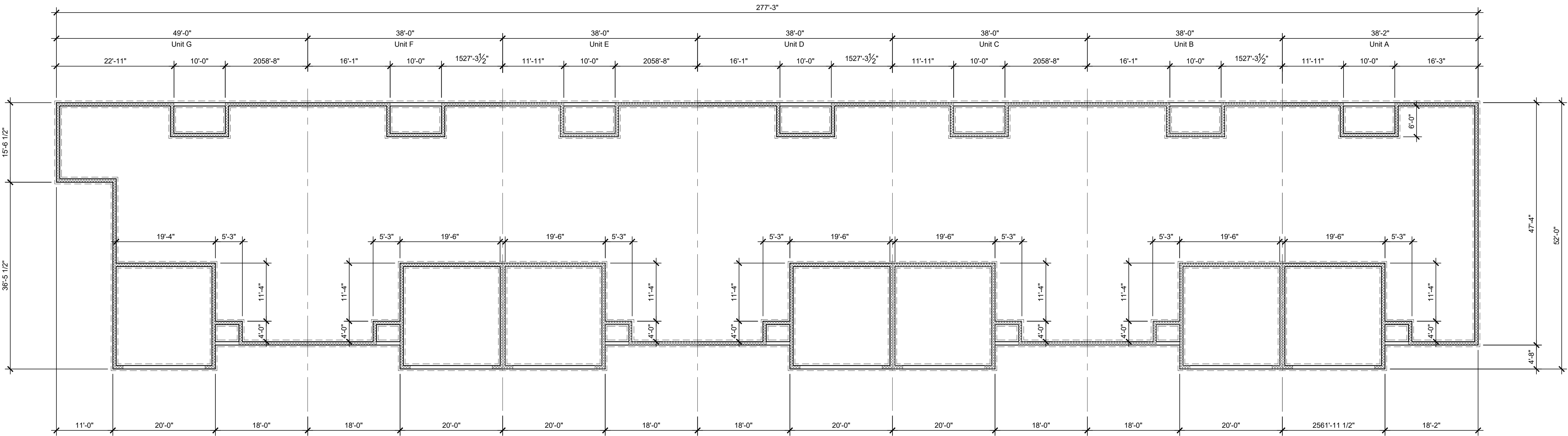




Foundation Plan
SCALE: 3/32"=1'-0"

FOUNDATION NOTES:

The building area shall be cleared of debris, topsoil, and organic material. Any existing fill shall be removed and replaced. New fill material shall be clean, well-graded granular material and placed in lifts of not more than 9", with each lift being compacted to a minimum of 95% of the maximum dry density as determined by ASTM designation D-1557 (Modified Proctor).

Concrete for foundations and slab on grade shall have minimum compressive strengths of 3,000 p.s.i. in 28 days. Minimum cement contents shall be 5.5 bags per yard. Air entrainment shall be used for concrete exposed to weather.

Reinforcing steel shall be deformed bars with yield strengths in accordance with A.S.T.M. A-615 grade 60. Welded wire fabric (mesh) shall conform to A.S.T.M. A-185 with minimum side and end laps of 8".

All reinforcing shall be fabricated and placed according to the "Manual of Std. Practice for Detailing Reinforced Concrete", A.C.I. 318-65 revised. Bends, splices and cover shall be in accordance with A.C.I. 318-77.

All foundations shall bear at depths shown or as recommended by a soils engineer. Bearing shall be in compacted virgin undisturbed soil with a minimum bearing capacity of 2,000 p.s.i. Compaction of the existing soil shall be in accordance with the recommendation of the soils engineer and shall be verified prior to placing concrete.

MASONRY NOTES:

All work shall conform to the "American Standard Building Code Requirements for Masonry", U.S. Department of Commerce National Bureau of Standards Miscellaneous Publication 211 (American Standards Association A41.1).

Provide 8" solid masonry under ends of walls bearing beams, joists and lintels unless noted otherwise.

All block masonry work below grade shall be 8" or 12" thick concrete block masonry filled with 3,000 PSI concrete with pea gravel aggregate.

FOUNDATION NOTES:

1. Step down trench footing per Civil Drawings, see Elevations for approximate location of step downs.
2. Add concrete block masonry as required from top of trench footing up to finish floor, see wall sections.

PRELIMINARY

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ARCHITECTURE & PLANNING

44456 CLARE BLVD. PLYMOUTH, MICHIGAN 48170

TELEPHONE • 734-377-4632

ASSOCIATE CONSULTANT

Foundation Plan	
SHEET TITLE	
ISSUED FOR	
DATE	

PROJECT

Sumpter Road Apartments
Davenport Brothers Construction Co.

Steve Davenport
455 Sumpter Road
Belleville, MI 48111

APPROVED

DRAWING DATE

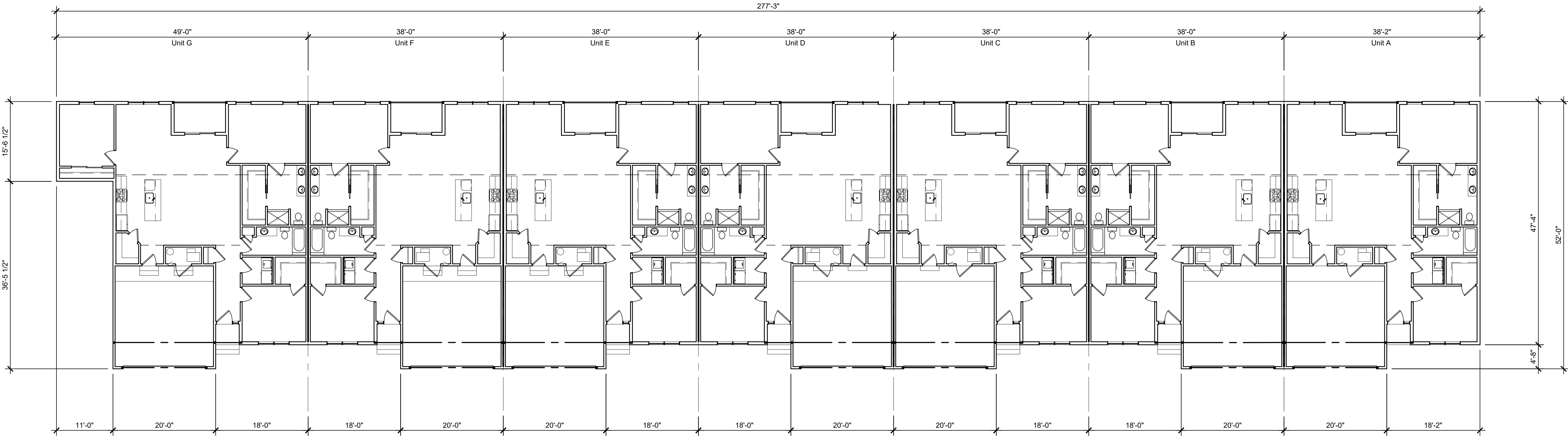
02/01/2023

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PROJECT No:
22-591 .01

SHEET No:
A - 110



Composite Floor Plan
SCALE: 3/32"=1'-0"

SELECTIONS OF THE FOLLOWING MATERIALS,
EQUIPMENT AND FIXTURES ARE TO BE MADE BY THE
OWNER / DEVELOPER.

INSTALLATION IS TO BE IN ACCORDANCE WITH LOCAL
CODES AND MANUFACTURER'S WRITTEN
INSTRUCTIONS.

- . Window type, other than specified product and installation details.
- . Exterior brick, to match existing, and block.
- . Exterior siding and trim.
- . Exact type of gutters and downspouts. Coordinate location of downspouts with the Owner.
- . Sealant type and color.
- . Roof shingles, to match existing.
- . Floor finishes.
- . Wall & ceiling finishes other drywall.
- . Paint materials.
- . Interior door and frame details.
- . Kitchen and vanity cabinets type and detail.
- . Plumbing fixtures.
- . Electrical devices and light fixtures.
- . HVAC equipment and systems.

WOOD FRAMING:

Stud Framing:

General: Provide stud framing where shown. Use 2" x 4" or 2"x6" wood studs 16" o.c. for exterior and bearing walls as shown; for other interior partitions, use 2" x 4" wood studs spaced 16" o.c. Provide single bottom plate and double plate and double-top plates 2" thick by width of studs, except for anchor plates to supporting construction. Construct corners and intersections with not less than 3 studs; anchor to abutting masonry or concrete, if any. Provide miscellaneous blocking and framing as shown and as required for support of facing materials, fixtures, specialty items and trim.

Joist Framing:

General: Provide framing of sizes and on spacing shown. Support ends of each member with not less than 1-1/2" of bearing on wood or metal or 3" on masonry. Attach to wood bearing members by toe nailing or metal connectors; frame to wood supporting members with wood ledgers, or with metal connectors. Frame openings with headers and trimmers supported by metal joist hangers; double headers and trimmers where span of header exceeds four feet. Do not notch in middle third of joists; limit notches to not more than 1/6 depth of joist or locate closer than 2" from top or bottom. Provide alternate solid blocking (2" thick by depth of joist) at ends of joist unless nailed to header or band member.

Provide bridging between joists whose nominal depth-to-thickness ratio exceeds 5, at intervals of 8 feet. Use bevel cut 1" x 4" or 2" x 3" wood bracing, double-crossed and nailed both ends to joists.

LUMBER SPECIFICATIONS:

USAGE/ LOCATION	SIZE CLASSIFICATION	MATERIAL	DESIGN VALUES (psi)
Misc. Framing Walls, Partitions Joists	2"x4" or 2"x6" studs 2"x10 or 2"x12" joists	Hem-Fir #2 or better	Fb = 850 (S) Fb = 975 (R) Ft = 625 Fv = 150 Fc ₉₀ = 405 Fc = 1,300 E = 1,200,000

TRUSS NOTES:

MATERIALS

Wood Trusses shall be fabricated by an authorized Truss Plate Institute Manufacturer and in accordance with "Design Specifications for Light Metal Plate Connected Wood Trusses" (TPI-74), TPI Quality Control Manual QCM-77, and "National Design Specifications for Stress Grade Lumber and its Fastenings" (NFPA).

Provide sway bracing, cross-bracing, strut bracing, bottom chord restraint and all anchorage accessories s required.

DESIGN

The wood truss shall be custom designed to fit the dimensions indicated on the plans. All designs shall be in accordance with allowable values assigned by the building code approval, except that snow load shall be verified with local building codes. Complete design calculation showing internal layout, member forces and stress control points are to be available upon request for each truss design. The design of the wood truss system, including trusses, bracing, ties, bridging and anchors, is to be under the supervision of a Professional Engineer, registered in the state where the work occurs.

Composite Floor Plan

SHEET TITLE	ISSUED FOR	DATE
Site Plan Approval	Site Plan Approval	01/04/23
Site Plan Approval	Site Plan Approval	02/07/23

PROJECT
Sumpter Road Apartments
Davenport Brothers Construction Co.
Steve Davenport
455 Sumpter Road
Belleville, MI 48111

APPROVED	DRAWING DATE 11/14/2022
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PROJECT No:
22-591 .01
SHEET No:

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ARCHITECTURE & PLANNING
44456 CLARE BLVD, PLYMOUTH, MICHIGAN 48170
TELEPHONE • 734-377-4632
ASSOCIATE CONSULTANT

PRELIMINARY

WINDOW SCHEDULE						
	NO.	ANDERSEN 200 SERIES				
		TYPE	UNIT	HAND	MAT.	HEAD
Units A, B, C, D, E, F	F01	Double Hung	244DH3060-2 - Egress Compliant	-	Clad	8'-0"
	F02	Double Hung	244DH3060 - Egress Compliant	-	Clad	8'-0"
	F03	Gliding Door	NLGD6080R	Right	Clad	8'-0"
Unit G	G01	Double Hung	244DH3060-2 - Egress Compliant	-	Clad	8'-0"
	G02	Double Hung	244DH3060 - Egress Compliant	Left	Clad	8'-0"
	G03	Gliding Door	NLGD6080L	-	Clad	8'-0"

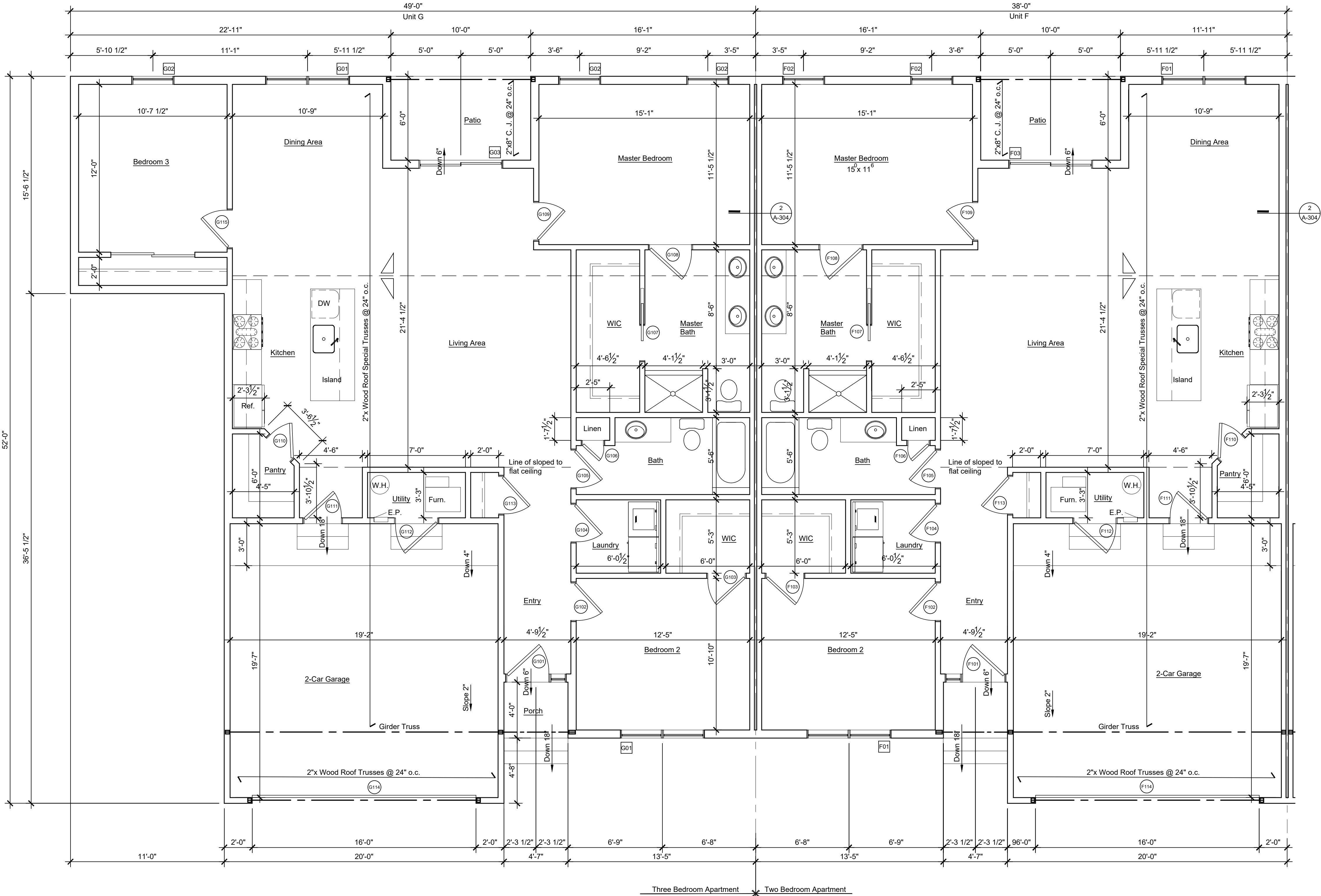
DOOR SCHEDULE				
	DR. NO.	DOOR		REMARKS
		SIZE	MAT.	
Units A, B, C, D, E, F	F101	3'-0" x 6'-0" x 1 3/4"	F. G.	Alum.
	F102	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	F103	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	F104	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	F105	2'-8" x 6'-8" x 1 3/4"	Wd.	Mar.
	F106	1'-6" x 6'-8" x 1 3/4"	Wd.	-
	F107	2'-6" x 6'-8" x 1 3/4"	Wd.	- Pocket door
	F108	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	F109	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	F110	2'-6" x 6'-8" x 1 3/4"	Wd.	- Wood & opaque glass door
	F111	2'-8" x 6'-8" x 1 3/4"	Stl.	Alum. 45 Minute Rated
	F112	2'-8" x 6'-8" x 1 3/4"	Alum.	45 Minute Rated
	F113	2'-6" x 6'-8" x 1 3/4"	Wd.	-
	F114	16'-0" x 8'-0" x 2"	Stl.	- Insulated overhead door

Alum. = Aluminum
F. G. = Fiberglass
Mar. = Marble
Stl. = Steel
Wd. = Wood

Interior Doors: Jeld Wen
2-Panel Continental Primed
Smooth Molded Composite Door

DOOR SCHEDULE				
	DR. NO.	DOOR		REMARKS
		SIZE	MAT.	
Unit G	G101	3'-0" x 8'-0" x 1 3/4"	F. G.	Alum.
	G102	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	G103	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	G104	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	G105	2'-8" x 6'-8" x 1 3/4"	Wd.	Mar.
	G106	1'-6" x 6'-8" x 1 3/4"	Wd.	-
	G107	2'-6" x 6'-8" x 1 3/4"	Wd.	- Pocket door
	G108	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	G109	2'-8" x 6'-8" x 1 3/4"	Wd.	-
	G110	2'-6" x 6'-8" x 1 3/4"	Wd.	- Wood & opaque glass door
	G111	2'-8" x 6'-8" x 1 3/4"	Stl.	Alum. 45 Minute Rated
	G112	2'-8" x 6'-8" x 1 3/4"	Alum.	45 Minute Rated
	G113	2'-6" x 6'-8" x 1 3/4"	Wd.	-
	G114	16'-0" x 8'-0" x 2"	Stl.	- Insulated overhead door

- GENERAL NOTES:
1. All exterior walls are 7" thick unless noted otherwise.
 2. All interior walls are 4 1/2" thick unless noted otherwise.
 3. All new door and window headers minimum (2) 2"x10.
 4. Linen, closet, & pantry shelving as selected by the Owner.
 5. Unit's A, B, C, D, E, & F are identical 2-bedroom units, but may be mirrored or reversed from typical Unit F shown.
 6. Unit G is a 3-bedroom unit.
 7. 1-hour fire partition between units refer to detail.
 8. Attic Ventilation (per unit).
Provide a minimum net free ventilation of 1/50 of the area of the attic.
Units A-F Attic area = 3,310 s.f. / 150 = 22.1 s.f. of net free ventilation required.
 9. Each unit separated from adjoining unit by 1-hour fire rated walls.



Large Scale Floor Plans
SCALE: 1/4"=1'-0"

Two Unit Floor Plan			
SHEET TITLE	ISSUED FOR	DATE	
	Site Plan Approval	01/04/23	
	Site Plan Approval	02/07/23	

PROJECT
Sumpter Road Apartments
Davenport Brothers Construction Co.
Steve Davenport
455 Sumpter Road
Belleville, MI 48111

APPROVED	DRAWING DATE 11/14/2022
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PROJECT No:
22-591 .01
SHEET No:

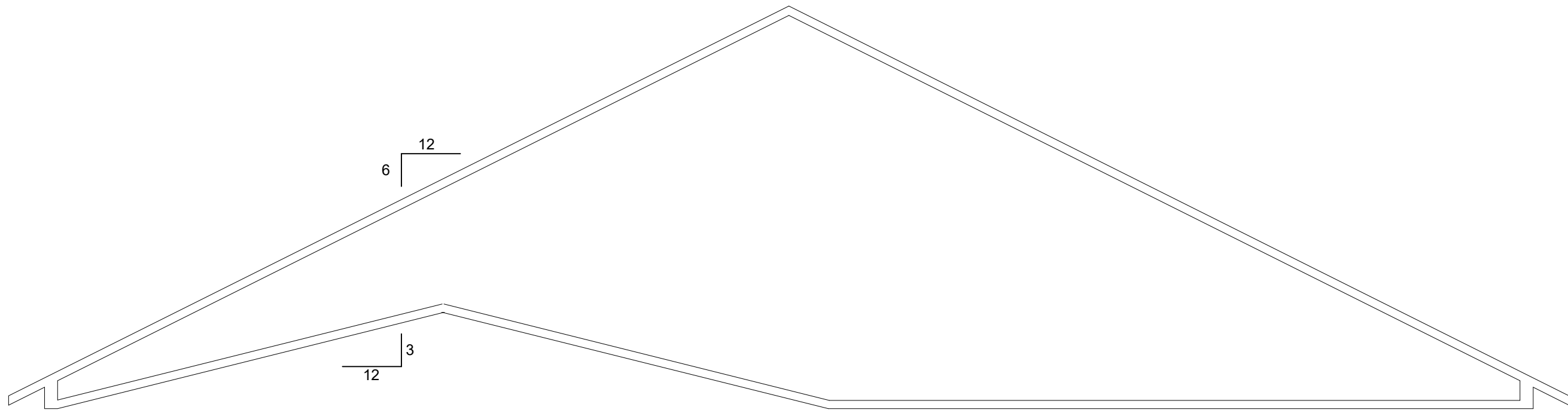
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D. S. WRIGHT & ASSOCIATES, P. C.
ARCHITECTURE & PLANNING
44456 CLARE BLVD. PLYMOUTH, MICHIGAN 48170
TELEPHONE • 734.377-4632
ASSOCIATE CONSULTANT

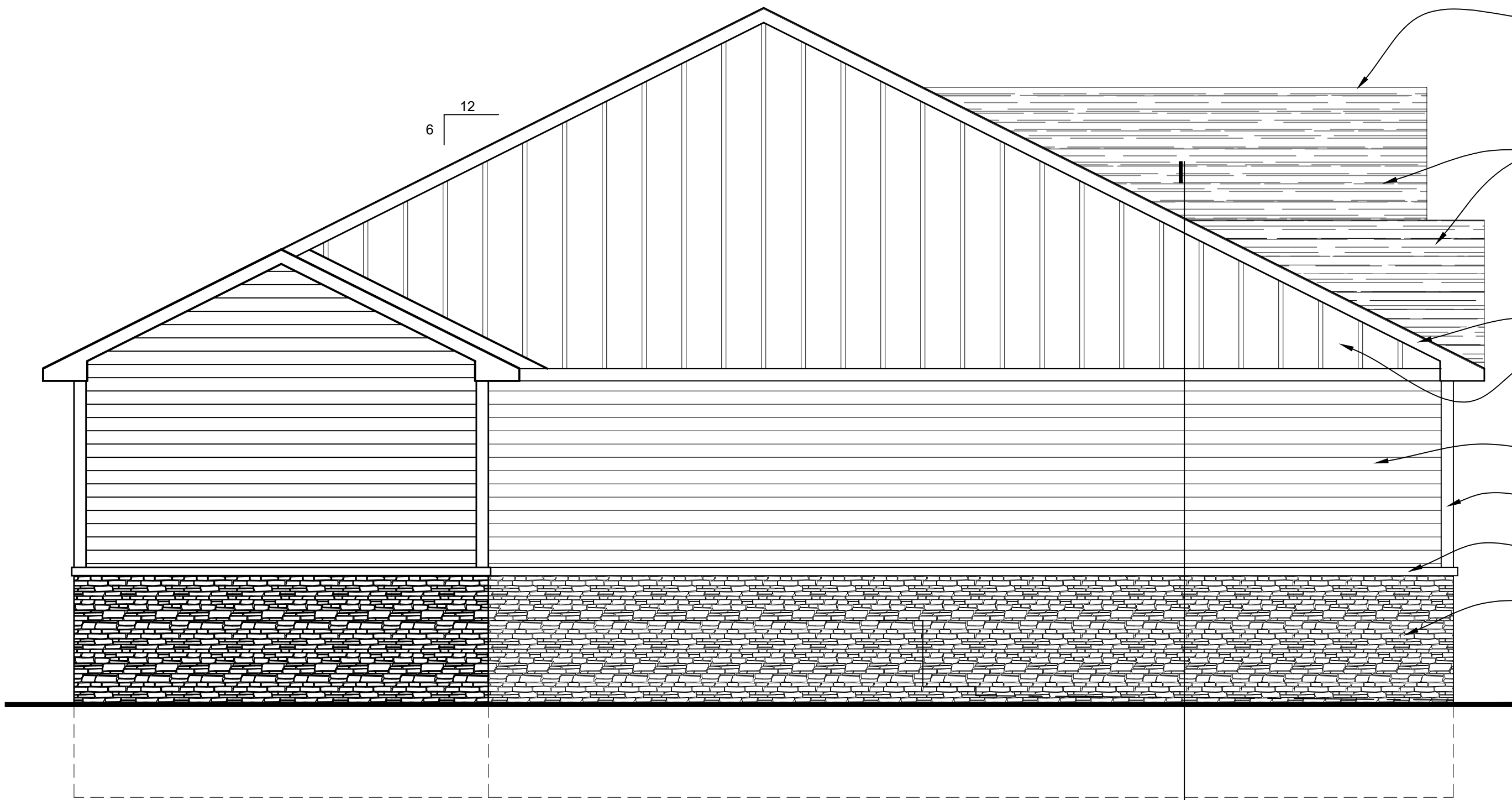
PRELIMINARY

EXTERIOR NOTES:

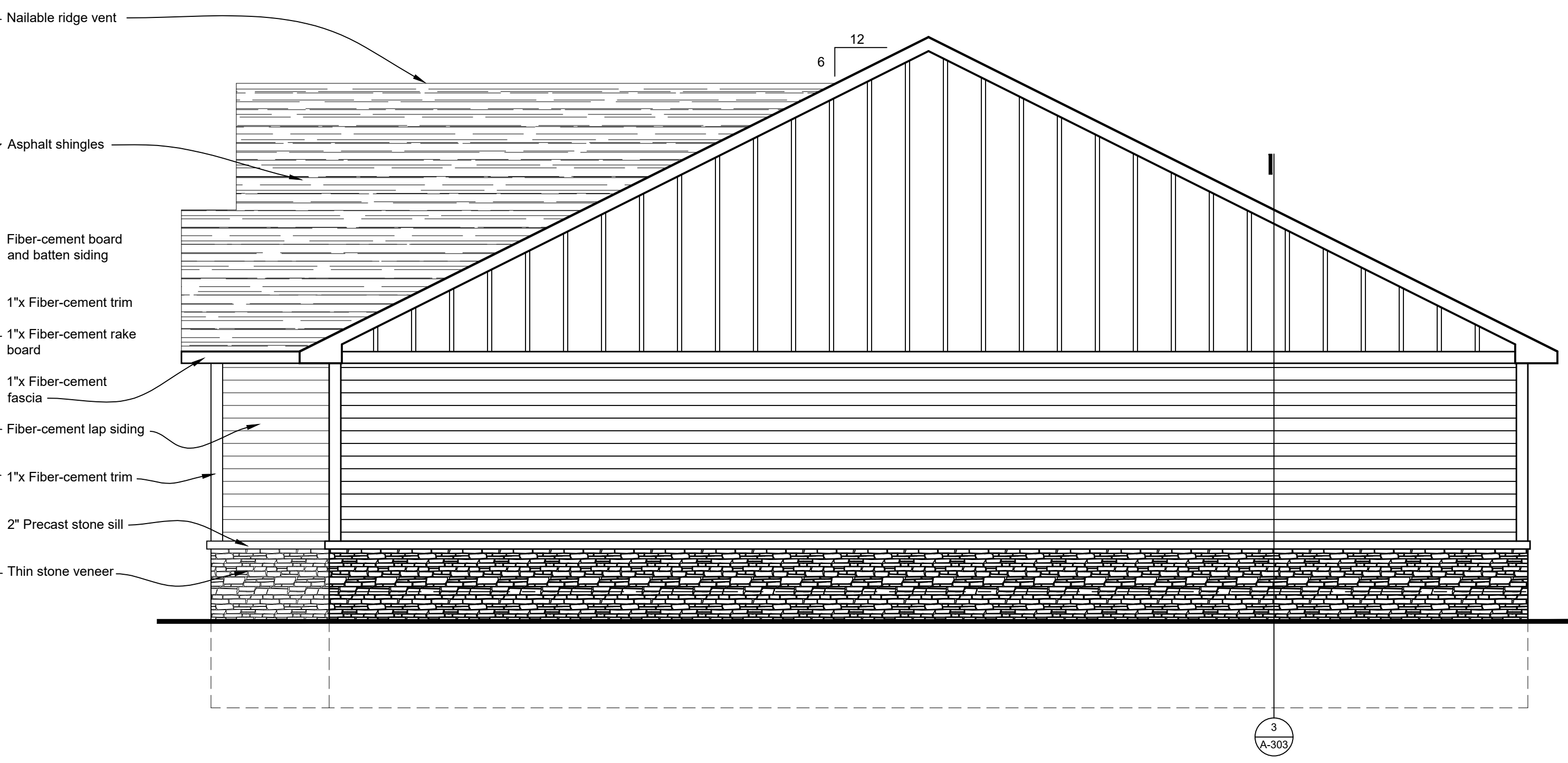
- Colors of all materials as selected by the Developer.
- Provide gutters and downspouts. Located downspouts as directed by the Developer.



Special Truss Profile
SCALE: 1/4"=1'-0"



Left Side Elevation
SCALE: 1/4"=1'-0"



Right Side Elevation
SCALE: 1/4"=1'-0"



Partial Rear Elevation
SCALE: 1/4"=1'-0"

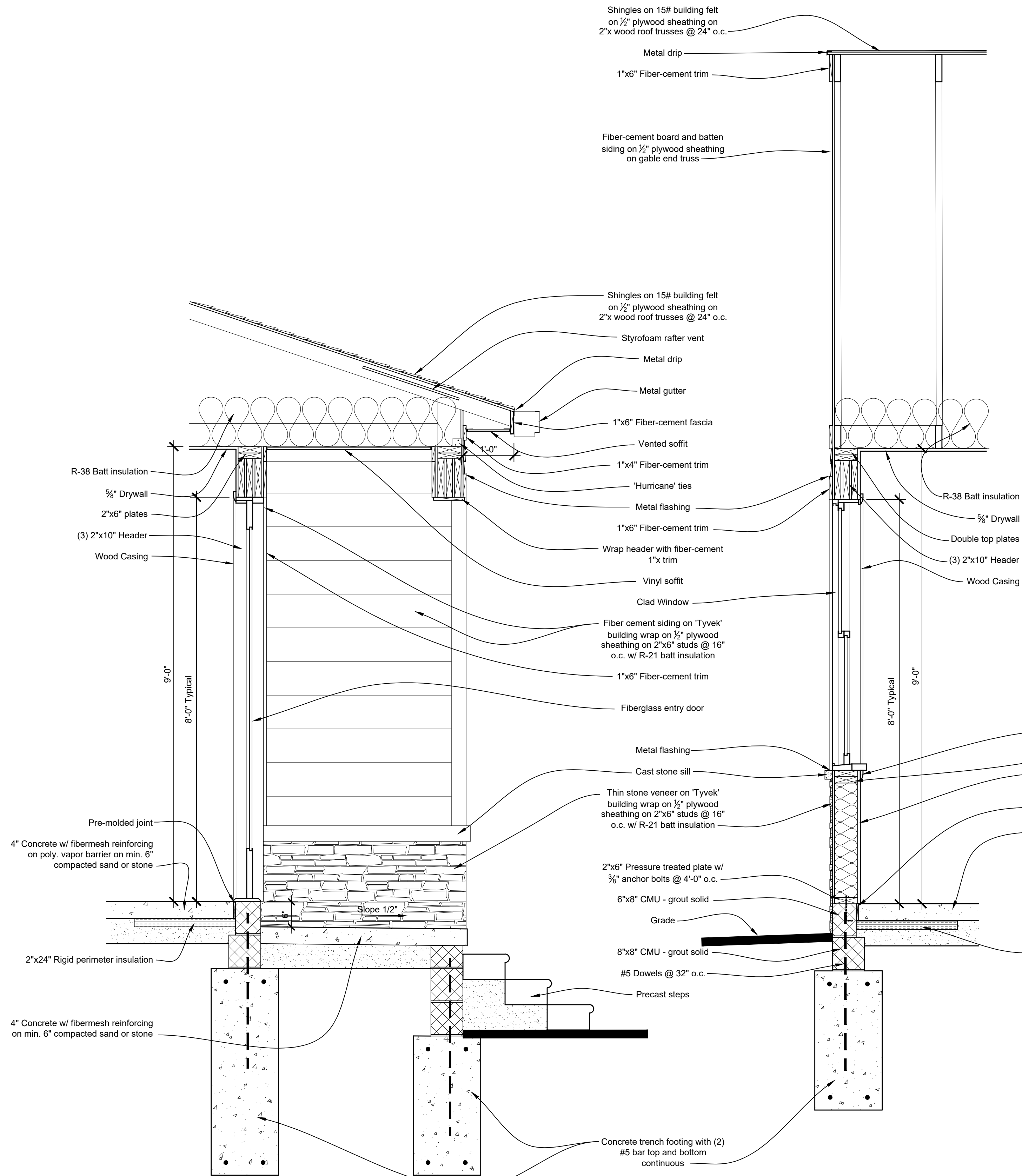
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ARCHITECTURE & PLANNING
44456 CLARE BLVD, PLYMOUTH, MICHIGAN 48170
TELEPHONE • 734 377-4632

Typical Elevation	
SHEET TITLE	DATE
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Site Plan Approval	01/04/23
Site Plan Approval	02/07/23

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Steve Davenport
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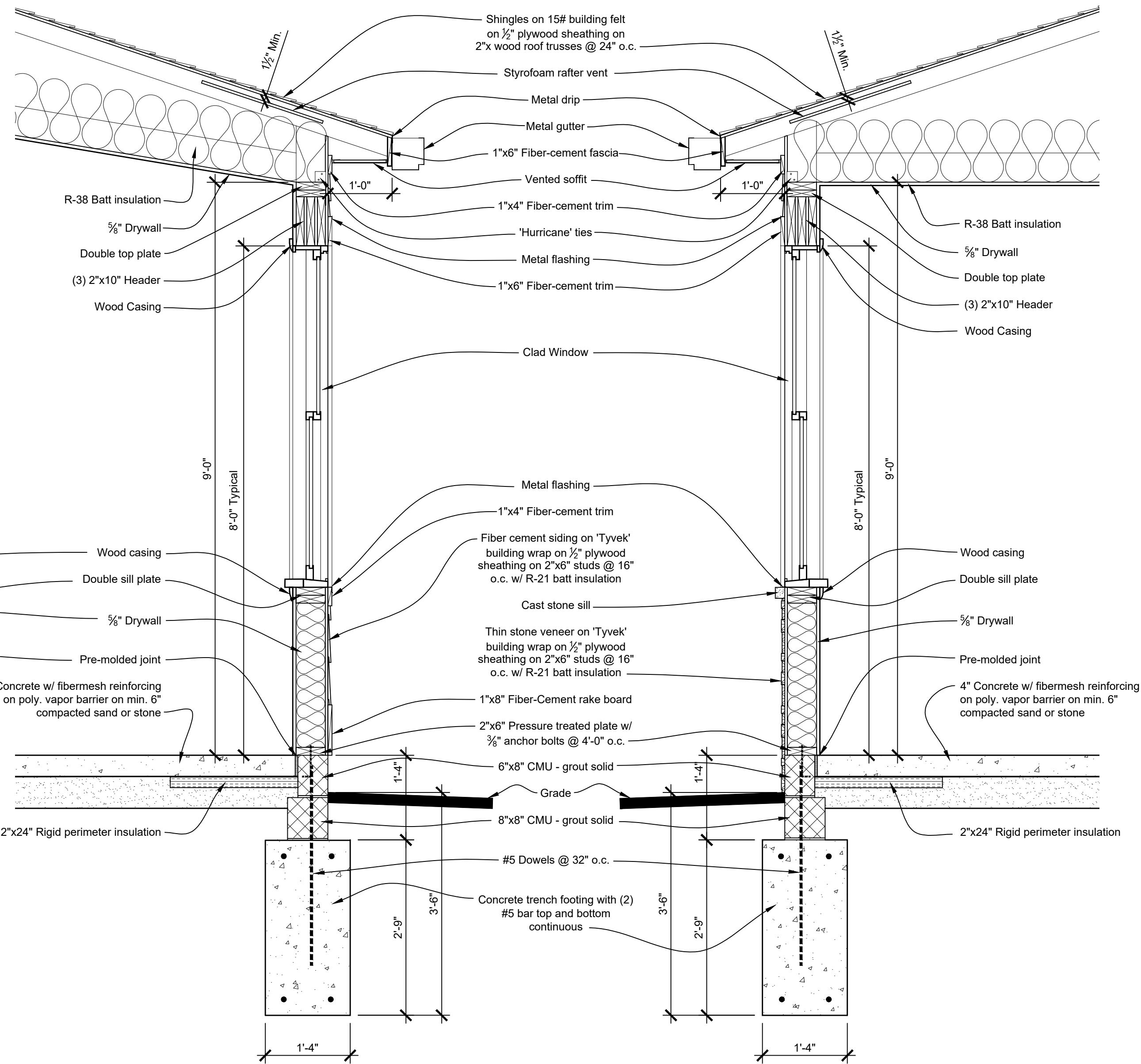
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SHEET No. A - 302

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4
A-301 SCALE: 3/4"=1'-0"

3
A-302 SCALE: 3/4"=1'-0"



2
A-301 SCALE: 3/4"=1'-0"

1
A-301 SCALE: 3/4"=1'-0"

PRELIMINARY

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Davenport Brothers Construction Co.

Steve Davenport
455 Sumpter Road
Belleville, MI 48111

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11/14/2022

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PROJECT No.
22-591.00

SHEET No.

A - 303

Typical Elevation

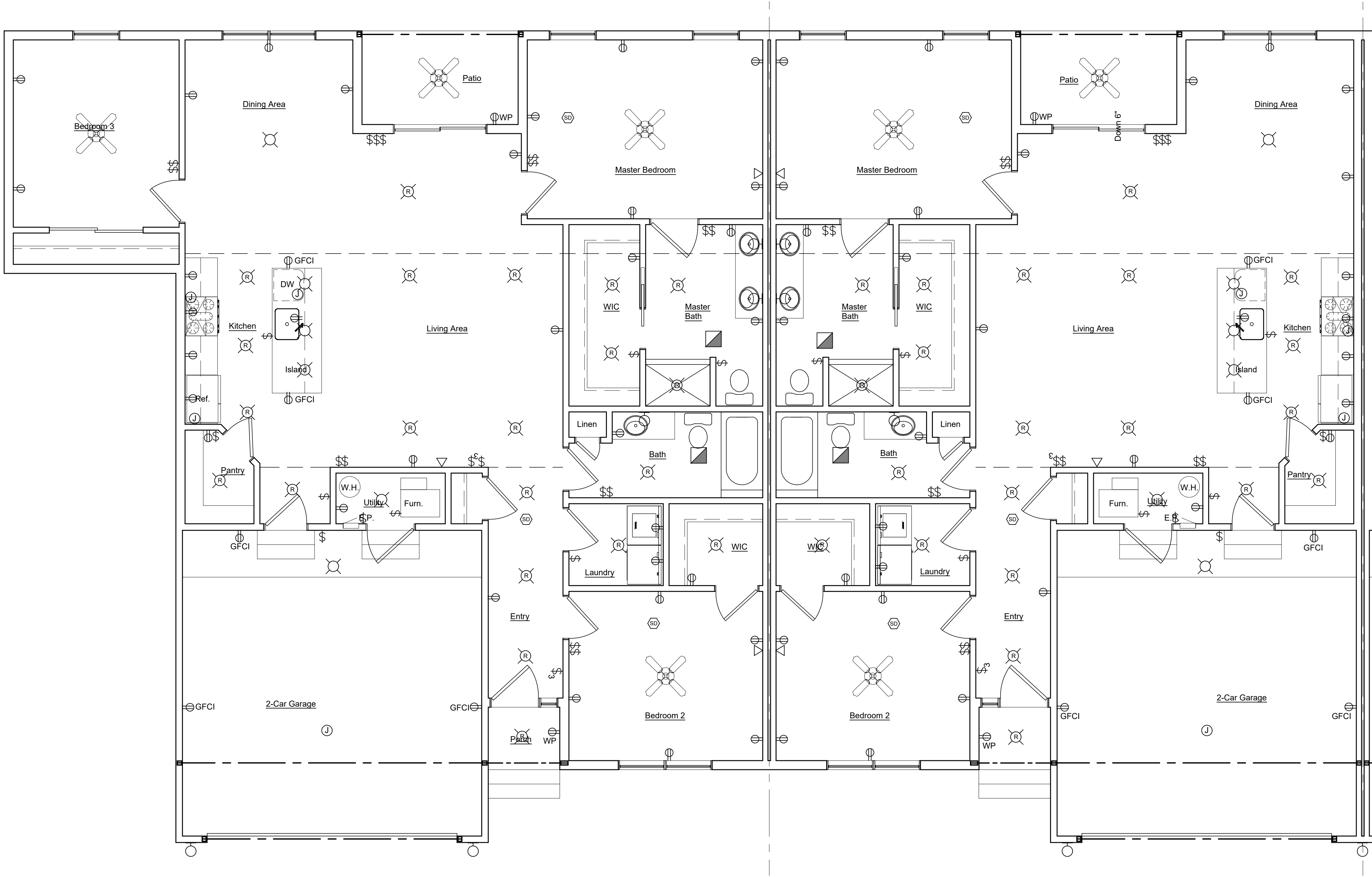
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TELEPHONE • 734 377-4632

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Three Bedroom Apartment X Two Bedroom Apartment

Large Scale Floor Plans
SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND

- | | | | |
|-------------------|--|-------------------|---|
| ⦿ | 15A 115V DUPLEX RECEPTACLE | ⦿ | HARD WIRED, INTERCONNECTED COMBINATION SMOKE & CARBON MONOXIDE DETECTOR |
| ⦿ _{WP} | 15A 115V DUPLEX RECEPTACLE IN WEATHER PROOF BOX | ⦿ | WALL MOUNTED LIGHT FIXTURE |
| ⦿ _{GFCI} | 15A 115V GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE | ⦿ | CEILING RECESSED CAN LIGHT FIXTURE |
| ⦿ | 15A 115V IN FLOOR RECEPTACLE | ⦿ | CEILING MOUNTED LIGHT FIXTURE |
| ⦿ | 30A 220V APPLIANCE RECEPTACLE | ⦿ _{P.C.} | WALL MOUNTED LIGHT FIXTURE ON PHOTO CELL |
| △ | CAT3 TELEPHONE OUTLET | ⦿ | CEILING FAN |
| \$ | 15A SINGLE POLE SWITCH | ⦿ | 120V CEILING MOUNTED EXHAUST FAN / LIGHT FIXTURE |
| \$ | 15A 3-WAY SWITCH | ⦿ | 120v CEILING MOUNTED EXHAUST FAN |
| \$ | 15A DIMMING SWITCH | | |
| ⦿ | JUNCTION BOX w/ 15A CIRCUIT | | |

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Two Unit Electrical Plans

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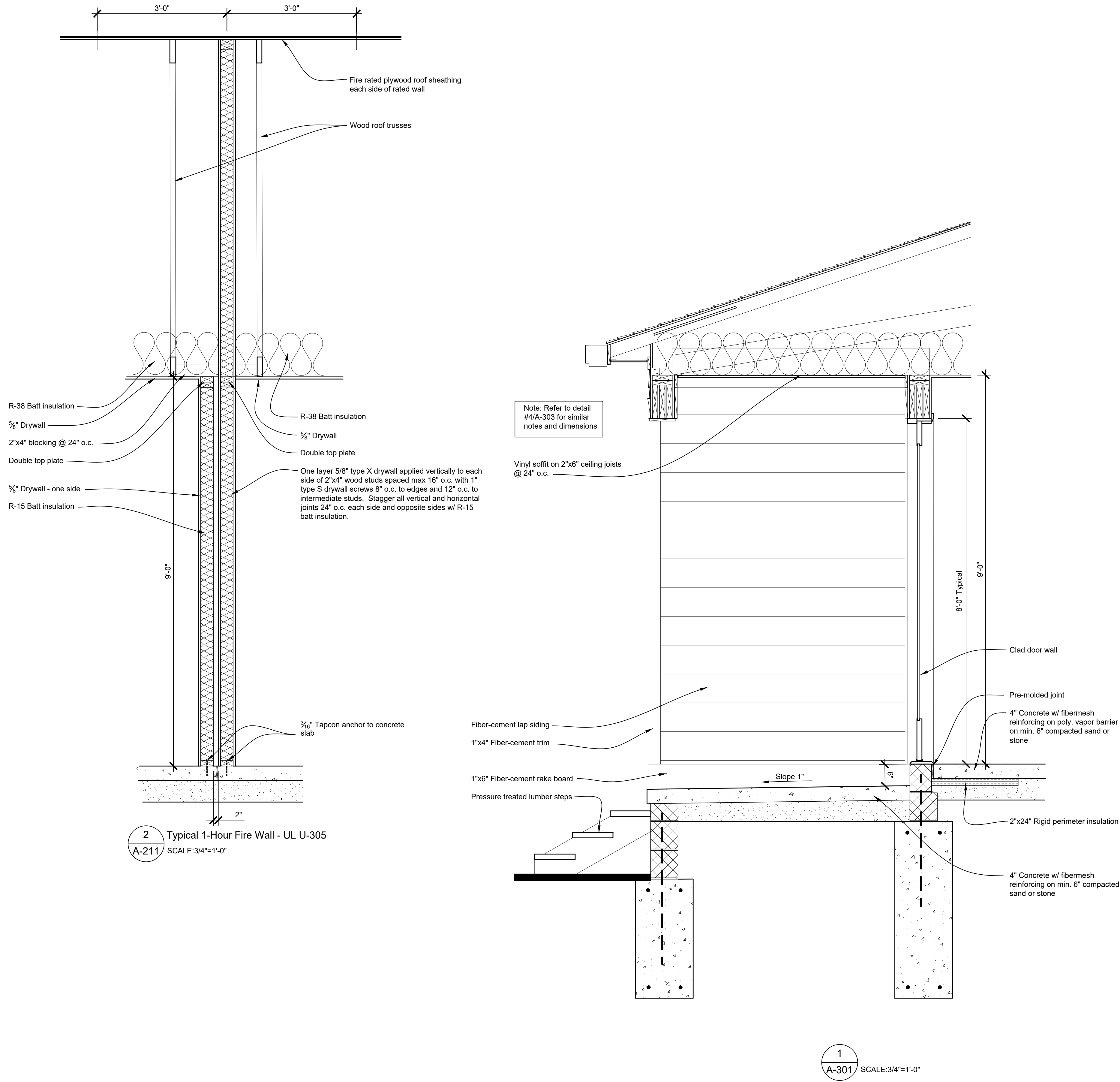
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22-591 .01

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Typical Elevation	
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