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Client:
Brownstown Township

Project:
Brownstown Community
Center Renovation &
Addition

21311 Telegraph Rd.
Brownstown, MI

Scale:

Date Issued For
08/09/2025 DESIGN DEVELOPMENT
11/05/2024 PROGRESS SET
12/09/2024 90% OWNER REVIEW
12/20/2024 100% CD
01/07/2025 IFC
01/21/2025 ADDENDUM 2

Drawn: AM/KN/C
Checked: KN
Approved: MR

Sheet Title:
OVERALL
DEMOLITION
FLOOR PLAN

Project Number: 24361.A

Sheet Number: AD-110

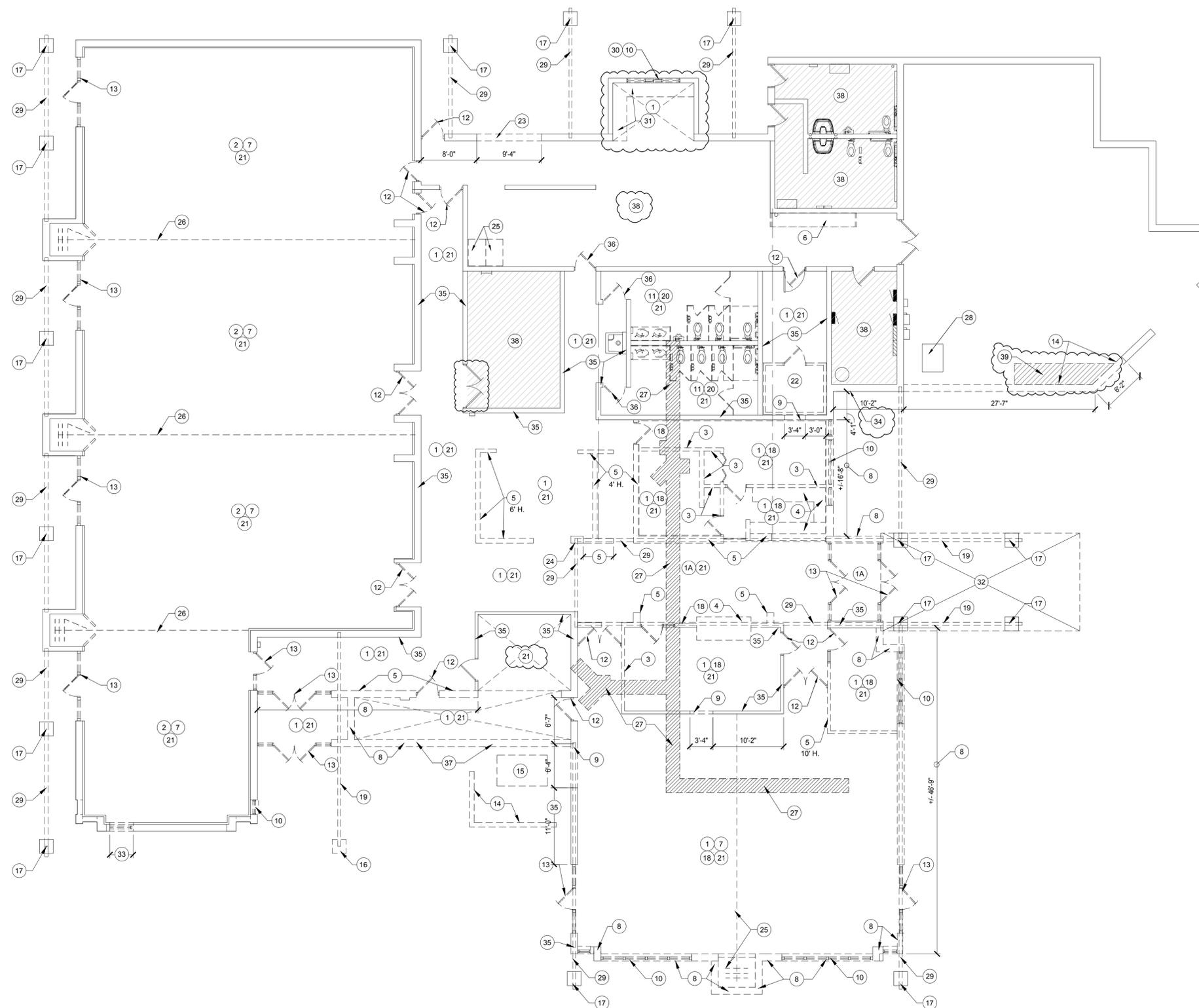
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GENERAL DEMOLITION NOTES

- A. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING WORK OR SUPPLYING MATERIALS OR COMPONENTS. LAYOUT ALL WALLS PRIOR TO COMMENCEMENT OF FRAMING AND NOTIFY OWNER'S PROJECT REPRESENTATIVE FOR DISPOSITION OF MAJOR DIMENSIONAL CONFLICTS.
- B. COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DEMOLITION W/ OWNER AND SCHEDULE WORK ACCORDINGLY. NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO ANY BUILDING SHUT-DOWN.
- C. THESE DEMOLITION NOTES AND PLANS DO NOT FULLY REPRESENT ALL DEMOLITION WORK REQUIRED TO INSTALL NEW WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS, BUT ARE INTENDED TO SERVE AS GENERAL DEMOLITION GUIDELINES. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS OF INCIDENTAL DEMOLITION WORK NOT INDICATED ON THIS PLAN.
- D. THE CONTRACTOR IS RESPONSIBLE FOR ALL ITEMS TO BE SALVAGED AND RELOCATED THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING SAFE STORAGE OF SAME. UPON DEMOLITION, THE OWNER SHALL RETAIN THOSE ITEMS DEEMED SALVAGEABLE. ITEMS NOT RETAINED SHALL BECOME THE PROPERTY OF THE CONTRACTOR WHO SHALL LEGALLY DISPOSE OF SAME.
- E. WHERE ITEMS ARE REMOVED, PATCH SURFACES TO MATCH ADJACENT SURFACES OR AS NECESSARY TO INSTALL NEW FINISHES WHERE SCHEDULED. PATCHING OF NEW OR EXISTING FINISHES SHALL EXTEND TO NEAREST NATURAL BREAK OR TERMINATION FOR A CLEAN UNBLEMISHED APPEARANCE AT THE END OF CONSTRUCTION.
- F. REMOVE AND REPLACE EXISTING CEILING LOCATED WITHIN UNALTERED AREAS OF THE BUILDING AS REQUIRED TO COMPLETE ALL NEW WORK, WHETHER SHOWN ON DRAWINGS OR NOT. COORDINATE THIS WORK WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. REPLACE DAMAGED CEILING TILES AND GYPSUM BOARD CEILING IF DAMAGED DURING DEMOLITION PHASES.
- G. REMOVE EXISTING CARPET, BASE AND ADHESIVE IN AREAS TO RECEIVE NEW FINISHED FLOOR MATERIAL.
- H. WHERE CEILING GRID TO REMAIN, REPLACE DAMAGED CEILING TILE AS REQUIRED, AND REPAINT EXISTING GRID AS REQUIRED.
- I. DISCONNECT AND REMOVE ALL ITEMS SHOWN CROSS-HATCHED OR AS OTHERWISE REQUIRED TO CLEAR AREA FOR NEW WORK.
- J. CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THIS PROJECT (PROVIDE BARRICADES, WARNING SIGNS, ETC....)
- K. PROVIDE ALL DUST CURTAINS AND TEMPORARY PARTITIONS AS REQUIRED TO PROTECT EXISTING BUILDING DURING CONSTRUCTION.
- L. DEMOLITION SHALL INCLUDE BUT NOT BE LIMITED TO THIS SHEET. SEE ADDITIONAL SHEETS FOR FURTHER INFORMATION.
- M. REMOVE AND REPLACE EXISTING FIRE EXTINGUISHER CABINETS IN AREAS OF WORK; REFER TO FLOOR PLAN FOR NEW LOCATIONS.

DEMOLITION FLOOR PLAN NOTES

- 1 REMOVE CEILING TILE, GRID, CEILING ACCESSORIES, LIGHT FIXTURES, AND DIFFUSERS. REFER TO ELECTRICAL AND MECHANICAL DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
- 1A EXISTING WOOD SLAT VAULTED CEILING AND FRAMING TO REMAIN. REMOVE ALL RECESSED LIGHT FIXTURES. REMOVE/REPLACE ANY DAMAGED/WARPED WOOD SLATS AS REQUIRED.
- 2 REMOVE CEILING TILE, CEILING ACCESSORIES, LIGHT FIXTURES, AND DIFFUSERS. EXISTING CEILING GRID TO REMAIN. REFER TO ELECTRICAL AND MECHANICAL DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
- 3 REMOVE EXISTING STUD WALLS. REMOVE EXISTING DOORS AND FRAMES ASSOCIATED WITH WALLS AS REQUIRED.
- 4 REMOVE EXISTING MILLWORK COMPLETE.
- 5 REMOVE INTERIOR MASONRY WALL COMPLETE. REMOVE MASONRY 8" BELOW SLAB AND PATCH EXISTING CONCRETE SLAB AS REQUIRED.
- 6 REMOVE CASEWORK COMPLETE.
- 7 REMOVE CHAIR RAIL AND MOUNTING HARDWARE. PATCH AND PREPARE SURFACES AS NECESSARY TO INSTALL NEW CHAIR RAIL.
- 8 REMOVE EXTERIOR MASONRY WALL COMPLETE. SHORE EXISTING ROOF AND ROOF FRAMING AS NECESSARY, AND UNTIL NEW SUPPORTING STRUCTURES ARE INSTALLED.
- 9 SAW-CUT AND REMOVE MASONRY WALL AS NECESSARY TO FACILITATE INSTALLATION OF DOOR, FRAME AND MASONRY LINTEL. TOOTH-IN BULLNOSE CMU AT JAMBS.
- 10 REMOVE EXISTING WINDOW COMPLETE.
- 11 REMOVE ALL PLUMBING FIXTURES, TOILET ACCESSORIES, TOILET PARTITIONS AND ALL ASSOCIATED HARDWARE, COUNTERTOP AND BACKSPASH COMPLETE.
- 12 REMOVE EXISTING DOOR, FRAME AND HARDWARE COMPLETE.
- 13 REMOVE ALUMINUM STOREFRONT SYSTEM. PATCH OPENING AS REQUIRED.
- 14 REMOVE 6'-0" HIGH MASONRY SCREEN WALL AND FOUNDATIONS COMPLETE.
- 15 REMOVE MECHANICAL EQUIPMENT AND CONC. EQUIPMENT PAD; REFER TO MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
- 16 REMOVE EXISTING MASONRY PIERS, STEEL COLUMNS AND FOUNDATIONS COMPLETE. SHORE EXISTING GLU-LAM BEAM AND ROOF AS REQUIRED.
- 17 EXISTING MASONRY PIERS, STEEL COLUMNS AND FOUNDATION TO REMAIN. PREPARE MASONRY COLUMNS TO RECEIVE STONE VENEER. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- 18 REMOVE VINYL GYPSUM PANEL AND VINYL BASE.
- 19 REMOVE PORTION OF EXISTING GLU-LAM BEAM. REFER TO STRUCTURAL DRAWING FOR ADDITIONAL INFORMATION.
- 20 CLEAN AND PREPARE EXISTING HARD CEILING FOR NEW PAINT. REMOVE ALL EXISTING LIGHT FIXTURES INCLUDING THE RECESSED LIGHT FIXTURE AND LENS AT SOFFIT.
- 21 REMOVE FLOOR FINISH AND WALL BASE COMPLETE. PREP FLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISH MATERIAL. COORDINATE TILE FLOORING REMOVAL WITH OWNER'S ASBESTOS ABATEMENT CONTRACTOR. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF SLAB ON GRADE REMOVAL AND REPLACEMENT.
- 22 REMOVE EXISTING WALK-IN COOLER COMPLETELY.
- 23 REMOVE EXISTING MASONRY WALL FOR NEW OPENING.
- 24 EXISTING COLUMNS TO REMAIN.
- 25 REMOVE EXISTING DEEP FRYERS (2) IN KITCHEN.
- 26 REMOVE AND REPLACE EXISTING FOLDING PARTITION WALL, TRACK, ETC. REMOVE AND REPLACE EXISTING GYPSUM BOARD SOFFIT AND FRAMING AS REQUIRED FOR DEMOLITION.
- 27 SAWCUT AND REMOVE EXISTING CONCRETE SLAB FOR NEW SANITARY LINE. VERIFY EXACT LOCATION IN THE FIELD.
- 28 EXISTING TRANSFORMER AND BUMPER POSTS TO REMAIN.
- 29 EXISTING GLU-LAM BEAM TO REMAIN.
- 30 REMOVE EXISTING ROLL-UP COUNTER DOOR COMPLETE.
- 31 REMOVE EXISTING STAINLESS STEEL COUNTER COMPLETE.
- 32 REMOVE EXISTING EXTERIOR PAVEMENT COMPLETELY. REFER TO AS-100 FOR FULL EXTENT OF SITE CONCRETE DEMOLITION.
- 33 REMOVE PORTION OF ALUMINUM STOREFRONT AND FRAMING AS REQUIRED FOR NEW OPENING.
- 34 REMOVE AND RELOCATE EXISTING METERS. REFER TO PLUMBING DRAWINGS.
- 35 EXISTING WALL TO REMAIN.
- 36 EXISTING DOOR FRAME TO REMAIN. REMOVE EXISTING DOOR AND HARDWARE COMPLETE.
- 37 EXISTING FOUNDATION TO BE REMOVED COMPLETE.
- 38 EXISTING FINISHES TO REMAIN.
- 39 SAWCUT EXISTING CONCRETE SLAB FOR NEW PLUMBING LINES. REFER TO P-200.



LEGEND:	
(X) →	KEY NOTE
□	ITEM TO BE REMOVED
▨	NOT IN CONTRACT

1 OVERALL DEMOLITION FLOOR PLAN
AD-110 SCALE: 1/8"=1'-0"