

LEGAL DESCRIPTION:

(OVERALL LEGAL DESCRIPTION (AS SURVEYED) PER CITY ASSESSOR'S OFFICE ON 01/11/2010 - SIDWELL #80-071-99-0019-700)

CONTAINING PARCELS 1-5;

(SIDWELL #80-071-99-0019-000) (SIDWELL #80-071-99-0022-000) (SIDWELL #80-071-99-0020-000) (SIDWELL #80-071-99-0023-000) (SIDWELL #80-071-99-0024-000)

PART OF THE S.W. 1/4 OF SECTION 18, T.3S., R.9E., CITY OF ROMULUS, WAYNE COUNTY, MICHIGAN DESCRIBED AS: COMMENCING FROM THE S.W. CORNER OF SECTION 18 DUE NORTH, 327.24 FEET TO A POINT OF BEGINNING, LOCATED ON THE WEST SECTION LINE OF SAID SECTION 18; THENCE S. 89°47'42" E (RECORDED AS S. 89°47'33" E.) 652.16 FEET; THENCE N.00°06'22"E., 984.81 FEET; THENCE N.89°55'00" E., 655.05 FEET; THENCE S. 00°18'56" W., 1317.47 FEET TO A POINT ON THE SOUTH LINE OF SECTION 18; THENCE N. 89°42'00" W., ALONG SAID SOUTH LINE, 650.18 FEET; THENCE N. 00°06'22" E. (RECORDED AS N 00°06'00" W.) 33 FEET TO THE SOUTHEAST CORNER OF LOT 11 OF CHASE HANNAN SUBDIVISION AS RECORDED IN LIBER 81 OF PLATS PAGE 89 WAYNE COUNTY RECORDS; THENCE ALONG THE EAST LINE OF SAID LOT 11, N. 00°06'22" E., 180.03 FEET (RECORDED AS N. 00°06'00" E., 180.00 FEET) TO THE NORTHEAST CORNER OF SAID LOT 11; THENCE N. 89°42'09" W. (RECORDED AS N. 89°42'00" W.) ALONG THE NORTH LINE OF SAID CHASE HANNAN SUBDIVISION AND EXTENSION THEREOF, 651.85 FEET (RECORDED AS 651.08 FEET); THENCE N. 00°00'09" E. (RECORDED AS DUE NORTH), 114.24 FEET TO THE POINT OF BEGINNING. CONTAINING 932,873 S.F. OR 21.415 ACRES WITH RIGHT OF WAY, 904,557 S.F. OR 20.765 ACRES NET OF PUBLIC RIGHT OF WAY. SUBJECT TO THE RIGHTS OF THE PUBLIC AND OF ANY GOVERNMENTAL UNIT IN ANY PART THEREOF TAKEN, USED OR DEEDED FOR STREET, ROAD, OR HIGHWAY PURPOSES AND ALL EASEMENTS AND RESTRICTIONS OF RECORD IF ANY.

SITE ANALYSIS:

SITE AREA: 904,557 SQUARE FEET (NET)
ZONING: 'RM' (MULTIPLE FAMILY RESIDENTIAL), EXISTING PRIMARY USE
IS ADULT FOSTER CARE (LARGE GROUP HOME)

MINIMUM LOT SIZE: 12,000 S.F. (COMPLIES), MINIMUM LOT WIDTH: 100 FT. (COMPLIES)
BUILDING SETBACKS: REQUIRED PROVIDED (NEW BUILDING)
FRONT: 50 FT. 105 FT.
SIDE: 25 FT. 37/40 FT.

REAR: 35 FT. 128 FT.

EXISTING BUILDING AREAS (DEMOLITION): 2,081 (1,561 HOUSE + 520 STRUCTURE)

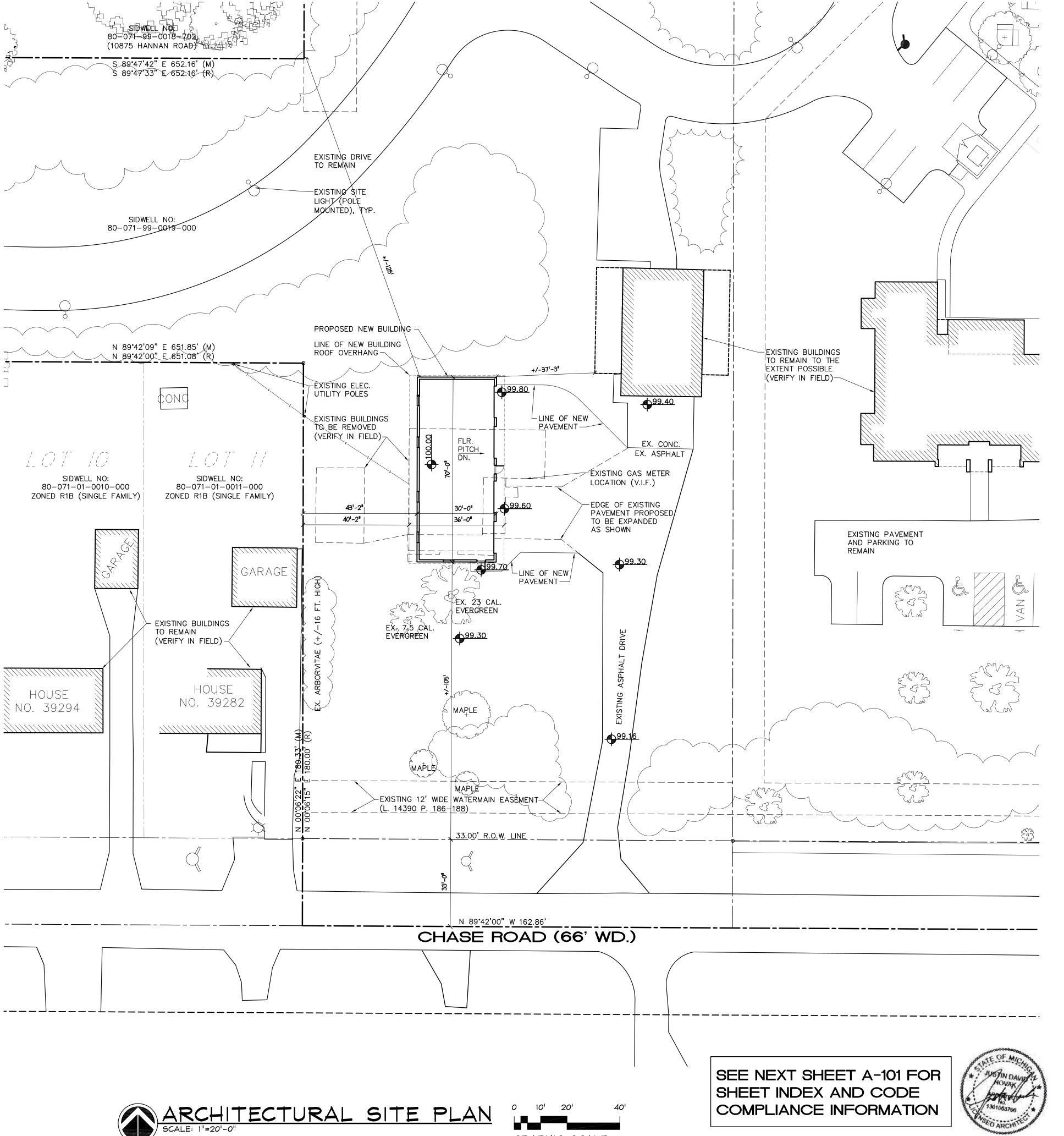
NEW BUILDING AREA (PROPOSED): 2,100 GSF (4,200 S.F. FOR BOTH FLOORS)

NEW BUILDING DIMENSIONS: 30 FEET x 70 FEET

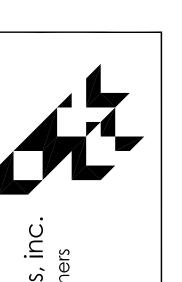
SITE PLAN NOTES:

- 1 LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF THE NEXT APPROPRIATE PLANTING PERIOD.
- 2 ANY SUBSTITUTIONS OF PLANT MATERIAL FROM APPROVED SITE PLAN WILL BE APPROVED BY THE PLANNING DEPARTMENT PRIOR TO INSTALLATION.
- FUTURE LOCATIONS OF ALL ABOVE GROUND UTILITIES AND LANDSCAPE SCREENING WILL BE REVIEWED AND APPROVED BY BOTH THE BUILDING AND PLANNING DEPARTMENTS PRIOR TO INSTALLATION.
- 4 ALL SITE LIGHTING SHALL HAVE FULL CUT-OFF FIXTURES AND BE DIRECTED DOWNWARD AWAY FROM ROADWAYS AND ADJACENT PROPERTIES.
- 5 VACANT AREAS OF THE SITE SHALL NOT BE USED FOR OUTDOOR STORAGE
- 6 NO SIGNS ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL AND PRIOR TO ERECTING A SING, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL, AND ISSUANCE OF A SIGN PERMIT
- 7 INTERNAL ON—SITE SIGNS RELATED TO PARKING AND TRAFFIC (I.E. FIRE LANE, NO PARKING, ETC.) SHALL BE PAID FOR AND INSTALLED BY THE OWNER/DEVELOPER.

SOURCE NOTE: SITE INFORMATION TAKEN FROM PLANS BY NOWAK & FRAUS CIVIL ENGINEERS, LAND SURVEYORS 46777 WOODWARD AVENUE, PONTIAC MI 48342-5032 SHEETS C-1 'OVERALL TOPOGRAPHIC SURVEY' DATED 7/02/10 FOR CONSTRUCTION AND C-7 'GENERAL SITE PLAN' DATED 11/08/10 FOR CCD #2



GRAPHIC SCALE



dss

chur plar

AGE/OFFICE BUILDING FOR:
REE
ASE ROAD
MICHIGAN 48174

Λ

SCHEME May 30, 2023
REVISED June 20, 2023
REVISED Feb. 18, 2025

This document and the subject matter contained herein are proprietary and are not to be used or reproduced without written consent of Smith + Schurman Associates, inc.

DRAWN BY:

CHECKED BY:

JOB NO: 23-927

SHEET NUMBER:

A-001

BUILDING CODE COMPLIANCE:

INTERPRETIVE CODES:

BUILDING = MICHIGAN BUILDING CODE (MBC) 2015

PLUMBING = MICHIGAN PLUMBING CODE 2021

MECHANICAL = MICHIGAN MECHANICAL CODE 2021

ELECTRICAL = MICHIGAN ELECTRICAL CODE 2023

BUILDING CODE ANALYSIS:

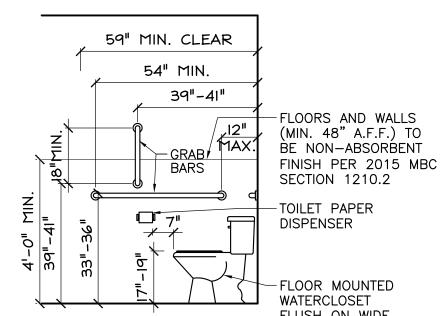
TWO ALLOWABLE PER 2015 MBC TABLE 504.4

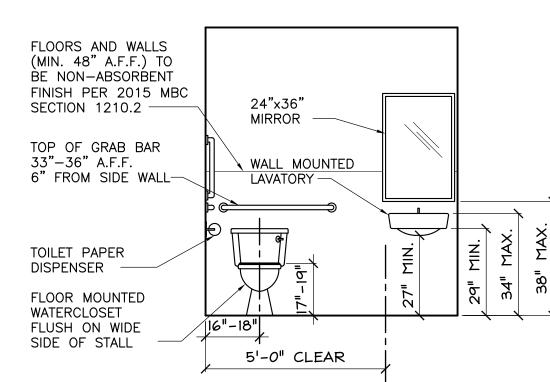
EGRESS DESIGN OCCUPANT LOAD

Garage Parking (U) = 1,642 S.F. / 200 S.F. = 9 OCCUPANTS Storage/Mech. (S-1) = 458 S.F./300 S.F. = 2 OCCUPANTS

Office (B) = 2,034 S.F./100 S.F. = 21 OCCUPANTS 32 OCCUPANTS

NOTE THAT MAX. OCCUPANCY DURING OPERATION WILL BE 15 OR FEWER PERSONS PER TENANT'S AFFADAVIT





ACCESSIBLE

GENERAL NOTES

CONT. PRE-FINISHED ALUM. GUTTER

LINE OF WALL BELOW, TYP. –

- DO NOT SCALE DRAWINGS. USE DIMENSIONS GIVEN OR FIELD VERIFY IF NECESSARY.
- ONLY DOCUMENTS INDICATED AS "BIDDING" OR "CONSTRUCTION" ARE TO BE USED FOR BIDDING OR CONSTRUCTION.
- 3 THE REQUIREMENTS OF ICC/ANSI A117.1 AND THE AMERICANS WITH DISABILITIES ACT (ADA) ARE TO BE FULLY SATISFIED. ALL WORK SHALL MEET THE MOST STRINGENT REQUIREMENTS OF BOTH INCLUDING, BUT NOT LIMITED TO CLEARANCES. LIMITATIONS, ACCESSORIES, ETC. THESE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE LIMITED SERVICES FOR WHICH THE ARCHITECT WAS CONTRACTED. THE ARCHITECT MAKES NO REPRESENTATION THAT THE INTERPRETATION OF THESE DOCUMENTS WILL RESULT IN COMPLETE COMPLIANCE WITH THE ADA.
- ALL GLASS SHALL CONFORM TO FS DD-G-451. SAFETY GLASS SHALL CONFORM TO U.S. CONSUMERS PRODUCT SAFETY COMMISSION STANDARD 16 CFR 1201.
- ALL DOORS REQUIRED TO BE LABELED SHALL BE SET IN LABELED FRAMES AND IDENTIFIED WITH UL LABEL AND PROVIDED WITH APPROVED SELF-CLOSING DEVICES AND POSITIVE LATCHING HARDWARE.
- CONTRACTOR TO VERIFY MECHANICAL EQUIPMENT UNIT LOADS AND LOCATIONS, IF NOT INDICATED ON PLAN, AND REPORT TO ARCHITECT PRIOR TO CONSTRUCTION.
- ALL DESIGNATED EXIT DOORS SHALL BE EQUIPPED WITH NON-LOCKING AGAINST EGRESS HARDWARE.
- PLASTIC PIPING, INSULATION AND OTHER COMBUSTIBLE MATERIALS SHALL BE RESTRICTED TO USE WHERE PERMITTED BY CODE AND IN NON-COMBUSTIBLE WALLS AND CEILING SPACES THAT DO NOT CONNECT DIRECTLY TO OCCUPIED ROOMS OR VENTILATING AIR DUCTS OR SPACES, IN ACCORDANCE WITH THE MICHIGAN STATE FIRE MARSHAL REGULATIONS. PROVIDE STEEL PIPING FOR ALL PLASTIC PIPING PASSING THROUGH FIREWALLS. RATED SHAFT WALLS SHALL BE DESIGNATED AS SUCH IN ACCORDANCE WITH 2015 MICHIGAN BUILDING CODE SECTION 703.7.
- ALL SIGNAGE THAT PROVIDES EMERGENCY INFORMATION OR GENERAL CIRCULATION DIRECTIONS OR SPACE IDENTIFICATION SHALL COMPLY WITH THE MOST STRINGENT OF ANSI A117.1 AND THE AMERICANS WITH DISABILITIES
- 10 WHEN REQUIRED, PORTABLE FIRE EXTINGUISHERS SHALL BE FURNISHED BY THE OWNER AND INSTALLED IN ACCORDANCE WITH NFPA 10.
- 11 ALL FINISH LUMBER SHALL HAVE A MOISTURE CONTENT OF 9% OR LESS.
- 12 PROVIDE FIRE RETARDANT TREATED (FRT) WOOD BLOCKING WHERE REQUIRED TO SUPPORT ITEMS MOUNTED TO PARTITIONS AND AROUND ALL DOOR OPENINGS, ETC. ALL LUMBER REQUIRED TO BE FIRE TREATED SHALL BEAR THE UL FR-S LABEL.
- 13 ALL INTERIOR FINISHES SHALL MEET THE FLAME SPREAD AND SMOKE DEVELOPED REQUIREMENTS OF MBC 2015, CHAPTER 8 "INTERIOR FINISHES".
- 14 ALL INTERIOR METAL STUD PARTITIONS ARE TO BE DESIGNED TO WITHSTAND A UNIFORM LATERAL LOAD OF 5 P.S.F. BRACE WALLS TO THE STRUCTURE AS REQUIRED. SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- 15 UNLESS NOTED OTHERWISE, PRODUCTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. CONTRACTOR TO PROVIDE ALL PRODUCT WARRANTIES AND INFORMATION TO PROPERTY MANAGER UPON COMPLETION OF CONSTRUCTION
- 16 ALL MECHANICAL/ELECTRICAL ENGINEERING SHALL BE PERFORMED ON A "DESIGN-BUILD" BASIS BY THE OWNER'S RESPECTIVE CONTRACTORS. ANY M/E ITEMS SHOWN HERE ARE FOR GENERAL REFERENCE ONLY.
- 17 ALL STUD WALLS ARE TO BE FIRE-STOPPED AT CEILINGS.

GRAPHIC SCALE





A

\A-501,

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

30'-4"

SCHEMATIC UNDERGROUND

SANITARY PLUMBING LINES

UNEXCAVATED

PLANS FOR REINF.) MIN.

4" COMPACTED GRAN, FILL

OVER 6 MIL POLYETHYLENE

VAPOR BARRIER (PITCH TOP

OF SLAB DOWN TOWARDS

OVERHEAD DOORS, EXCEPT

WHERE NOTED FOR WASH BAY)

CONC. FOOTING, TYP., OF (4),

SEE FLOOR PLANS ON SHEET A-201 FOR DOOR OPENING LOCATIONS

SEE STRUCTURAL DRAWINGS FOR

CONCRETE TRENCH FOOTINGS

SEE STRUCT'L DWGS. 1

6" CONC. SLAB (SEE STRUCT'L

14'-2"

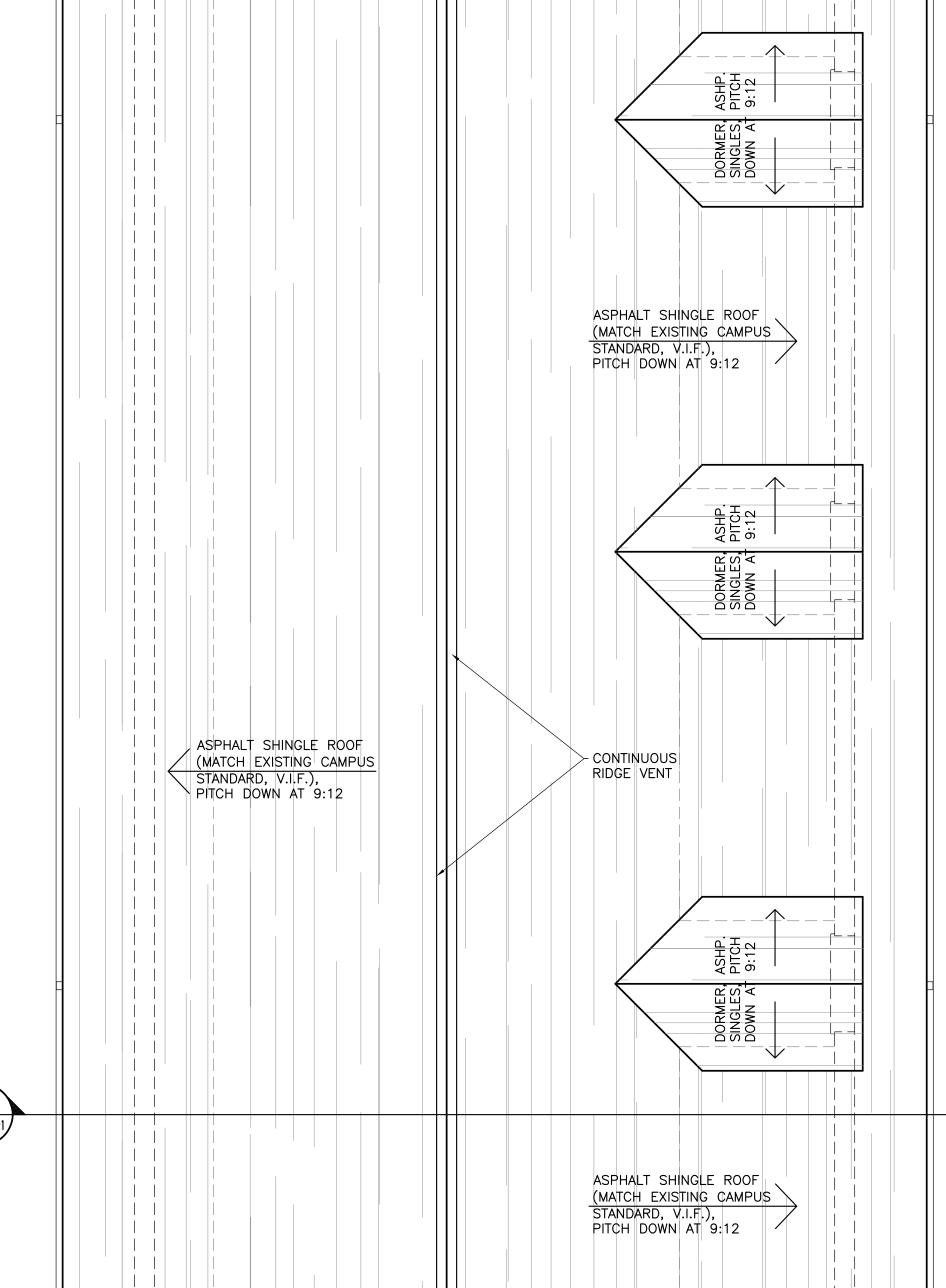
20'-3½" (WASH BAY)

(+/-20'x16')

DOWN TO DRAIN

PITCH TOP OF CONC. SLAB

14'-2"



ASPHALT SHINGLE ROOF

STANDARD, V.I.F.),

PITCH DOWN AT 9:12

(MATCH EXISTING CAMPUS



A-101

A-201

A-301

A-401

A-501

S-01

S-03

USE GROUP: B/S-1/U (NON-SEPARATED OCCUPANCIES PER 2015 MBC 508.3)

CONSTRUCTION TYPE: VA (COMBUSTIBLE, ONE-HOUR PROTECTED STRUCTURE), UNSPRINKLERED (NS)

STORIES: TWO (2) PROPOSED,

HEIGHT: +/-30 FEET FROM CHASE ROAD GRADE, ALLOWABLE=50FT PER 2015 MBC 504.3

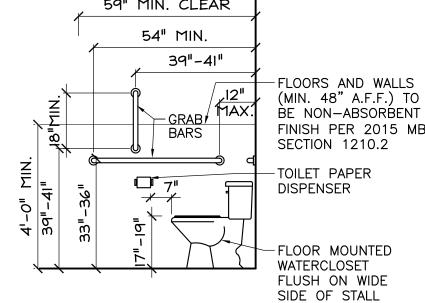
TOTAL AREA: 2,100 GROSS S.F. PER FLOOR (TOTAL 4,200 S.F.), 9,000 S.F. ALLOWABLE PER 2015 MBC TABLE 506.2

(per 2015 MBC Table 1004.1.2)

1st Floor

2nd Floor

4,134 S.F.



ACCESSIBLE

MATER CLOS.

 \Box

4

Z

4

BUILDING

REVIEW Feb. 09, 2024 REVISED Feb. 18, 2025 his document and the subject roprietary and are not to b ised or reproduced without written consent of Smith +

SCHEME May 19, 2023

REVISED May 23, 2023

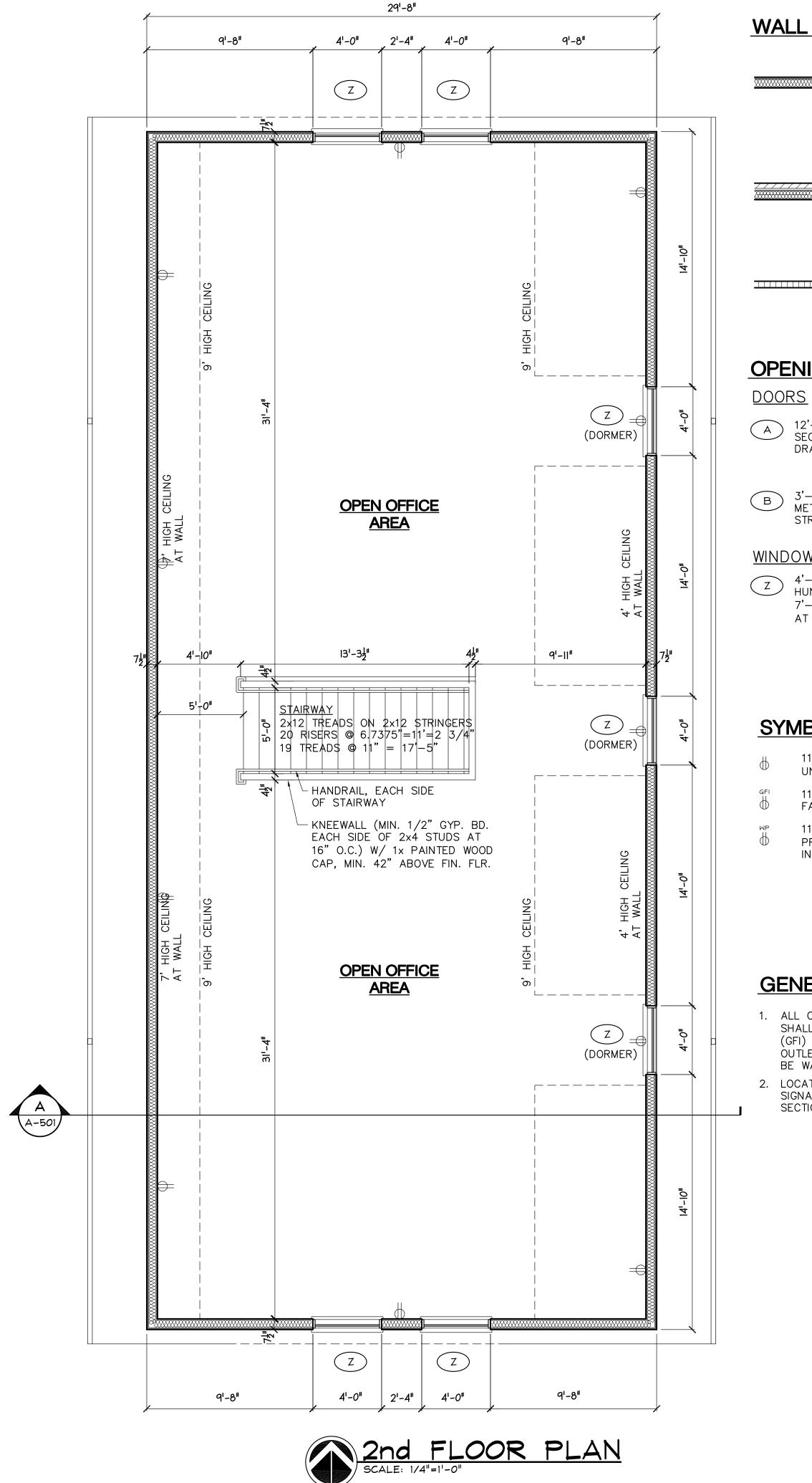
REVISED June 20, 2023

REVISED July 18, 2023

PRELIM. Dec. 18, 2023

DRAWN BY: HECKED BY: IOB NO: 23-9271

HEET NUMBER: A-101



WALL LEGEND

+/- 7-1/2" NOM. WIDTH: VINYL LAP SIDING OVER MOISTURE BARRIER ON 5/8" WD. SHEATHING FASTENED TO 2x6 WOOD STUDS AT 16"O.C. W/ SOLID FILL INSUL. BETWEEN (R-21). INTERIOR TO BE 5/8" GYPSUM BD

(PAINTED) UNLESS NOTED OTHERWISE. (SEE SECTIONS 1 & 2 SHEET A-501) +/- 11-1/2" NOM. WIDTH: BRICK (UP TO 48" A.F.F.), AIR SPACE, MOISTURE BARRIER ON 5/8" WD. SHEATHING FASTENED TO 2x6

WOOD STUDS AT 16" O.C. W/ SOLID FILL INSULATION BETWEEN (R-21). INTERIOR TO BE 5/8" GYPSUM BD (PAINTED) UNLESS NOTED OTHERWISE. (SEE SECTIONS 1 & 2 ON SHEET A-501)

(INTERIOR) 1/2" GYPSUM BOARD (PAINTED UNLESS NOTED OTHERWISE) EACH SIDE OF 2x4 WOOD STUDS AT 16" O.C.. 2nd FLOOR SHALL BE A KNEEWALL MIN. 42" A.F.F. WITH PAINTED 1x WOOD CAP

OPENING SCHEDULE

- 12'-0" WIDE X 8'-0" HIGH INSULATED SECTIONAL OVERHEAD DOOR. SEE STRUCTURAL DRAWINGS FOR HEADER AND BEARING
- 3'-0" WIDE X 7'-0" HIGH INSULATED HOLLOW METAL DOOR WITH ALUM. THRESH AND WEATHER STRIPPING

WINDOWS

4'-0" WIDE x 3'-0" WIDE OPERABLE DOUBLE HUNG WINDOW. TOP OF HEADER SHALL BE AT 7'-0" A.F.F. EXCEPT DORMER WINDOWS TO BE AT 8'-8" A.F.F.

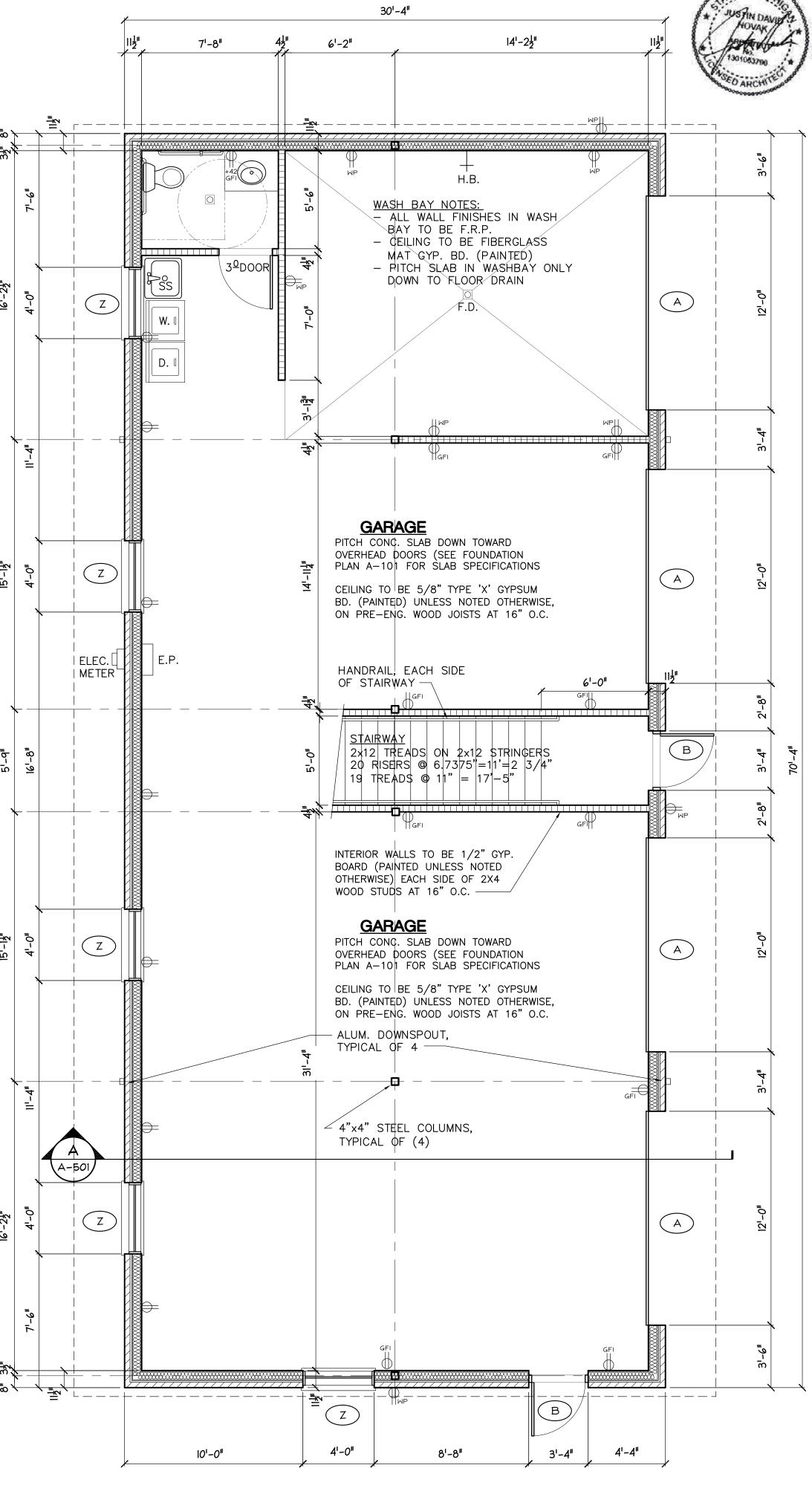
SYMBOL LEGEND

- 110 VOLT DUPLEX RECEPTACLE (18" A.F.F. UNLESS NOTED OTHERWISE)
- 110 VOLT DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTION
- 110 VOLT DUPLEX RECEPTACLE IN WEATHER-PROOF HOUSING W/ GROUND FAULT INTERRUPTION

GENERAL ELECTRICAL NOTES

- 1. ALL OUTLETS WITHIN 72" OF PLUMBING FIXTURES SHALL HAVE GROUND FAULT INTERRUPTOR CIRCUIT (GFI) AS REQUIRED BY NEC. ALL EXTERIOR OUTLETS AND OUTLETS IN WASH BAY AREA SHALL BE WATERPROOF WITH GFI.
- LOCATE EMERGENCY EGRESS LIGHTING AND EXIT SIGNAGE, IF REQURIED, TO MEET 2015 MBC SECTIONS 1008 AND 1013.

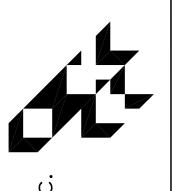
GRAPHIC SCALE





GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"



ociates, ior designe ⊇. ס + schurmar

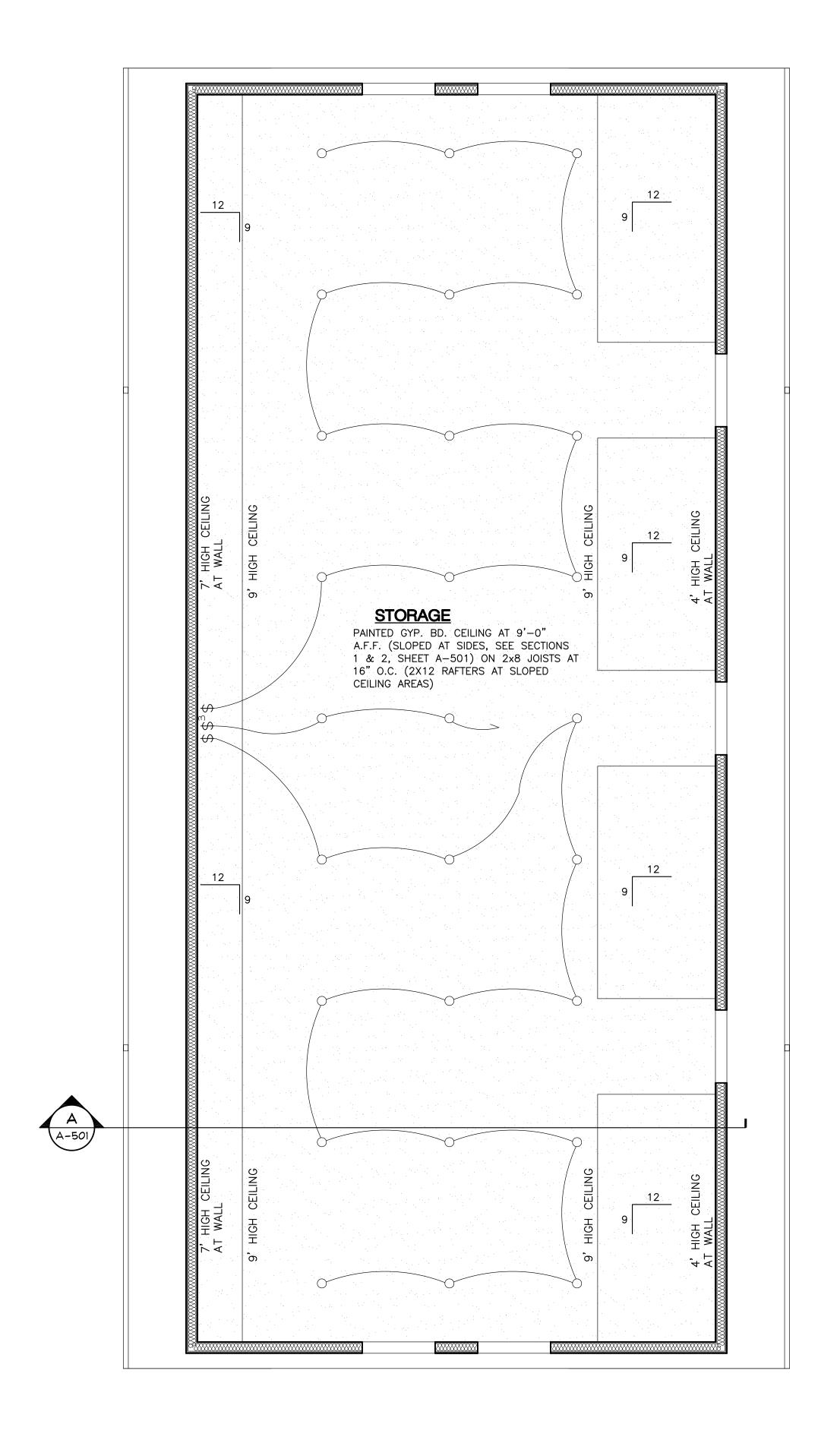
ANS BUILDING

SCHEME May 19, 2023 REVISED May 23, 2023 REVISED June 20, 2023 REVISED July 18, 2023 PRELIM. Dec. 18, 2023 REVIEW Feb. 09, 2024 REVISED Feb. 06, 2025

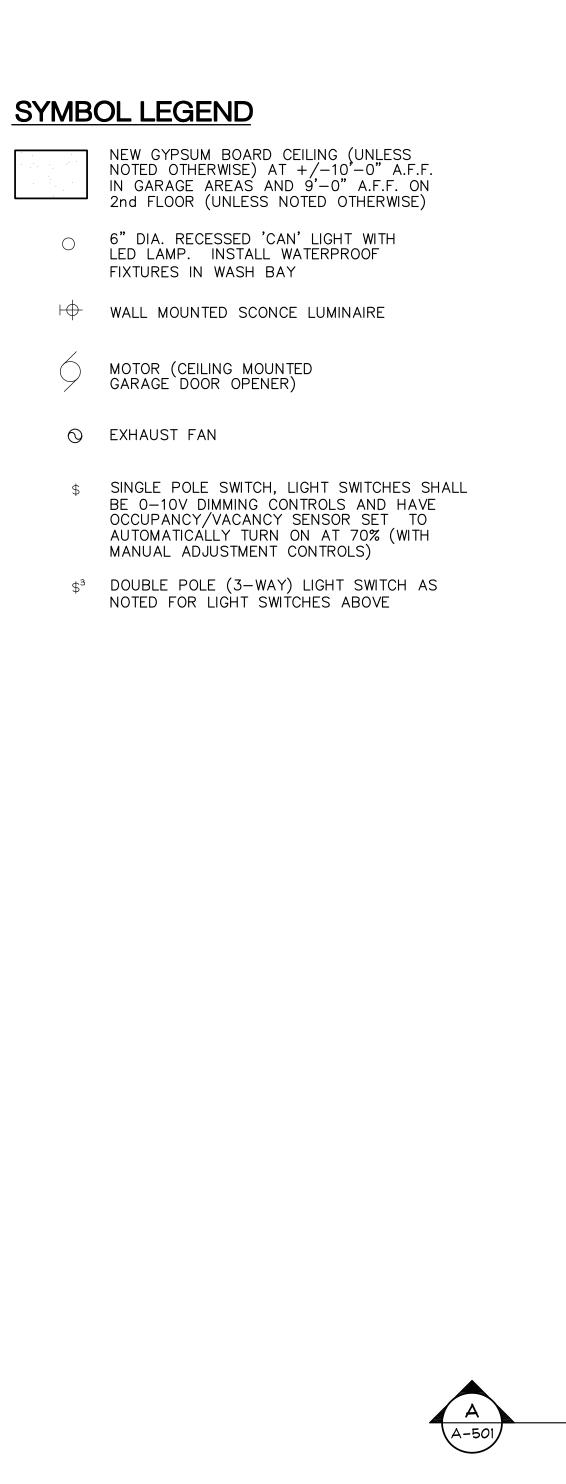
This document and the subject proprietary and are not to b used or reproduced without written consent of Smith + DRAWN BY:

CHECKED BY: 23-9271 IOB NO:

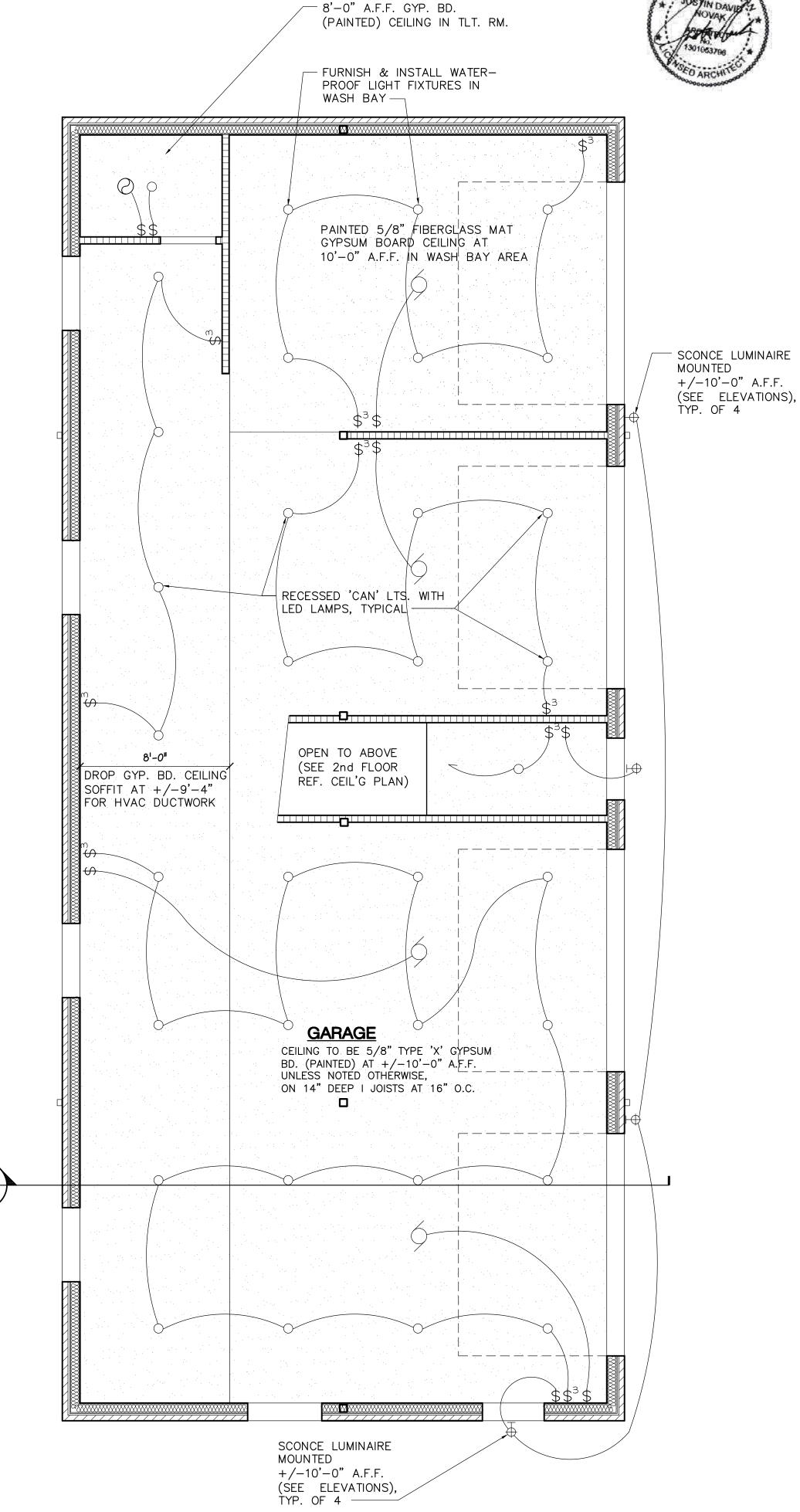
HEET NUMBER: A-201







GRAPHIC SCALE



GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"



1+schurman associates, inc. scts • planners • interior designers

architects planners interior
PO Box 1607, Southgate, MI 48195
Telephone: 248-227-9660

REFLECTED CEILING PL,

NEW GARAGE/OFFICE BUILDING FOR:

ISSUE DATE

SCHEME May 19, 2023

REVISED May 23, 2023

REVISED June 20, 2023

REVISED July 18, 2023

PRELIM. Dec. 18, 2023

REVIEW Feb. 09, 2024

This document and the subject matter contained herein are proprietary and are not to be used or reproduced without written consent of Smith + Schurman Associates, inc.

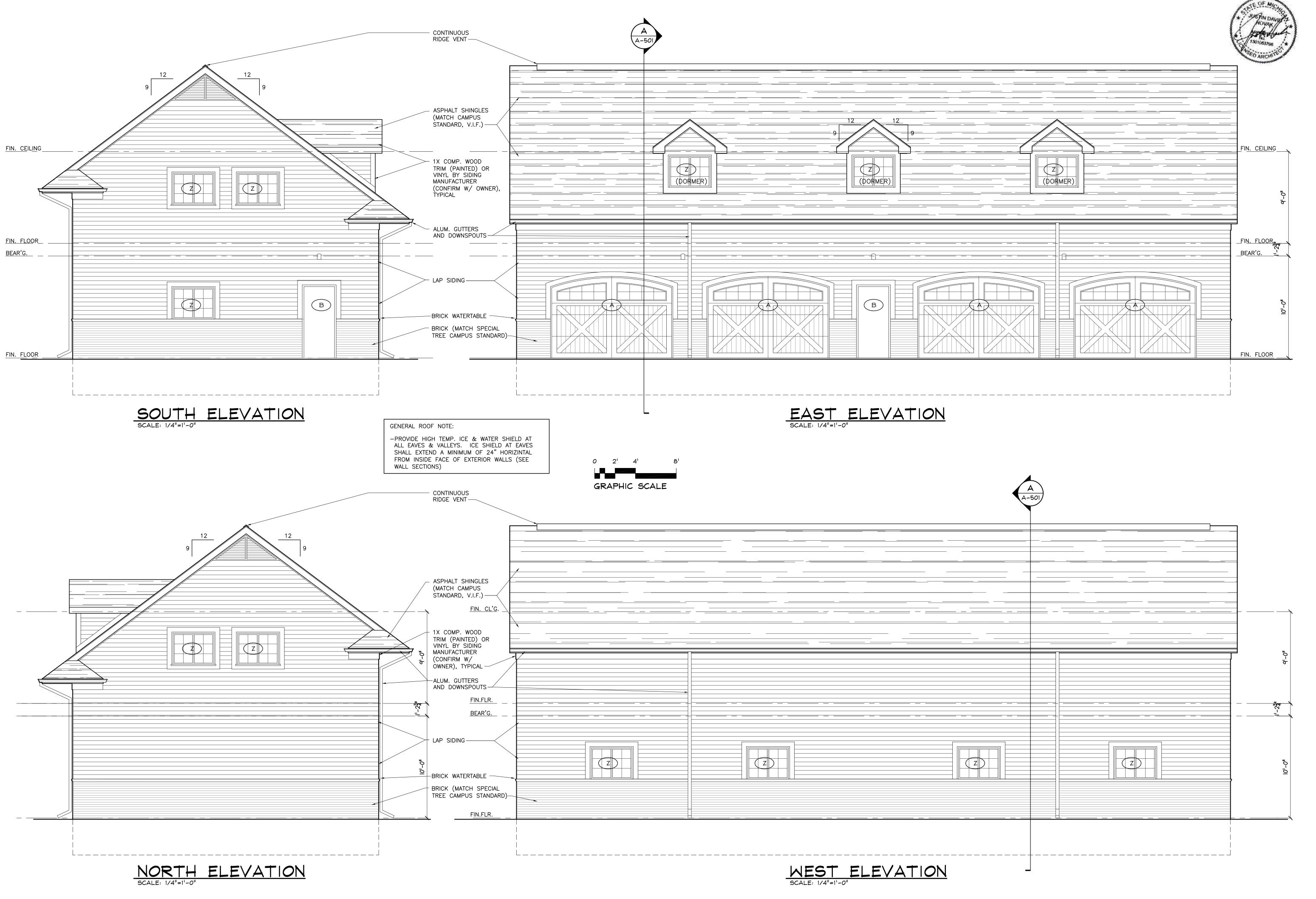
DRAWN BY: JN

CHECKED BY:

JOB NO: 23-9271

SHEET NUMBER:

A-301



smith + schurman associates, inachitects = planners = interior designer

BUILDING ELEVATIONS

NEW GARAGE/OFFICE BUILDING FOR:

ISSUE DATE

SCHEME May 19, 2023

REVISED May 23, 2023

RENDER June 26, 2023

PRELIM. Dec. 18, 2023

REVIEW Feb. 09, 2024

REVISED Feb. 18, 2024

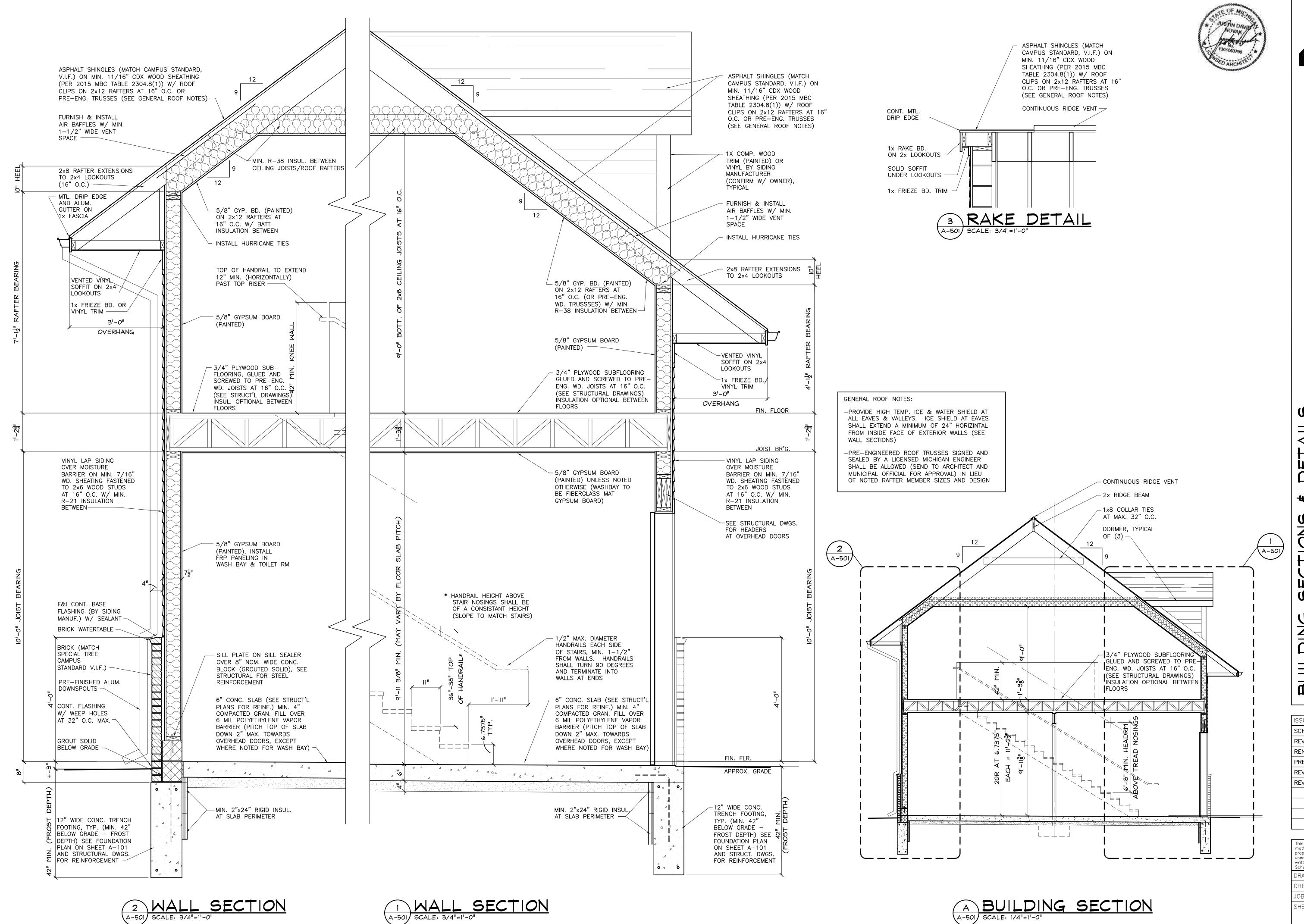
This document and the subject matter contained herein are proprietary and are not to be used or reproduced without written consent of Smith + Schurman Associates, inc.

DRAWN BY: JN

CHECKED BY:

JOB NO: 23-9271

SHEET NUMBER:



ciates, ⊇. ס

₩

SCHEME May 19, 2023 REVISED May 23, 2023 RENDER June 26, 2023 PRELIM. Dec. 18, 2023 REVIEW Feb. 09, 2024 REVISED Feb. 18, 2024

This document and the subject roprietary and are not to b used or reproduced without written consent of Smith +

DRAWN BY: CHECKED BY:

23-9271 JOB NO: SHEET NUMBER: A-501