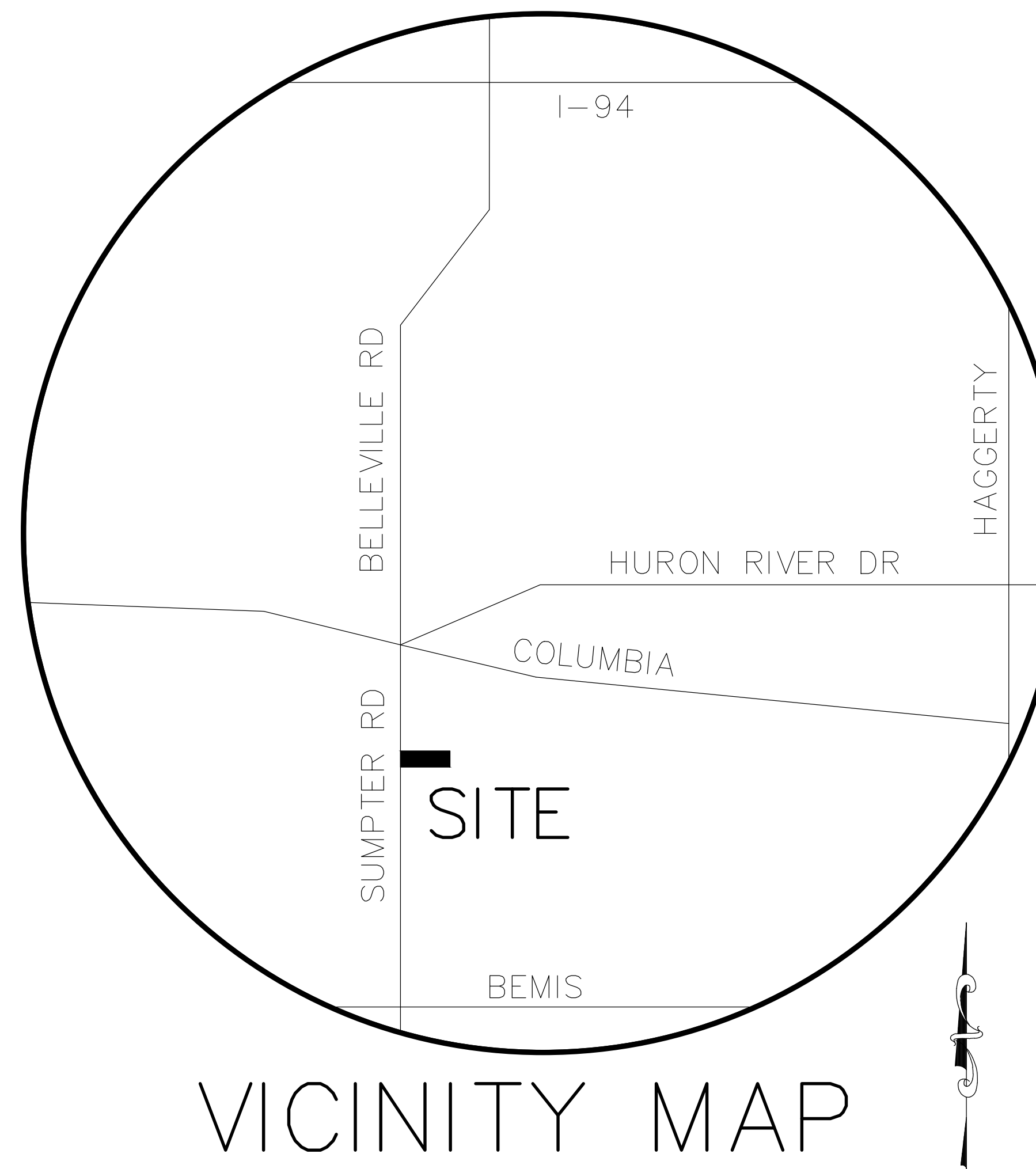
CITY of BELLEVILLE, WAYNE COUNTY, MICHIGAN

DESIGN ENGINEERS

HARDY CIVIL DESIGN SERVICES LLC
4996 MOORE
WAYNE MI 48184
Ph. (734) 756-2196
E-MAIL: kbhardy1964@hotmail.com
CONTACT: KEVIN HARDY

GENERAL CONTRACTOR

DAVENPORT BROTHERS CONST.
(JOE DAVENPORT)
301 INDUSTRIAL PARK DRIVE
BELLEVILLE, MI 48111
Ph. (313) 350-0369 E-MAIL:
joe@davenportbrothers.com



VICINITY MAP

PROPERTY OWNER

DAVENPORT DEVELOPMENT LLC.
301 INDUSTRIAL PARK DRIVE
BELLEVILLE, MI 48111
Ph. (734) 697-2994
E-MAIL: joe@davenportbrothers.com

ARCHITECT

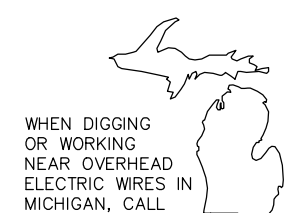
DS WRIGHT & ASSOCIATES, P.C.
44456 CLARE BLVD.
PLYMOUTH, MI 48170
Ph. (734) 337-4632
E-MAIL: dscottwright@live.com

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE CITY OF BELLEVILLE, WAYNE COUNTY, MICHIGAN AND BEING MORE PARTICULARLY DESCRIBED AS: PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 3 SOUTH, RANGE 8 EAST, BEGINNING AT A POINT DISTANT N.01°07'25"W., 369.62 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 27; THENCE CONTINUING N.01°07'25"W., 160.63 FEET; THENCE N.89°06'35"E., 348.00 FEET; THENCE N.01°07'25"W., 130.00 FEET; THENCE N.89°06'35"E., 346.50 FEET; THENCE S.01°51'14"E., 299.16 FEET; THENCE S.89°06'34"W., 317.04 FEET; THENCE N.89°36'55"W., 381.40 FEET TO THE POINT OF BEGINNING. EXCEPT THE WESTERLY 60 FEET THEREOF. SAID PARCEL CONTAINING 3.49 ACRES.

SHEET INDEX

1. SITE PLAN
 2. TOPOGRAPHIC SURVEY & REMOVALS PLAN
 3. GRADING
 4. STORM SEWER DESIGN PLAN
- A-210 COMPOSITE FLOOR PLAN
A-211 UNIT FLOOR PLAN
A-301 BUILDING ELEVATIONS
L-1 LANDSCAPE PLAN

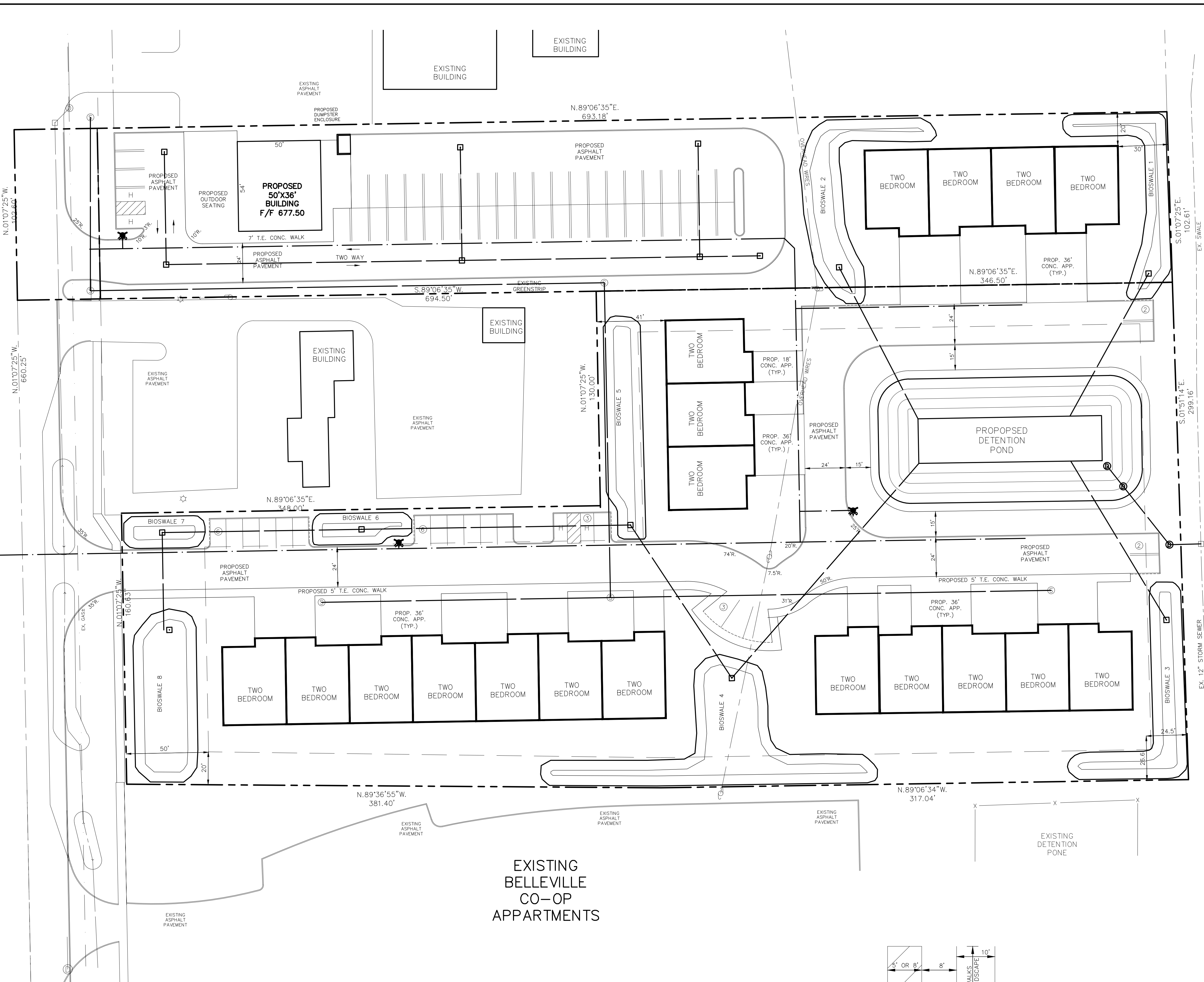


MISS DIG

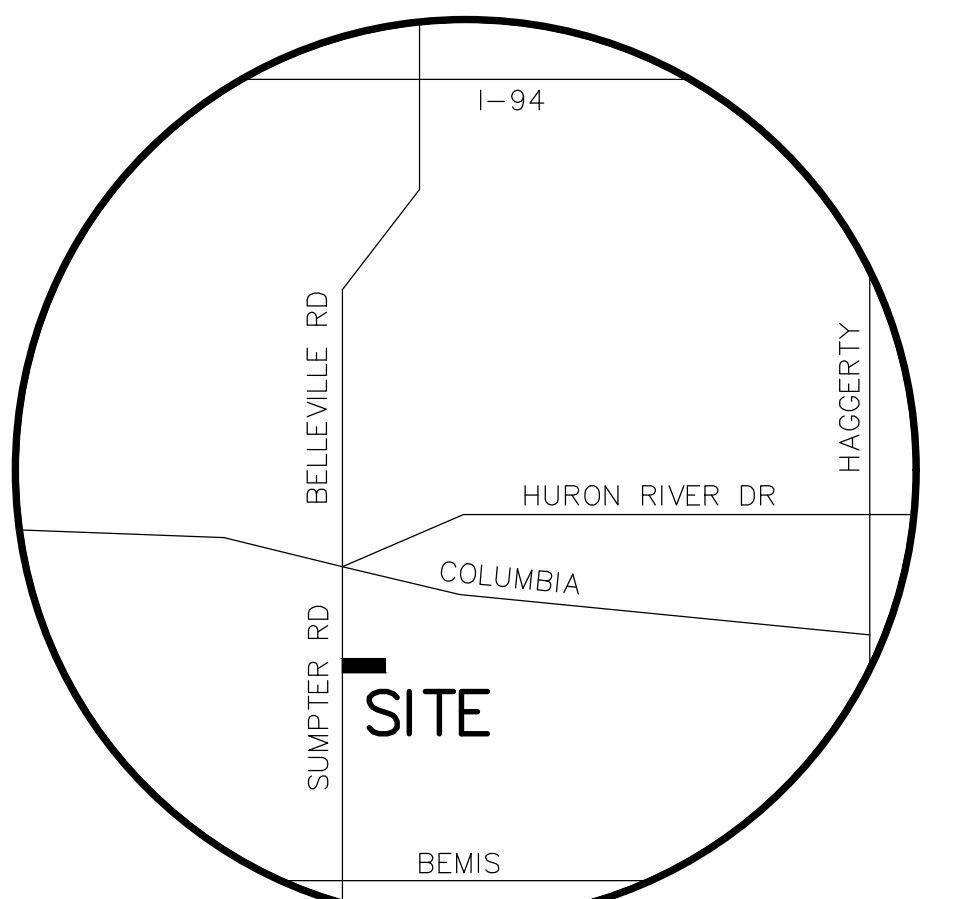
3 WORKING DAYS
BEFORE STARTING YOUR PROJECT

811
(TOLL FREE)

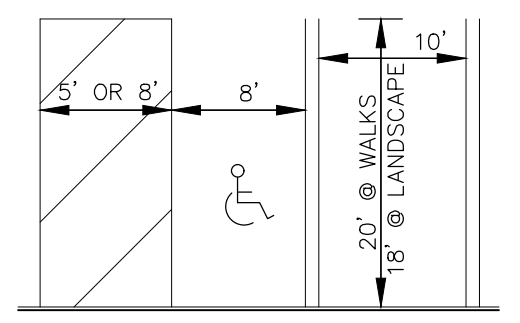
SUMPTER ROAD
(100' R/W)



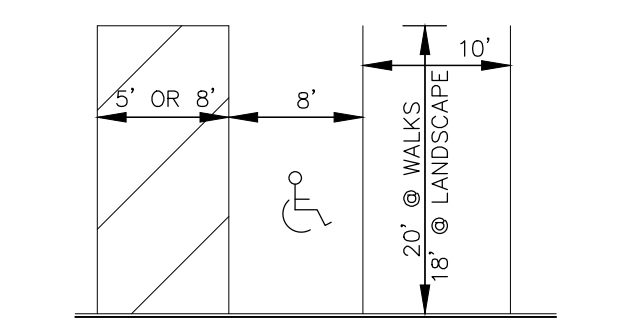
EXISTING BELLEVILLE
CO-OP
APARTMENTS



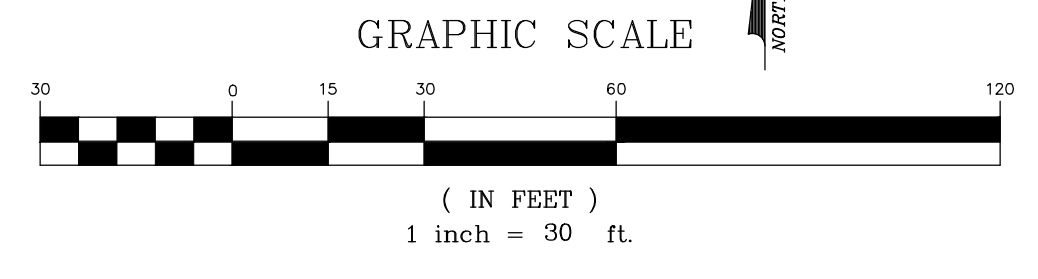
VICINITY MAP
NOT TO SCALE



TYPICAL 90° PARKING
SPACE DETAIL
VANBUREN TWSP
NOT TO SCALE



TYPICAL 90° PARKING
SPACE DETAIL
CITY OF BELLEVILLE
NOT TO SCALE



OWNER/DEVELOPER
DAVENPORT BROTHERS CONSTRUCTION CO.
301 INDUSTRIAL PARK DRIVE
BELLEVILLE, MI 48111
(734) 697-2994
CONTACT: STEVE DAVENPORT

- LEGEND**
- EX. CATCH BASIN
 - EX. SANITARY MANHOLE
 - ⊙ EX. STORM MANHOLE
 - ⊕ EX. HYDRANT
 - ⊗ EX. UTILITY POLE
 - ⊘ EX. VALVE WELL
 - X- EX. FENCE
 - ⊕ EX. STREET SIGN
 - ☆ EX. LIGHT POLE

HARDY CIVIL DESIGN SERVICES LLC
4996 MOORE ST. WAYNE, MI 48184
(734) 756-2196
E-mail: kbhardy1964@hotmail.com

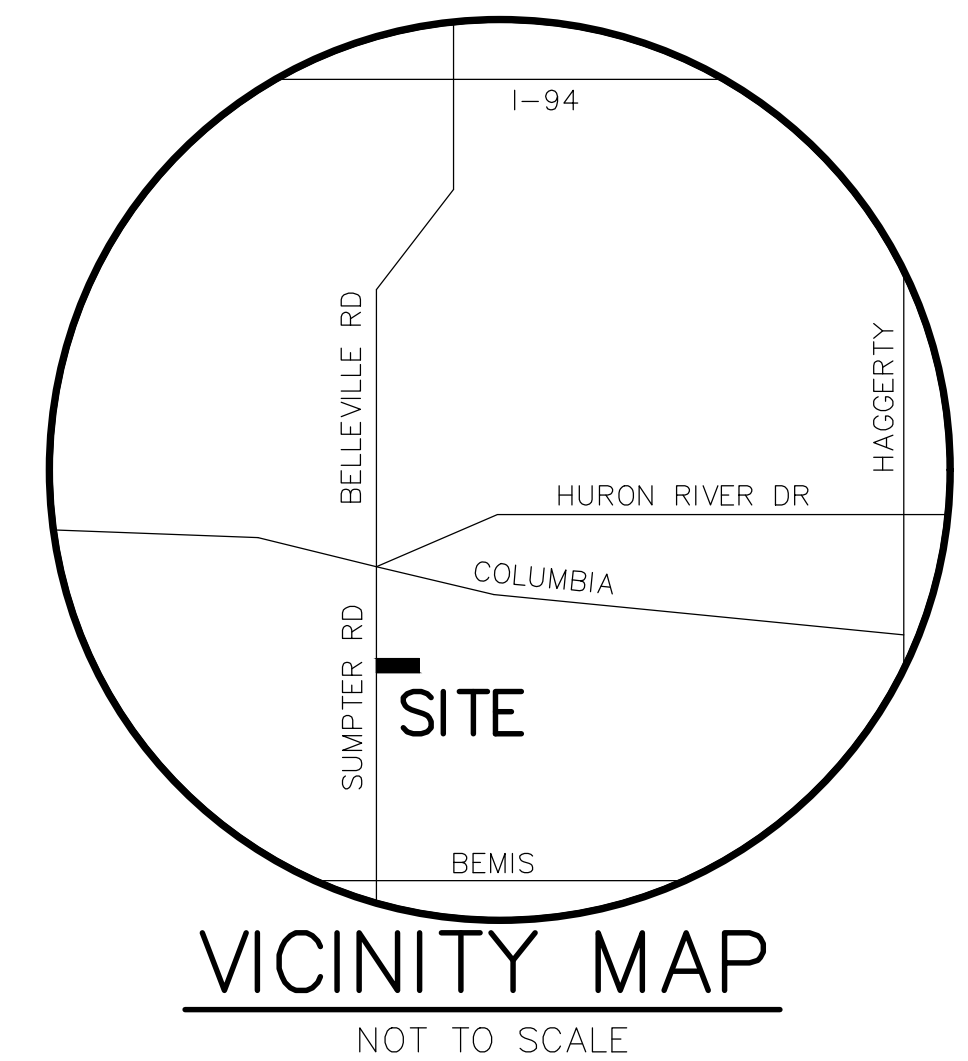
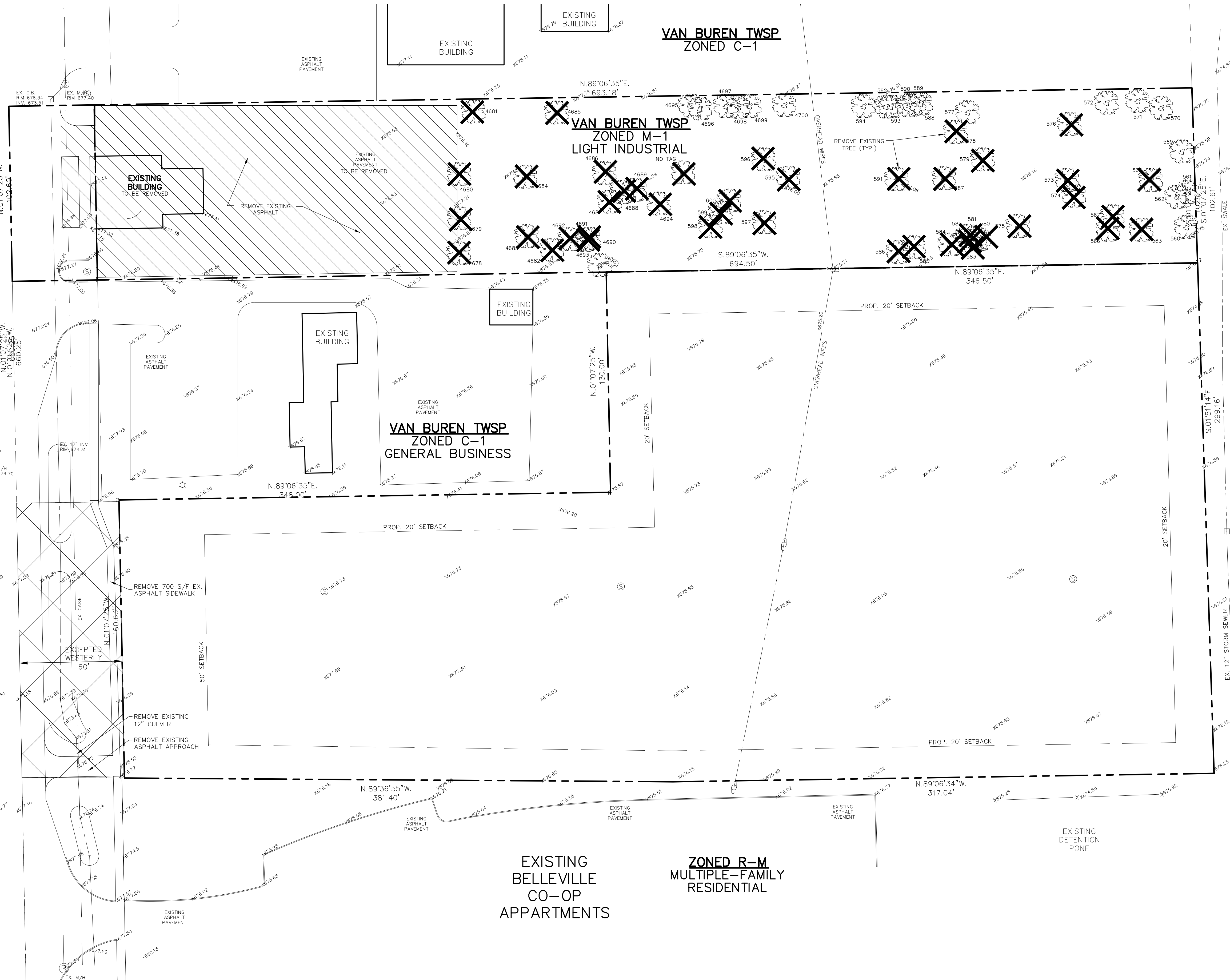
SITE PLAN

SOUTH BELLEVILLE VILLAS
515 SUMPTER ROAD
BELLEVILLE, MI

SHEET No.	JOB No.	DRAWING No.	DATE	REVISIONS
1	4	A-	01-03-23
OF	2022-02			

DRAWN BY: _____ CHECKED BY: _____

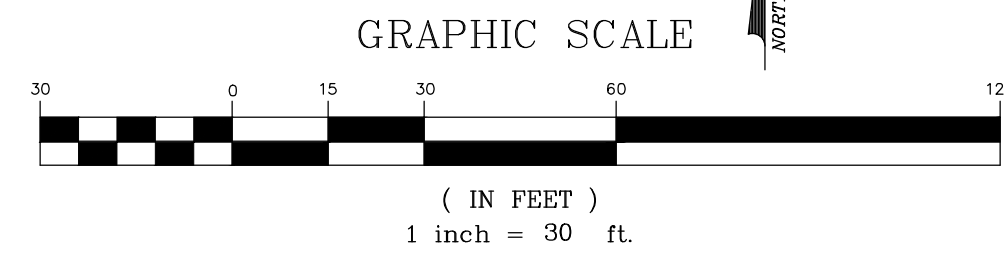
SUMPTER ROAD
(100' R/W)



ZONED R-2
ONE-FAMILY
RESIDENTIAL

OWNER/DEVELOPER
DAVENPORT BROTHERS CONSTRUCTION CO.
301 INDUSTRIAL PARK DRIVE
BELLEVILLE, MI 48111
(734) 697-2994
CONTACT: STEVE DAVENPORT

- LEGEND**
- EX. CATCH BASIN
 - ⊙ EX. SANITARY MANHOLE
 - ⊕ EX. STORM MANHOLE
 - ⊗ EX. HYDRANT
 - ⊕ EX. UTILITY POLE
 - ⊗ EX. VALVE WELL
 - X- EX. FENCE
 - ⊕ EX. STREET SIGN
 - ☆ EX. LIGHT POLE



LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE CITY OF BELLEVILLE, WAYNE COUNTY, MICHIGAN AND BEING MORE PARTICULARLY DESCRIBED AS: PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 3 SOUTH, RANGE 8 EAST, BEGINNING AT A POINT DISTANT N.01°07'25"W., 369.62 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 27; THENCE CONTINUING N.01°07'25"W., 160.63 FEET; THENCE N.89°06'35"E., 348.00 FEET; THENCE N.01°07'25"W., 130.00 FEET; THENCE N.89°06'35"E., 346.50 FEET; THENCE S.01°51'14"E., 299.16 FEET; THENCE S.89°06'34"W., 317.04 FEET; THENCE N.89°36'55"W., 381.40 FEET TO THE POINT OF BEGINNING. EXCEPT THE WESTERLY 60 FEET THEREOF. SAID PARCEL CONTAINING 3.49 ACRES.

SHEET No.	JOB No.	DRAWING No.	DATE	REVISIONS
			01-03-23
2	OF	A-	DRAWN BY:	CHECKED BY:
		4	2022-02	

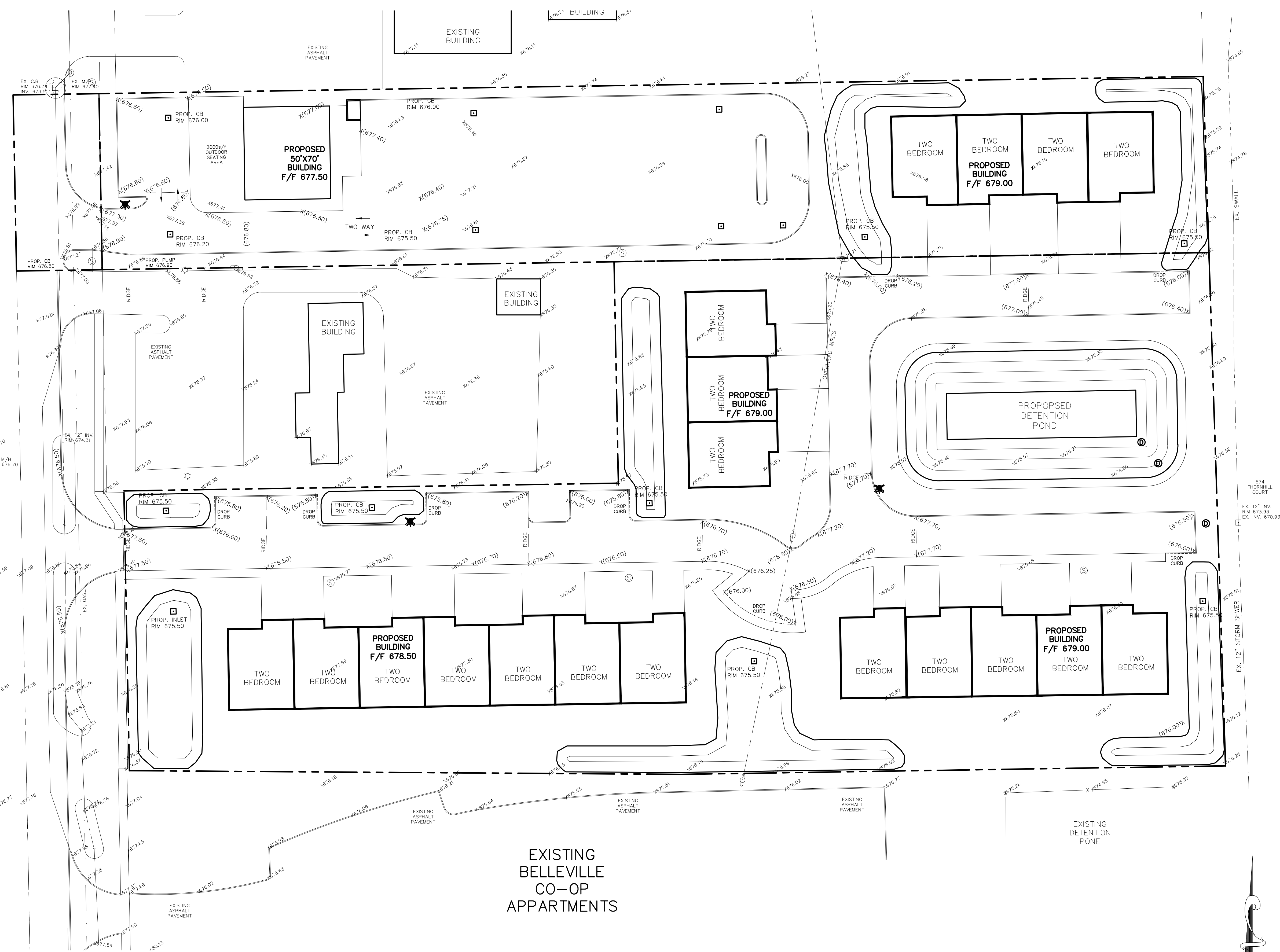
SOUTH BELLEVILLE VILLAS
515 SUMPTER ROAD
BELLEVILLE, MI

TOPOGRAPHIC SURVEY AND REMOVALS PLAN

HARDY

CIVIL DESIGN SERVICES LLC
4996 MOORE ST. WAYNE, MI 48184
(734) 756-2196
E-mail: kbhardy1964@hotmail.com

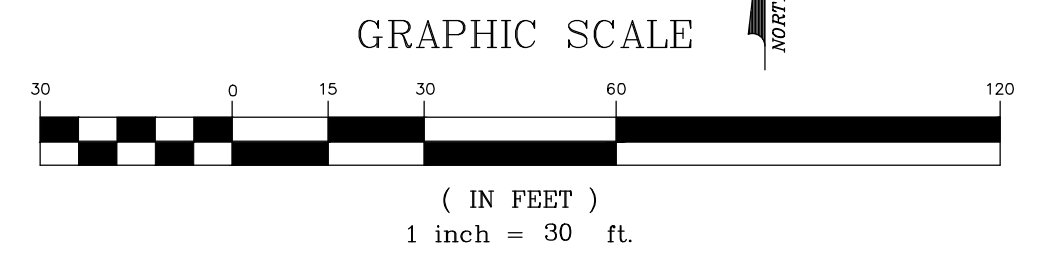
SUMPTER ROAD
(100' R/W)



EXISTING
BELLEVILLE
CO-OP
APARTMENTS

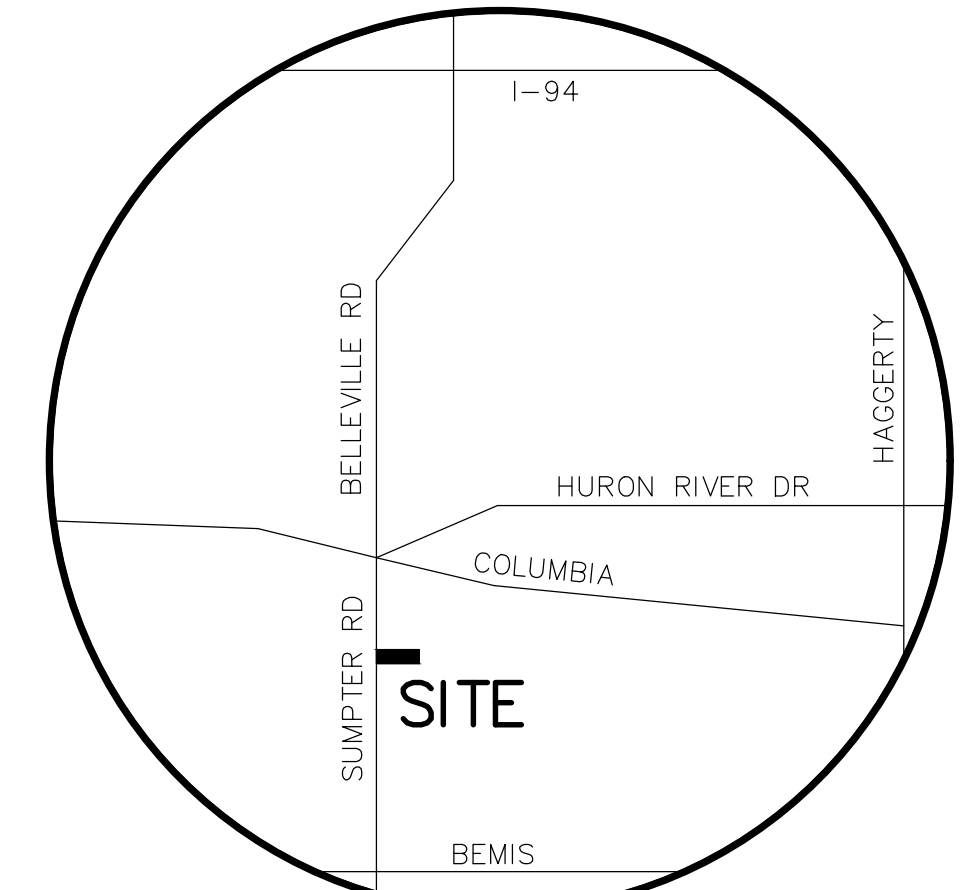
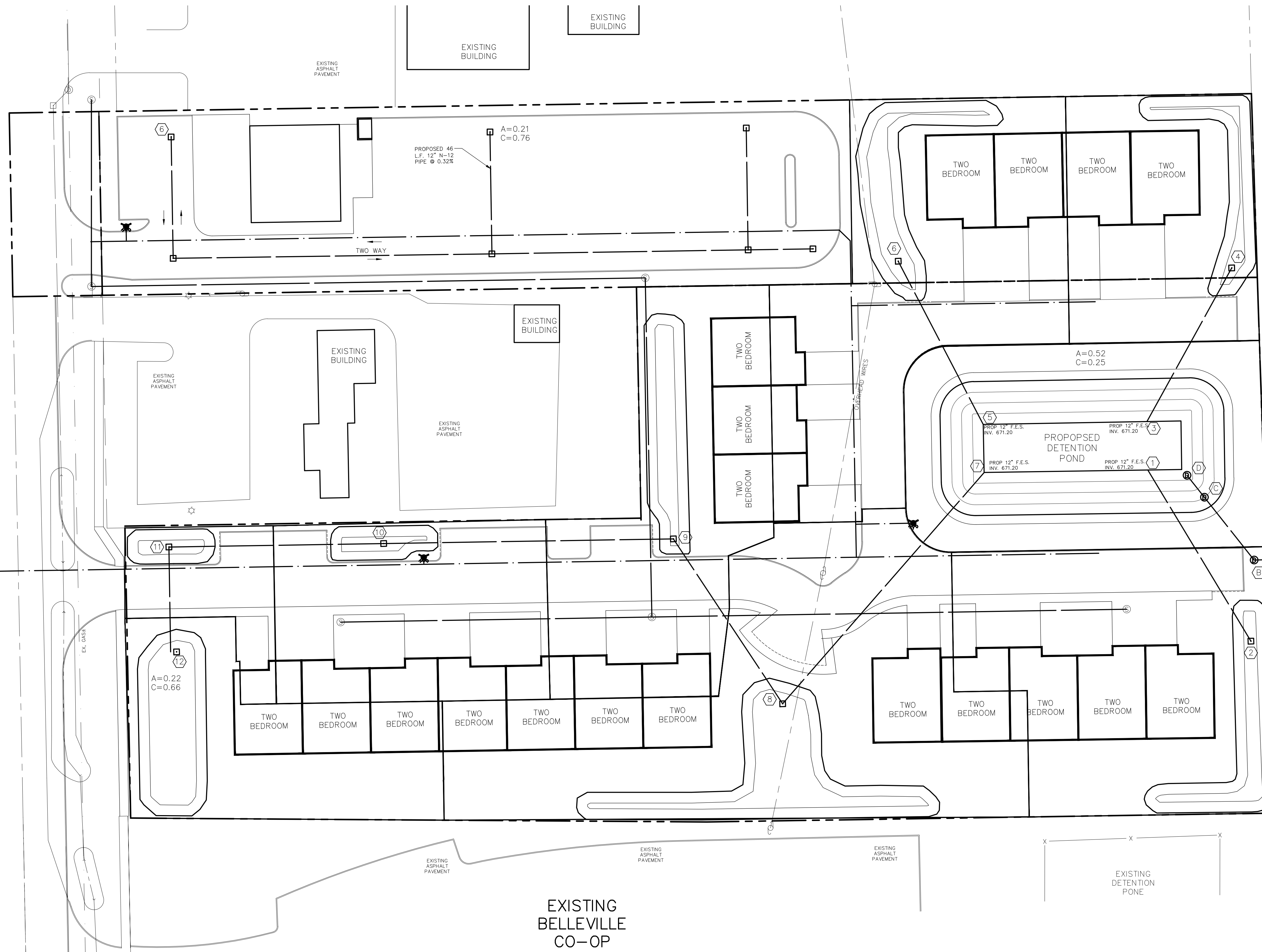
OWNER/DEVELOPER
DAVENPORT BROTHERS CONSTRUCTION CO.
301 INDUSTRIAL PARK DRIVE
BELLEVILLE, MI 48111
(734) 697-2994
CONTACT: STEVE DAVENPORT

- LEGEND**
- EX. CATCH BASIN
 - EX. SANITARY MANHOLE
 - ⊙ EX. STORM MANHOLE
 - ⊕ EX. HYDRANT
 - ⊗ EX. UTILITY POLE
 - ⊘ EX. VALVE WELL
 - X- EX. FENCE
 - ⊕ EX. STREET SIGN
 - ⊙ EX. LIGHT POLE



SHEET No.	JOB No.	DRAWING No.	DATE	REVISIONS
			01-03-23
3	OF	A-	4	CHECKED BY:
				DRAWN BY:
<p>HARDY CIVIL DESIGN SERVICES LLC 4996 MOORE ST. WAYNE, MI 48184 (734) 756-2196 E-mail: kbhardy1964@hotmail.com</p> <p>SOUTH BELLEVILLE VILLAS 515 SUMPTER ROAD BELLEVILLE, MI</p>				
SITE PLAN				

SUMPTER ROAD
(100' R/W)



VICINITY MAP
NOT TO SCALE

HARDY CIVIL DESIGN SERVICES LLC
4996 MOORE ST. WAYNE, MI 48184
(734) 756-2196
E-mail: kbhardy1964@hotmail.com

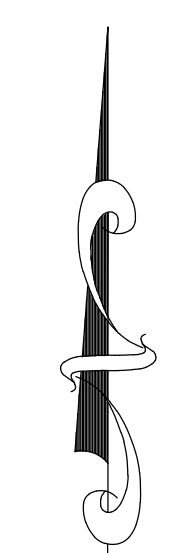
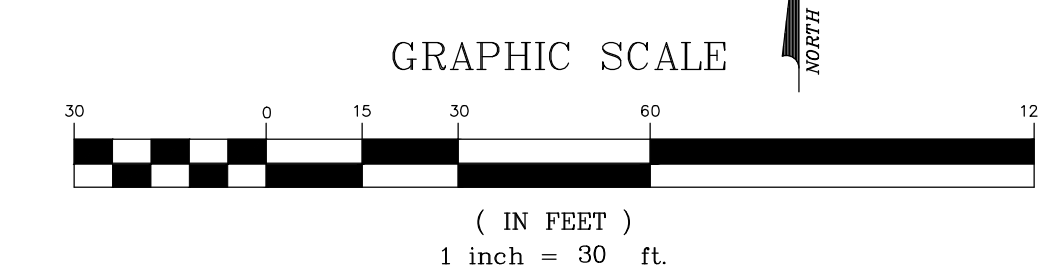
SITE PLAN

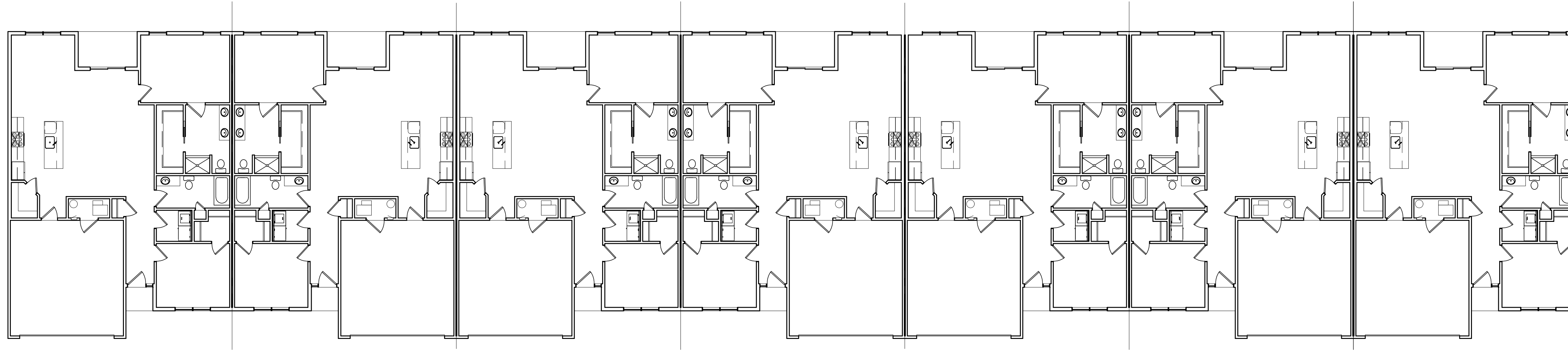
SOUTH BELLEVILLE VILLAS
515 SUMPTER ROAD
BELLEVILLE, MI

SHEET No.	JOB No.	DRAWING No.	DATE	REVISIONS
4	2022-02	A-	01-03-23
DRAWN BY:			CHECKED BY:	

OWNER/DEVELOPER
DAVENPORT BROTHERS CONSTRUCTION CO.
301 INDUSTRIAL PARK DRIVE
BELLEVILLE, MI 48111
(734) 697-2994
CONTACT: STEVE DAVENPORT

- LEGEND**
- EX. CATCH BASIN
 - ⊙ EX. SANITARY MANHOLE
 - ⊙ EX. STORM MANHOLE
 - ⊙ EX. HYDRANT
 - ⊙ EX. UTILITY POLE
 - ⊙ EX. VALVE WELL
 - X- EX. FENCE
 - ⊙ EX. STREET SIGN
 - ☆ EX. LIGHT POLE





Composite Floor Plan
SCALE: 3/32"=1'-0"

PRELIMINARY

Sumpter Road Apartments
Davenport Brothers Construction Co.
Steve Davenport
455 Sumpter Road
Belleville, MI 48111

APPROVED	DRAWING DATE
CHECKED	DRAWN

PROJECT No:
22-591 .00

SHEET No:
A - 210

Composite Floor Plan

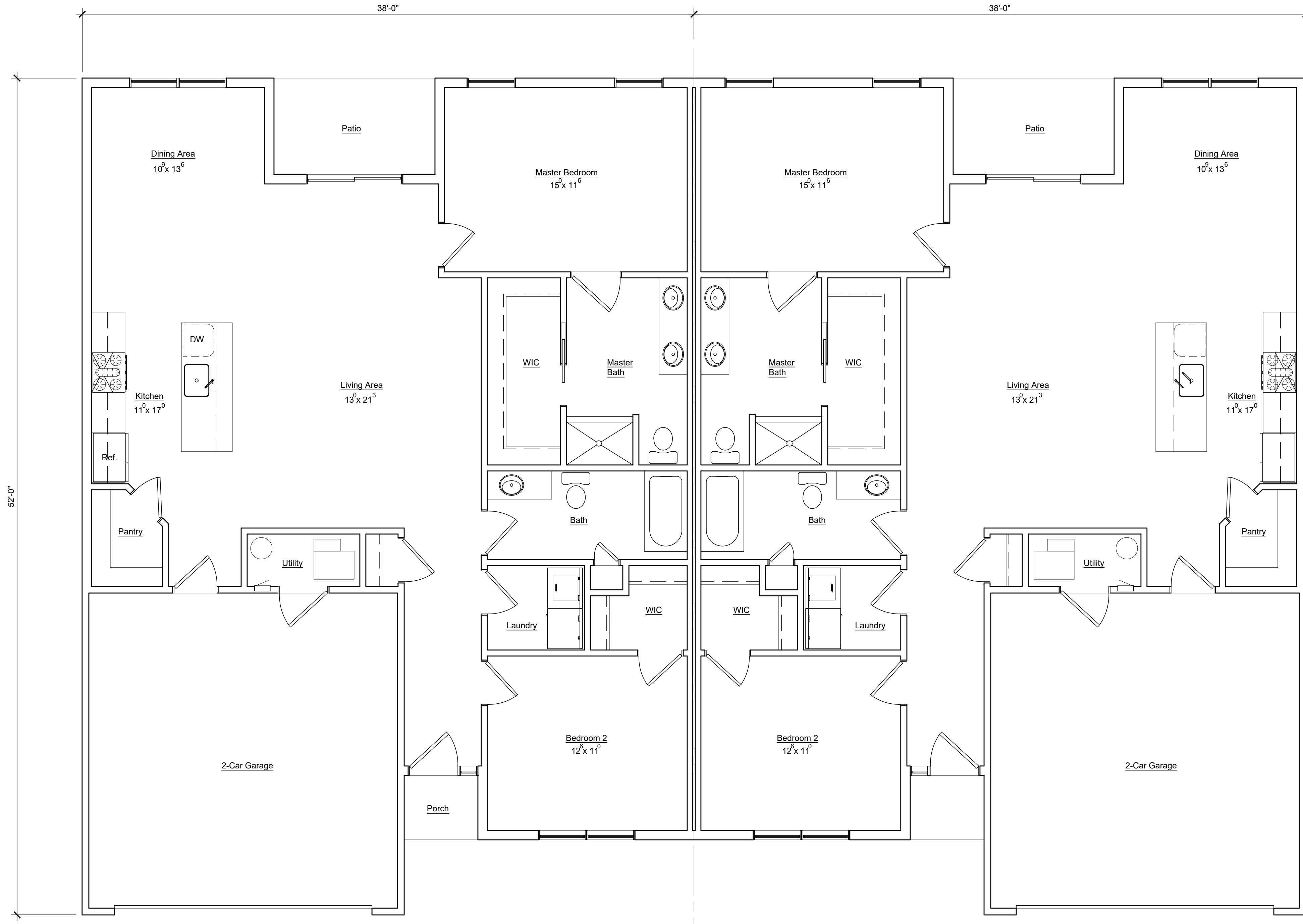
SHEET TITLE

ISSUED FOR

DATE

© 2022 D. S. WRIGHT & ASSOCIATES, P.C.
D. S. WRIGHT & ASSOCIATES, P. C.
ARCHITECTURE & PLANNING
44456 CLARE BLVD. PLYMOUTH, MICHIGAN 48170
TELEPHONE • 734.377-4632

ASSOCIATE CONSULTANT



Two Unit Floor Plan
SCALE: 1/4"=1'-0"

PRELIMINARY

<p>© 2022 D. S. WRIGHT & ASSOCIATES, P.C. D. S. WRIGHT & ASSOCIATES, P. C. ARCHITECTURE & PLANNING 44456 CLARE BLVD. PLYMOUTH, MICHIGAN 48170 TELEPHONE • 734-377-4632 <small>ASSOCIATE@DSRW.COM</small></p>									
<p>Two Unit Floor Plan</p>									
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 80%;">SHEET TITLE</th> <th style="width: 20%;">DATE</th> </tr> <tr> <td style="height: 100px;"> </td> <td> </td> </tr> </table>	SHEET TITLE	DATE							
SHEET TITLE	DATE								
<p>Sumpter Road Apartments Davenport Brothers Construction Co. Steve Davenport 455 Sumpter Road Belleville, MI 48111</p>									
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"><small>APPROVED</small></td> <td style="width: 50%;"><small>DRAWING DATE</small></td> </tr> <tr> <td> </td> <td>11/14/2022</td> </tr> <tr> <td style="width: 50%;"><small>CHECKED</small></td> <td style="width: 50%;"><small>DRAWN</small></td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	<small>APPROVED</small>	<small>DRAWING DATE</small>		11/14/2022	<small>CHECKED</small>	<small>DRAWN</small>			
<small>APPROVED</small>	<small>DRAWING DATE</small>								
	11/14/2022								
<small>CHECKED</small>	<small>DRAWN</small>								
<p><small>PROJECT No:</small> 22-591 .00</p>									
<p><small>SHEET No:</small> A - 211</p>									