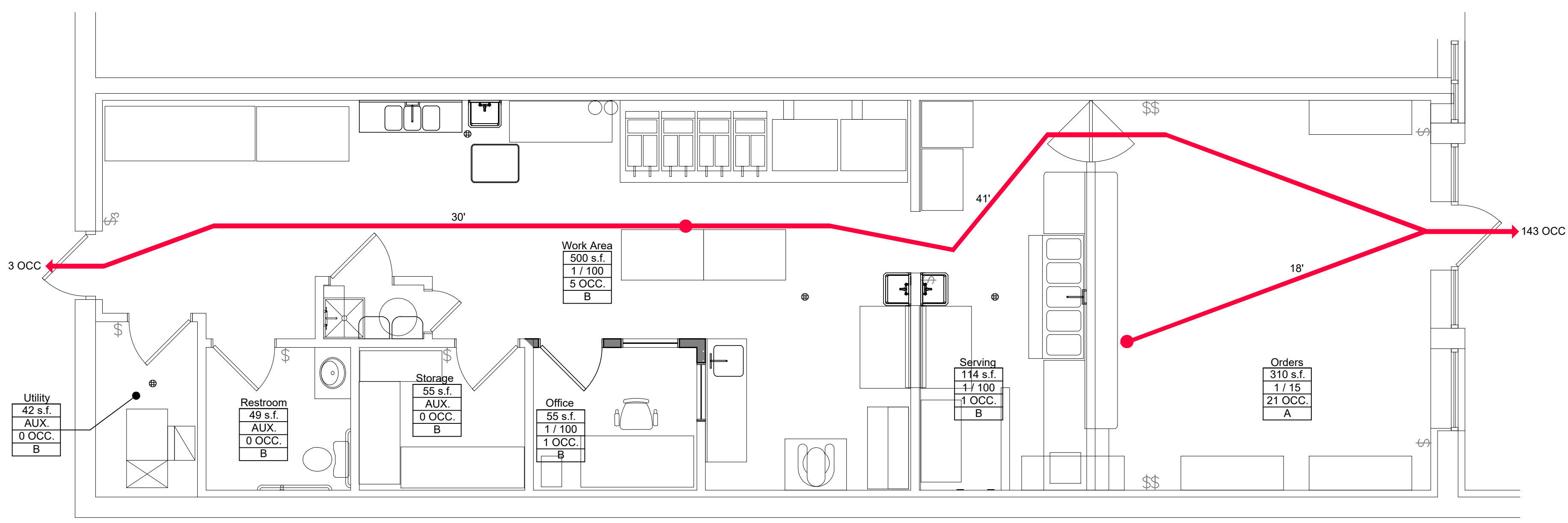


TENANT SUITE BUILD-OUT FOR RETTA B's SOUTHERN CUISINE

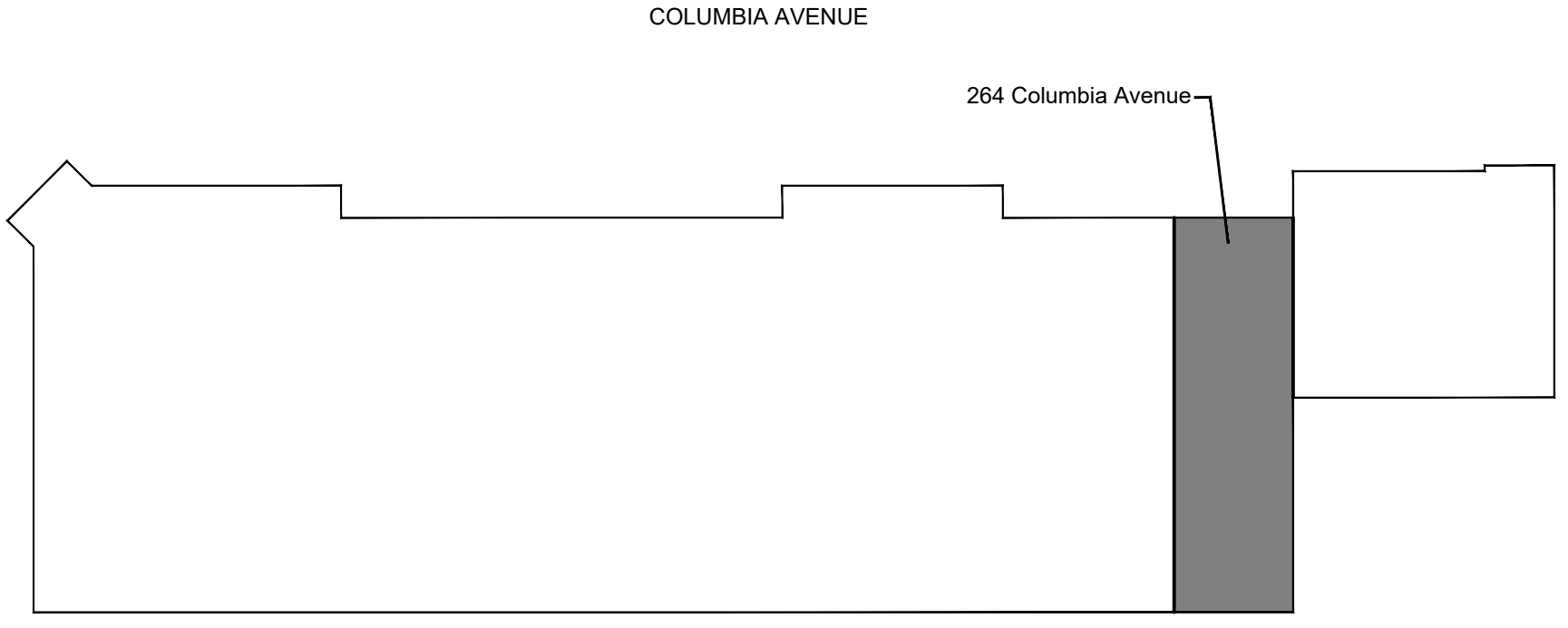
264 COLUMBIA AVENUE
BELLEVILLE, MICHIGAN



LIFE SAFETY PLAN
SCALE: 1/4"=1'-0"

Legend

Area	xxx s.f.
OCC. Load Factor	1 / 100
Actual Occupancy	X OCC.
Occupancy Group	E



GENERAL NOTES:

PLUMBING, FIRE PROTECTION, MECHANICAL, ELECTRICAL AND FIRE ALARM SYSTEMS TO BE PERFORMED AS DESIGN/BUILD CONTRACTS, WITH EACH CONTRACTOR RESPONSIBLE FOR CODE COMPLIANT SYSTEMS. EACH CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS ASSOCIATED WITH THEIR WORK.

CONTRACTOR TO COORDINATE WITH BUILDING OWNER & TENANT REGARDING ANY UTILITY SHUTDOWNS REQUIRED FOR CONSTRUCTION, AS WELL AS ANY ISSUES RELATED TO WORK IN THE BUILDING.

CONTRACTOR TO TURN OVER TO BUILDING OWNER ANY EQUIPMENT, LIGHT FIXTURES, HARDWARE, ETC. WHICH IS REMOVED BUT NOT REQUIRED FOR THIS TENANT BUILD-OUT.

ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ALL WOOD BLOCKING, PLYWOOD & LUMBER TO BE FIRE RETARDANT.

PROVIDE AND INSTALL FIRE EXTINGUISHERS AS DIRECTED BY THE FIRE MARSHAL.

ALL BUILDING AND TENANT AREAS ARE TO BE ACCESSIBLE PER MBC 2015 CHAPTER 11.

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, WHENEVER REQUIRED. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO APPLICABLE CODES.

2015 INTERNATIONAL BUILDING CODE REVIEW Use Group (Section 302)		M & A-3 (Unlimited Area)
Type of Construction (Table 601)		2B
Allowable Building Height in Feet Above Grade Plan (504.3) (Sprinklered)		75
Allowable Number of Stories Above Grade Plan - Use Group A-3 (Table 504.4)		3
Allowable Area Factor (Table 506.2)		
One Story Building with Sprinkler System - S1		38,000
Perimeter Fronting a Public Way		705.0
Perimeter of Entire Building		705.0
Minimum Width of Public Way or Open Space (Cannot be more than 30' or less than 20') (Section 506.3)		30
Unlimited Area Buildings (Section 507)		
Sprinklered, one-story buildings (507.5)		
The area of a Group B, F, M, or S building no more than two stories above grade plane shall not be limited where the building is provided with an automatic sprinkler system throughout in accordance with Section 903.3.1.1 and is surrounded and adjoined by public ways or yards not less than 60 feet (18288 mm) in width.		
Separated Occupancies (508.4)		
Buildings or portions of buildings that comply with the provisions of this section shall be considered separated occupancies.		
Separation (508.4.4)		
Individual occupancies shall be separated from adjacent occupancies in accordance with Table 508.4.		
Required Separation of Occupancies (Hours) (Table 508.4)		1
Area Provided (Entire Building) =		16,350
Area Provided (A-3 Occupancy) =		1,250
Automatic Sprinkler Systems (Section 903)		
Group A-3 & M (Sections 903.2.1.3 & 903.2.7)		
An automatic sprinkler system shall be provided throughout buildings with a Group A-3 and/or M occupancy where one of the following conditions exists:		
1. The fire area exceeds 12,000 square feet (1115 m2).		
Occupant Load (Section 1004)		
Maximum Occupants (Total for A-3 Occupancy)		28
Actual Occupants		28
All building and employee areas are to be accessible per IBC 2015 Chapter 11 and ICC A117.1-2009.		

Drawing Index	
CS-01	Cover Sheet
A-01	Plans, Notes, & Details
A-02	Reflected Ceiling Plans
A-03	Kitchen Plan & Equipment List
P-01	Plumbing Plans
M-01	HVAC Plan
E-01	Electrical Power & Lighting Plans



PROJECT

Lease Space Remodeling for
Retta B's Southern Cuisine

Vincent Warren
264 Columbia Avenue
Belleville, Michigan 48111

APPROVED

CHECKED

PROJECT No.

24-649 .01

SHEET No.

CS - 01

D. S. WRIGHT & ASSOCIATES, P. C.

ARCHITECTURE & PLANNING

44456 CLARE BLVD. PLYMOUTH, MICHIGAN 48170

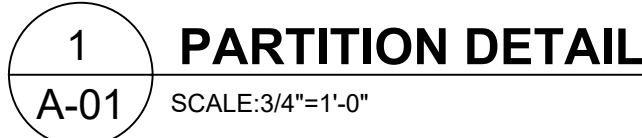
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Cover Sheet

ISSUED FOR	DATE
Permits	04/30/24
WO/HHS Review	07/02/24

Figure 1: Typical Kitchen Layout. This diagram illustrates the dimensions for a standard kitchen layout. The layout includes a Water Closet (WC), a Lavatory, a Partition, an Electric Water Cooler, and Switches/Outlets. The overall width of the kitchen area is 39'-41". The depth of the kitchen is 33" min to 36" max. The Water Closet has a 5' min clear height and 39'-41" width. The Lavatory has a 6" min height and 36" min width. The Partition has a 5" min height and 27" min width. The Electric Water Cooler has a 35" max height and 39" min width. The Switches/Outlets have a 18" min height and 44" min width.



001	Remove portion of existing partition as shown.
002	Remove existing door and frame.
003	Remove existing half-wall.
004	Remove existing shelf and drawers, save for reinstallation.
005	Remove portion of existing wall to meet corner of existing wall to remain.
006	Remove existing water heater, prepare plumbing lines for new on demand water heater.
007	Shaded partitions indicate new partition construction, see detail #4/A-01. New partition to align with existing walls that remain.
008	New 34" wide x 36" high window in prefabricated black frame, mount head @ 7'-0" A.F.F.
009	Relocated existing 3'-0"x7'-0" door and frame.
010	Relocated shelf and drawers, match mounting height of existing shelf and drawers.
011	36"x40" Half door with bi-swinging self closing hinges.
012	Custom 17" wide, 42" high transaction top with 25" wide, 34" high counter top with open cabinets and shelves, see larger scale plan.
013	Saw cut existing floor slab for new plumbing fixtures. Match thickness of existing concrete floor slab and tie to existing with bonding adhesive.
014	Existing one-way window to be removed.
015	Existing wood planking to remain.
016	New grease interceptor.
017	New 12" x 48" plastic laminate serving counter. Set in existing removed window opening.



CEILING LEGEND

LAY-IN ACOUSTIC
TILE PANELS 2x4

EXISTING SUPPLY AIR DIFFUSER

EXISTING RETURN AIR DIFFUSER

EXISTING EXHAUST FAN

EXIT LIGHT W/
BATTERY BACK UP

EMERGENCY LIGHT W/
BATTERY BACK UP

EXIT LIGHT COMBO
EMERGENCY LIGHT W/
BATTERY BACK UP

EXISTING REMOTE EXTERIOR
EMERGENCY LIGHT

EXISTING LAY-IN LIGHT
FIXTURE

EXISTING SURFACE MOUNTED
LIGHT FIXTURE

EXISTING WALL MOUNTED LIGHT
FIXTURE

EXISTING CEILING FAN

X'-X" A.F.F.

CEILING HEIGHT A.F.F.

FIXTURE DESIGNATIONS:
NO DESIGNATION - EXISTING
R - RELOCATED
N - NEW

PROJECT

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Vincent Warren
264 Columbia Avenue
Belleville, Michigan 48111

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SHEET No.

A - 02

SHEET TITLE

Reflected Ceiling Plan

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Permits

DATE

04/30/24

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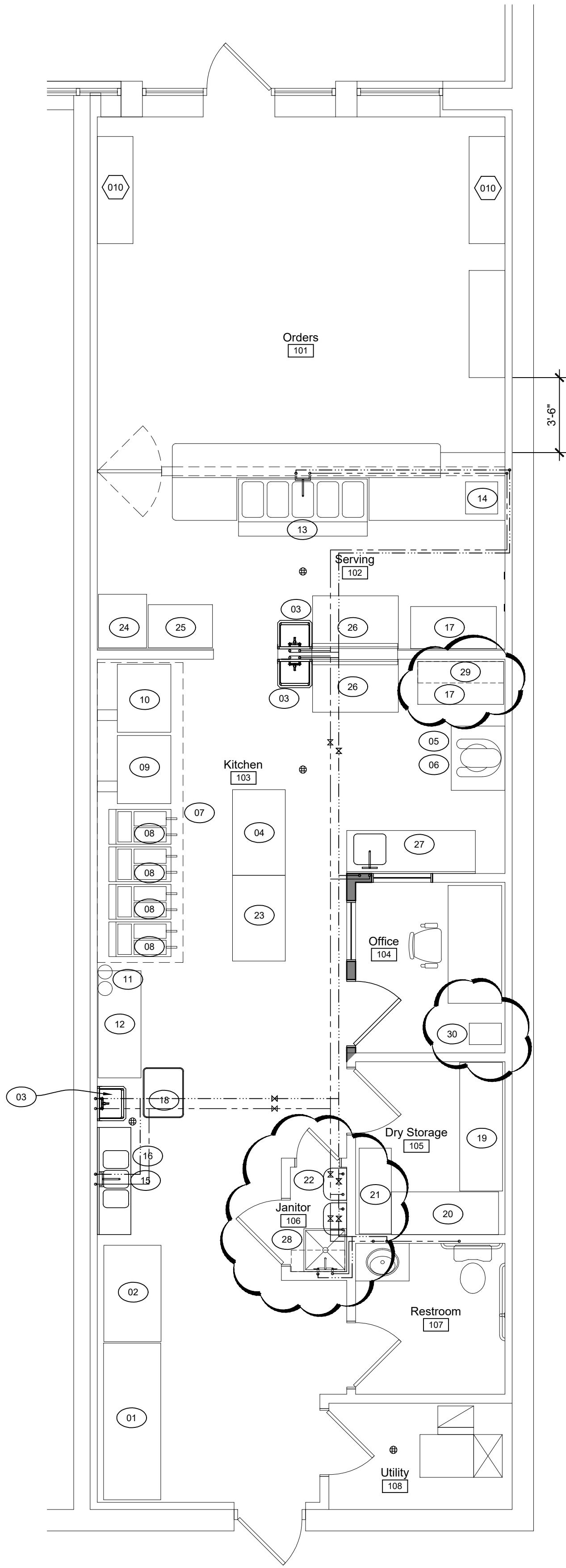
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KITCHEN EQUIPMENT LIST
NOTE: ALL EQUIPMENT TO BE NSF APPROVED

- 01 REACH-IN FREEZER, BERG, BERT3F, 77.8"W x 31.7"D x 81.3"H, 208-230V 6.2A
- 02 REACH-IN COOLER, ARGUS, ARF-2D, 54"W x 32"D x 82.5"H, 115V 3.8A
- 03 STAINLESS STEEL HAND SINK, ADVANCED TABCO, 7-PS-40 17½"W x 15½"D x 12¼"H w/ SIDE SPLASH GUARDS
- 04 48"W x 30"D x 34"H STAINLESS STEEL WORK TABLE, EAGLE T3048E
- 05 STAINLESS STEEL EQUIPMENT STAND 36"W x 30"D x 34"H (UNDER MIXER) - REGENCY 600ES3036G
- 06 ALL-PURPOSE MIXER - SENTINEL, SHLM-20B, 120V 11A
- 07 14'-0" x 4'-0" STAINLESS STEEL EXHAUST HOOD WITH MAKE-UP AIR AND LIGHTING
- 08 4 - DEEP FRYERS - PATRIOT, PT-F5 150,000 BTU EACH
- 09 GAS OVEN - PATRIOT, PT-COG / NG 54,000 BTU , 120V 4A
- 10 DOUBLE STACK GAS OVENS - PATRIOT, PT-COG*2 108,000 BTU, 120V 4A
- 11 EXHAUST HOOD FIRE SUPPRESSION TANKS MOUNTED JUST BELOW THE CEILING
- 12 WIRE SHELVING - REGENCY 24"D x 60"W x 74"H
- 13 HOT FOOD WARMER - 72"W x 29½"D x 33½"H, SENTINEL, PA0205, 208-240V 2800-3750W, w/ WALL MOUNTED FAUCET - REGENCY #600FWM812.
- 14 POINT OF SALE & CASH REGISTER
- 15 3-COMPARTMENT STAINLESS STEEL SINK 60"W x 18½"D x 33", SAUBER, PA1853 w/ FAUCET, OVERFLOW TUBE & STRAINER.
- 16 ¾ HP FOOD GRINDER, HOBART FD4/75-1
- 17 48"W x 24"D x 34"H STAINLESS STEEL WORK TABLE, EAGLE T2448E
- 18 GREASE TRAP - ENDURA 50 3950A04 (4") 50 GAL. 100 LBS 31" x 23.5" x 23.5"
- 19 WIRE SHELVING - REGENCY 24"D x 72"W x 74"H
- 20 WIRE SHELVING - REGENCY 24"D x 48"W x 74"H
- 21 WIRE SHELVING - REGENCY 16"D x 48"W x 74"H
- 22 2- NAVIEN NPE TANKLESS WATER HEATERS NPE-180A, 15,000-150,000 BTU/H
- 23 2-DOOR REFRIGERATOR BREAD STATION AVANTCO AU-48R-HC, 47¼" x 29½" x 35¼"
- 24 BEVERAGE COOLER, TRUE GD,-23-HC-TSL01, 27" x 29½" x 78½"
- 25 WIRE SHELVING - REGENCY 24"D x 36"W x 74"H
- 26 WORK TOP 2-DOOR COOLER - AVANTCO SS-WT-48R-HC, 47¼" x 29½" x 38¼"
- 27 PREP TABLE WITH SINK - EAGLE T2472SEB-BS w/ 16" x 20" x 14" SINK w/ FAUCET
- 28 REGENCY 14" x 24" CHROME WIRE WALL MOUNT SHELF FOR CHEMICAL STORAGE - MOUNT 60" A.F.F.
- 29 REGENCY 18" x 48" 16 GAUGE STAINLESS STEEL SHELF FOR UTENSILS - MOUNT 60" A.F.F.
- 30 REGENCY GRAY 12" X 18" X 72" SINGLE, 4-TIER LOCKER

N
FLOOR PLAN
SCALE: 1/4"=1'-0"

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Plans & Details

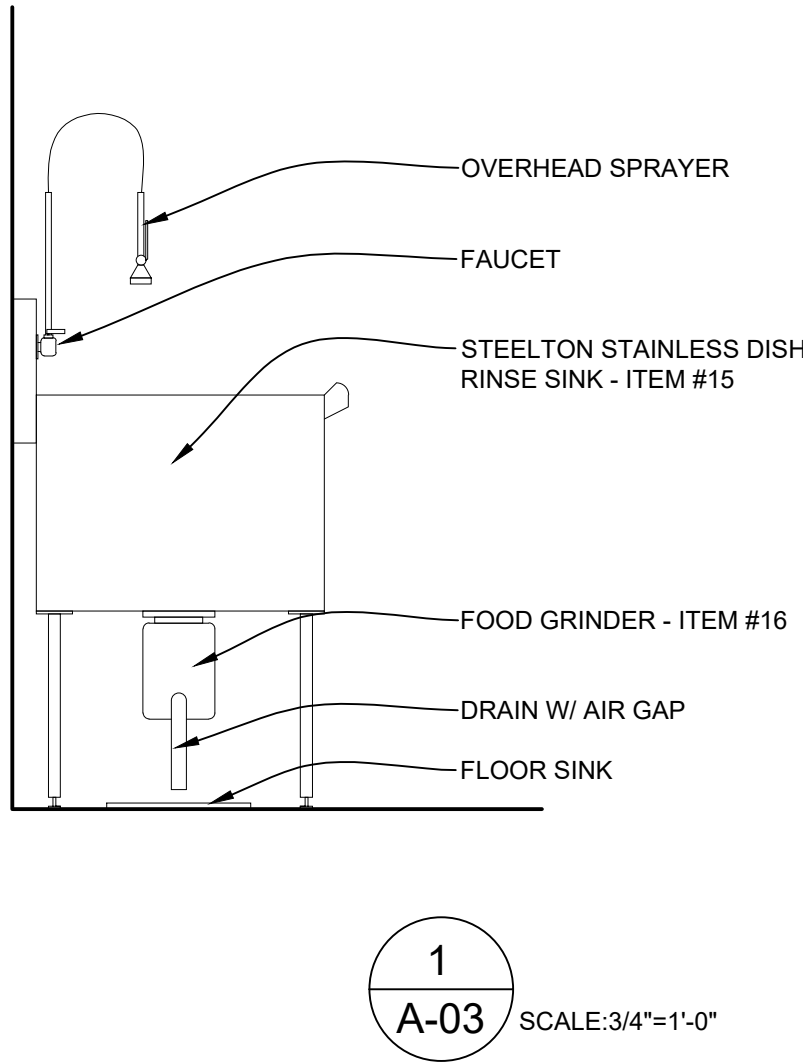
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Permits	WOHHS Review	04/30/24 07/02/24

PROJECT
Lease Space Remodeling for
Retta B's Southern Cuisine
Vincnet Warren
264 Columbia Avenue
Belleville, Michigan 48111

APPROVED	DRAWING DATE 03/07/2024
CHECKED	DRAWN

PROJECT No:
24-649 .01

SHEET No:
A - 03



NEW PLUMBING FIXTURE CONNECTIONS:

Fixture	Soil or Waste	Vent	Trap	Hot Water	Cold Water
Hand Sinks	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"
Single or Triple Basin Sinks	2-1/2"	2"	2-1/2"	3/4"	1/2"
Water Heater (Tankless)				3/4"	3/4"
Floor Drains	3"	2"	3"		
Floor Sinks	3"	2"	3"		

PLUMBING LEGEND:

Sanitary Line
Hot Water
Cold Water

PLUMBING FIXTURE SCHEDULE

RESTROOMS:

ALL FIXTURES ARE EXISTING TO REMAIN

OTHER:

SERVICE SINK: EXISTING TO REMAIN

01 WATER HEATER-2: NAVIEN NPE TANKLESS WATER HEATER NPE-180A, 15,000-155,000 BTU/H

KITCHEN:

02 FLOOR DRAIN: ZURN MODEL # Z453B W/ 6" DIA. TYPE "B" BRONZE STRAINER AND DEEP SEAL TRAP.

03 FLOOR SINK: ZURN 12"x12"x6" MODEL #FD2375-NH3.

04 HAND SINKS: 16"Wx15"Dx36"H STAINLESS STEEL HAND SINK W/ 8" BACK SPLASH & SIDE SPLASH GUARDS.

05 3-COMPARTMENT SINK: 84"W x 27"D STAINLESS STEEL 3 COMPARTMENT, 18"Wx24"Dx12" BASINS w/ LEFT SIDE DRAIN BOARD, MODEL 600S3181824GLFT

06 GREASE TRAP: ENDURA 50 3950A04 (4") 50 GAL. 100 LBS. 31"x23.5"x23.5"

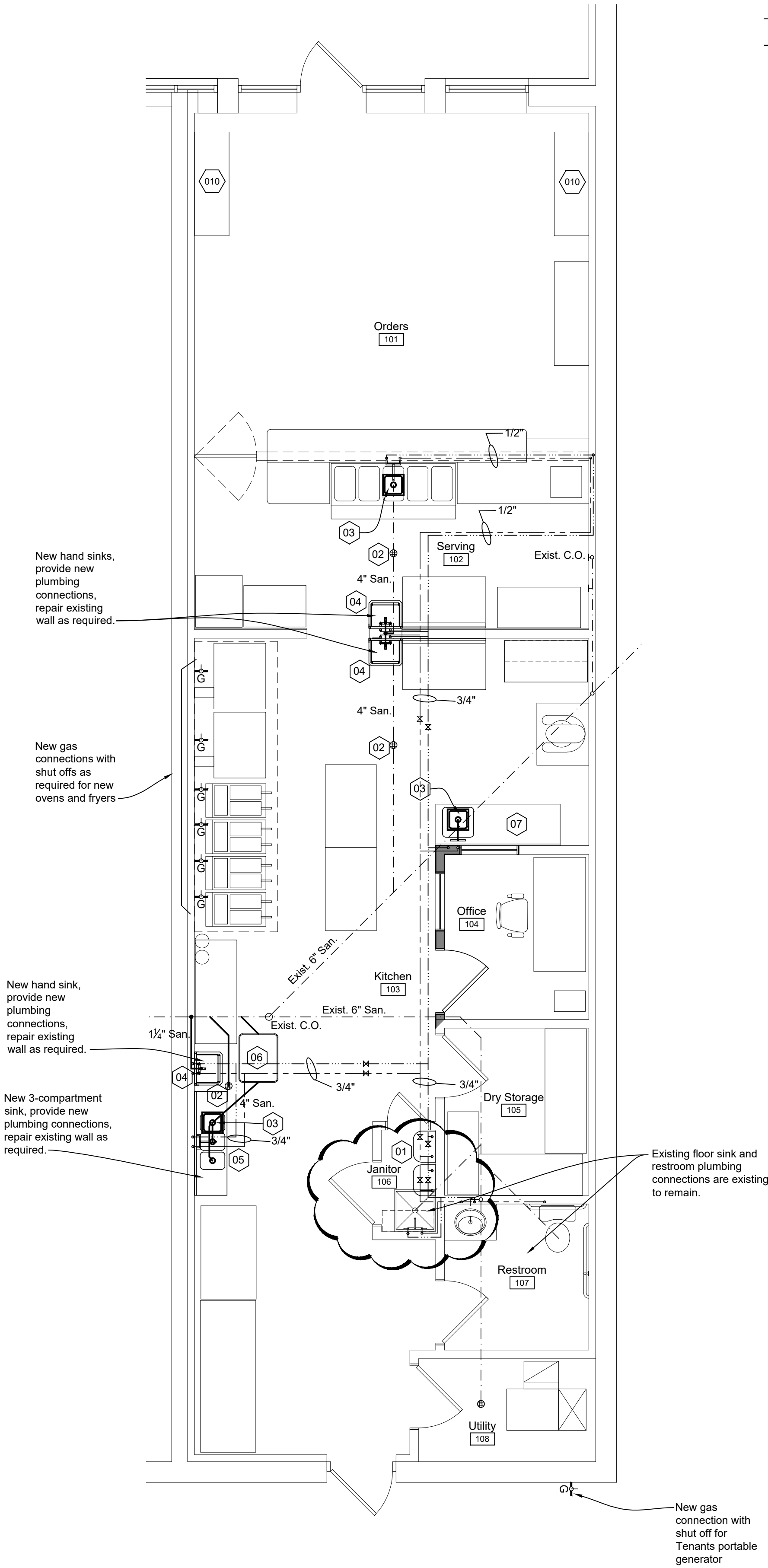
07 PREP TABLE: EAGLE T2472SEB-BS 24"x72"x35 1/2" w/ 16"x20"x14" SINK & FAUCET

SERVING AREA:

03 FLOOR SINK: ZURN MODEL # Z453B W/ 6" DIA. TYPE "B" BRONZE STRAINER AND DEEP SEAL TRAP

GENERAL PLUMBING NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM WITH APPLICABLE NATIONAL, STATE, AND LOCAL CODES, RULES AND ORDINANCES.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND CODE COMPLIANT.
- CONTRACTOR SHALL PROVIDE ALL PERMITS, FEES, INSPECTIONS AND TESTS.
- CONTRACTOR SHALL VISIT JOB SITE AND THOROUGHLY FAMILIARIZES THEMSELVES' WITH ALL EXISTING CONDITIONS.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- VERIFY LOCATION, SIZE, ELEVATION, MATERIALS AND PRESENT STATE OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- VERIFY LOCATION OF PLUMBING ROUGH-INS WITH FINAL FIXTURE SELECTIONS PRIOR TO INSTALLATION. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS FOR FIXTURE LOCATIONS. CENTERS OR ALIGNMENTS.
- ALL MATERIALS SHALL BE NEW AND BEAR CERTIFICATION LABELING WHERE APPLICABLE.
- ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS WORK SHALL BE PART OF THIS TRADES WORK.
- WATER PIPING TO BE TYPE "L" COPPER WITH WROUGHT SOLDER FITTINGS, EXCEPT WHERE NOTED OTHERWISE. NO PIPING PERMITTED BELOW SLABS UNLESS AUTHORIZED.
- USE INSULATING UNIONS AT CONNECTIONS OF DISSIMILAR METALS.
- ALL HORIZONTAL DRAIN LINES (SANITARY, STORM, A/C CONDENSATE, ETC) SHALL BE SLOPED 1/8" PER FT. UNLESS OTHERWISE NOTED.
- FOR PIPE SIZES TO INDIVIDUAL PLUMBING FIXTURES AND VARIOUS PIECES OF EQUIPMENT REFER TO EQUIPMENT SCHEDULE.
- IN ALL SANITARY DRAINAGE PIPING THE CONTRACTOR SHALL FURNISH AND INSTALL CLEANOUTS (IN ADDITION TO THE CLEANOUTS INDICATED ON DRAWINGS AS REQUIRED BY THE GOVERNING PLUMBING CODE).
- ALL SANITARY AND VENT LINES SHALL BE SCHEDULE 40 PVC. ALL PIPING ABOVE CEILINGS ARE TO BE CAST IRON OR OTHER PLENUM RATED MATERIAL.
- ALL SHUT OFF VALVES ARE TO BE BALL COCK VALVES.
- FOR ADDITIONAL NOTES COMMON TO PLUMBING REFER TO HVAC NOTES.
- REFER TO ALL OTHER TRADES DRAWINGS FOR COORDINATION AND SCOPE REQUIREMENTS.
- PLUMBER SHALL PROVIDE LAVATORY CARRIERS FOR STUD AND GYPSUM BOARD WALLS. COORDINATE WITH CARPENTRY TRADES.



PLUMBING PLAN
SCALE: 1/4"=1'-0"

Lease Space Remodeling for
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Vincent Warren
264 Columbia Avenue
Belleville, Michigan 48111

APPROVED	DRAWING DATE 03/07/2024
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PROJECT No:
24-649 .01

SHEET No:

P - 01

Pumbing Plan

SHEET TITLE

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DATE

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WCHHS Review

PROJECT

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DRAWING DATE

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PROJECT No:

SHEET No:

GENERAL MECHANICAL SPECIFICATIONS:

GENERAL
MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED WORK AS SHOWN ON THE DRAWINGS AND AS NECESSARY TO PROVIDE A COMPLETE AND FUNCTIONAL PROJECT.

CODES, PERMITS AND FEES
ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS AND STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO THE CURRENT MICHIGAN BUILDING CODE, MICHIGAN MECHANICAL CODE, MICHIGAN PLUMBING CODE, MICHIGAN ENERGY CODE, NEC, OSHA, AND THE NFPA RULES AND REGULATIONS.

ALL REQUIRED PERMITS, LICENSES, INSPECTIONS, APPROVALS AND FEES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR PERFORMING THE WORK.

INSPECTION OF SITE
BEFORE SUBMITTING A PROPOSAL, THE CONTRACTOR SHALL VISIT THE SITE, EXAMINE AND VERIFY THE CONDITIONS UNDER WHICH HIS WORK MUST BE CONDUCTED. NO EXTRA COMPENSATION WILL BE ALLOWED BECAUSE OF ERROR OR FAILURE ON THE PART OF THE CONTRACTOR IN MAKING SUCH INSPECTIONS.

INSPECTIONS SHALL BE MADE PRIOR TO ANY CUTTING, PATCHING AND/ OR REPAIR WORK BEING PERFORMED INCLUDING INSPECTIONS OF ELEMENTS SUBJECT TO MOVEMENT OR DAMAGE DURING CONSTRUCTION. PROTECTION SHALL BE PROVIDED FOR ANY AND ALL PARTS OF THE PROJECT EXPOSED TO THE ELEMENTS AND / OR POSSIBLE DAMAGE.

EXISTING FACILITIES
DO NOT INTERRUPT EXISTING UTILITIES UTILIZED BY THE OWNER. EXCEPT AS SPECIFIED OR WHEN APPROVED IN WRITING, AND THEN ONLY AFTER TEMPORARY UTILITY SERVICES HAVE BEEN APPROVED AND PROVIDED. INTERRUPTIONS MUST BE SCHEDULED TO SUIT THE OWNER'S REQUIREMENTS.

VERIFY ALL EXISTING WORK, WHERE EXISTING CONNECTIONS ARE PARTIAL, PROVIDE ALL NECESSARY MATERIALS, LABOR AND EQUIPMENT REQUIRED TO MODIFY EXISTING WORK. IN ADDITION, MAINTAIN INTEGRITY OF THE EXISTING SYSTEMS. RECTIFY ANY CONTAMINATION, DEGRADATION OF CLEANLINESS OR DAMAGE TO THE EXISTING SYSTEMS TO THE SATISFACTION OF THE OWNER. PROVIDE ALL WORK SO REQUIRED AT NO INCREASE IN THE CONTRACTOR'S ORIGINAL PROPOSAL.

MAKE ALL CONNECTIONS TO EXISTING SYSTEMS DURING DESIGNATED PERIODS UPON APPROVAL OF THE OWNER AND AT NO INCREASE IN CONTRACT SUM.

MANUFACTURER'S DIRECTIONS
INSTALL ALL EQUIPMENT IN STRICT ACCORDANCE WITH ALL DIRECTIONS AND RECOMMENDATIONS FURNISHED BY THE MANUFACTURER.

INSTALL ALL CEILING GRID, DUCTWORK, PIPING, ETC. PER ASTM C636 AND SEISMIC DESIGN REQUIREMENTS PER CODE. DO NOT SUSPEND FROM ROOF DECK OR FLOOR DECK. PROVIDE HANGERS FROM BUILDING STRUCTURAL COMPONENTS ONLY.

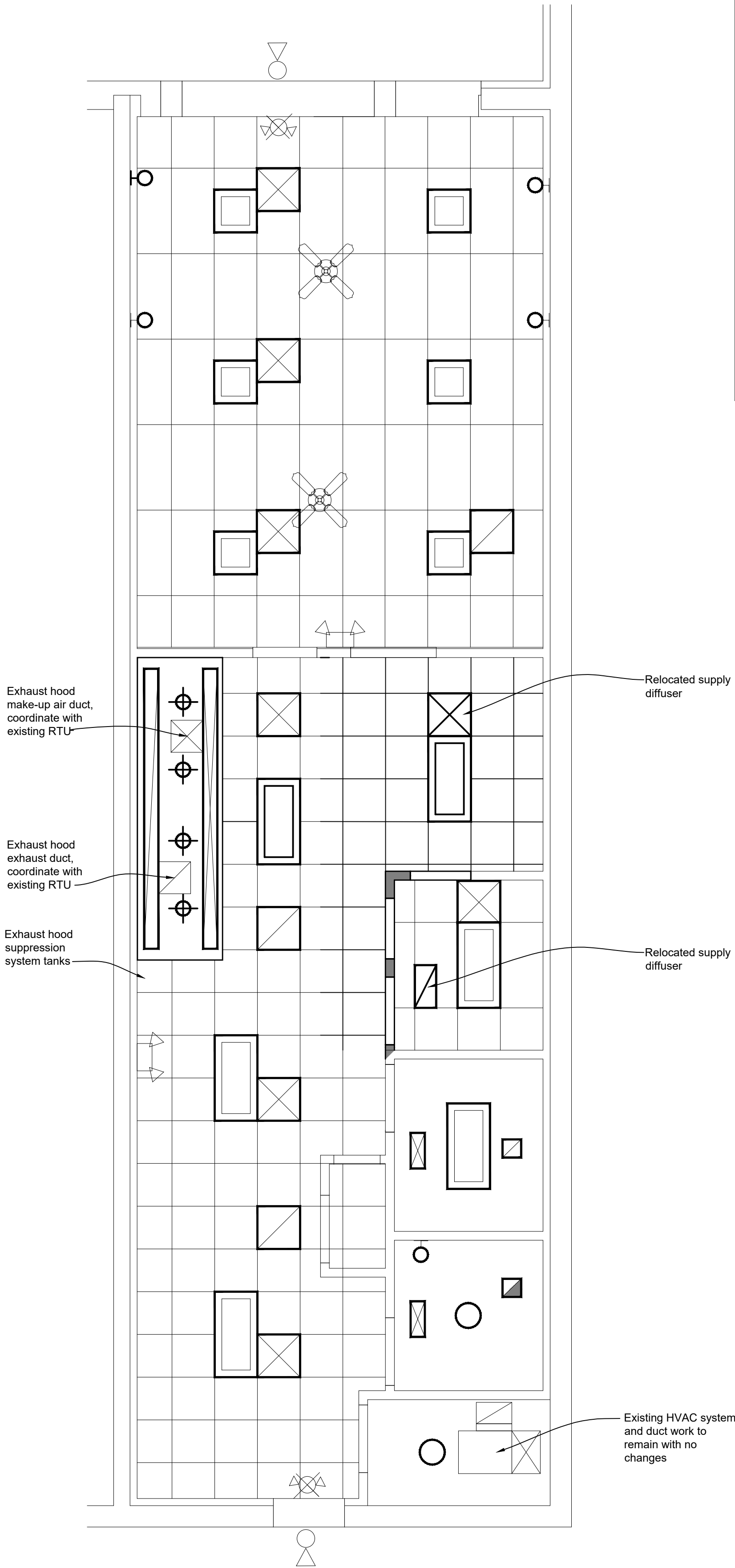
COORDINATION WITH OTHER TRADES
EACH CONTRACTOR SHALL INSTALL HIS WORK SO AS TO AVOID INTERFERENCE WITH WORK OF OTHER TRADES.

GENERAL HVAC NOTES:

- MAIN DUCT TRUNKS ARE EXISTING TO REMAIN.
- CLASS A FLEXIBLE DUCT: DUCT SYSTEMS SHALL COMPLY WITH "NFPA" STANDARD NUMBER 90A AND OR 90B. DUCTWORK AND COMPONENTS SHALL BE CLASS 1 MATERIALS IN ACCORDANCE WITH U.L. 181 TESTS. FLEXIBLE DUCT NOT TO EXCEED 10'-0" IN LENGTH FROM MAIN OR BRANCH METAL DUCTS.
- COORDINATE LOCATIONS, SIZES AND OPENINGS WITH OTHER TRADES. PROVIDE THE COMPLETE DUCT SYSTEM WITH TURNING VANES AT ALL ELBOWS, SPLITTERS AND DAMPERS. USE THE BEST PRACTICES OF THE TRADE IN THE FABRICATION AND INSTALLATION OF THE SYSTEM.
- DIFFUSERS SHALL BE SELECTED, LOCATED AND BALANCED TO DELIVER THE REQUIRED CFM TO EACH ROOM EVENLY AND DRAFT FREE. PROVIDE A MINIMUM OF 15 CFM PER PERSON OCCUPANCY OF FRESH OUTSIDE AIR TO THE DISTRIBUTION SYSTEM. MAINTAIN THE FOLLOWING DESIGN CONDITIONS:

INSIDE		
COOLING: 78 DB	91 DB - 79 WB	50% TO 60%
HEATING: 72 DB	45 - DB	
- ALL FAN UNITS, MOTORS, COMPRESSORS, ETC. SHALL BE ISOLATED AS REQUIRED TO OPERATE QUIETLY SO THAT NO OBJECTIONABLE SOUND WILL BE HEARD IN THE HABITABLE SPACES DUE TO AIR VELOCITY, MOTOR HUM, VIBRATION OR MECHANICAL MOVEMENT.
- A/C SYSTEM SHALL HAVE DISPOSABLE AIR FILTERS LOCATED AS REQUIRED FOR EASY ACCESSIBILITY.

- HVAC SYSTEM SHALL BE CONTROLLED BY A THERMOSTAT. SYSTEMS OVER 2,000 CFM SHALL INCLUDE A RETURN AIR SMOKE DETECTOR. SMOKE DETECTORS SHALL INCLUDE A TRIP INDICATOR LIGHT AND A KEY RESET SWITCH LOCATED BESIDE THE THERMOSTAT. MOUNT THERMOSTAT 54" ABOVE FINISHED FLOOR.
- ALL GRILLES AND DIFFUSERS TO BE METAL CONSTRUCTION. DIFFUSERS SHALL HAVE HIDDEN OPPOSED BLADE DAMPERS. PROVIDE GASKETS ON ALL GRILLES AND DIFFUSERS.
- UNDERCUT DOORS 1" A.F.F., WHERE INDICATED.
- ALL REFRIGERANT PIPING SHALL BE COPPER - HARD DRAWN TYPE L- ACR TYPE, DEHYDRATED AND SEALED. ALL JOINTS SHALL BE MADE WITH HIGH TEMPERATURE BRAZING ALLOY OF NOT LESS THAN 5% SILVER. PIPING INSULATION NOT LESS THAN 3/4" THICK "ARMAFLEX". LIQUID AND SUCTION LINES SHALL BE SIZED ACCORDING TO EQUIPMENT MANUFACTURER'S RECOMMENDATIONS FOR EQUIVALENT LENGTH OF PIPING RUN FOR CONNECTED TONNAGE. ALL PIPING ACCESSORIES SHALL BE CONSTRUCTED AS SUGGESTED BY EQUIPMENT MANUFACTURER. ALL PIPING SHALL BE EVACUATED BEFORE START-UP. PROVIDE FILTER/ DRYER AND SITE GLASS ON LIQUID LINE.
- PROVIDE DOUBLE THICKNESS TURNING VANES AS REQUIRED FOR PROPER AIR BALANCING.
- PROVIDE SPLITTER DAMPERS OR ADJUSTABLE TURNING VANES AT ALL BRANCH DUCT TAKEOFFS AS REQUIRED FOR PROPER AIR BALANCING.



N
HVAC PLAN
SCALE: 1/4"=1'-0"

HVAC LEGEND

EXISTING SUPPLY AIR DIFFUSER

EXISTING RETURN AIR DIFFUSER

EXISTING EXHAUST FAN

EXIT LIGHT W/
BATTERY BACK UP

EMERGENCY LIGHT W/
BATTERY BACK UP

EXIT LIGHT COMBO
EMERGENCY LIGHT W/
BATTERY BACK UP

EXISTING REMOTE EXTERIOR
EMERGENCY LIGHT

EXISTING LAYIN LIGHT
FIXTURE

EXISTING SURFACE MOUNTED
LIGHT FIXTURE

EXISTING WALL MOUNTED LIGHT
FIXTURE

EXISTING CEILING FAN

GENERAL NOTES:

1. Existing furnace and A/C system is existing to remain.

2. Existing ductwork and diffusers are existing to remain, adjust CFM as needed to meet code.

3. Relocate existing diffusers as needed.

PROJECT

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PROJECT No.

SHEET No.

Lease Space Remodeling for
Retta B's Southern Cuisine

Vincent Warren
264 Columbia Avenue
Belleville, Michigan 48111

24-649 .01

M - 01

SHEET TITLE

ISSUED FOR

DATE

HVAC Plan

Permits

04/30/24

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