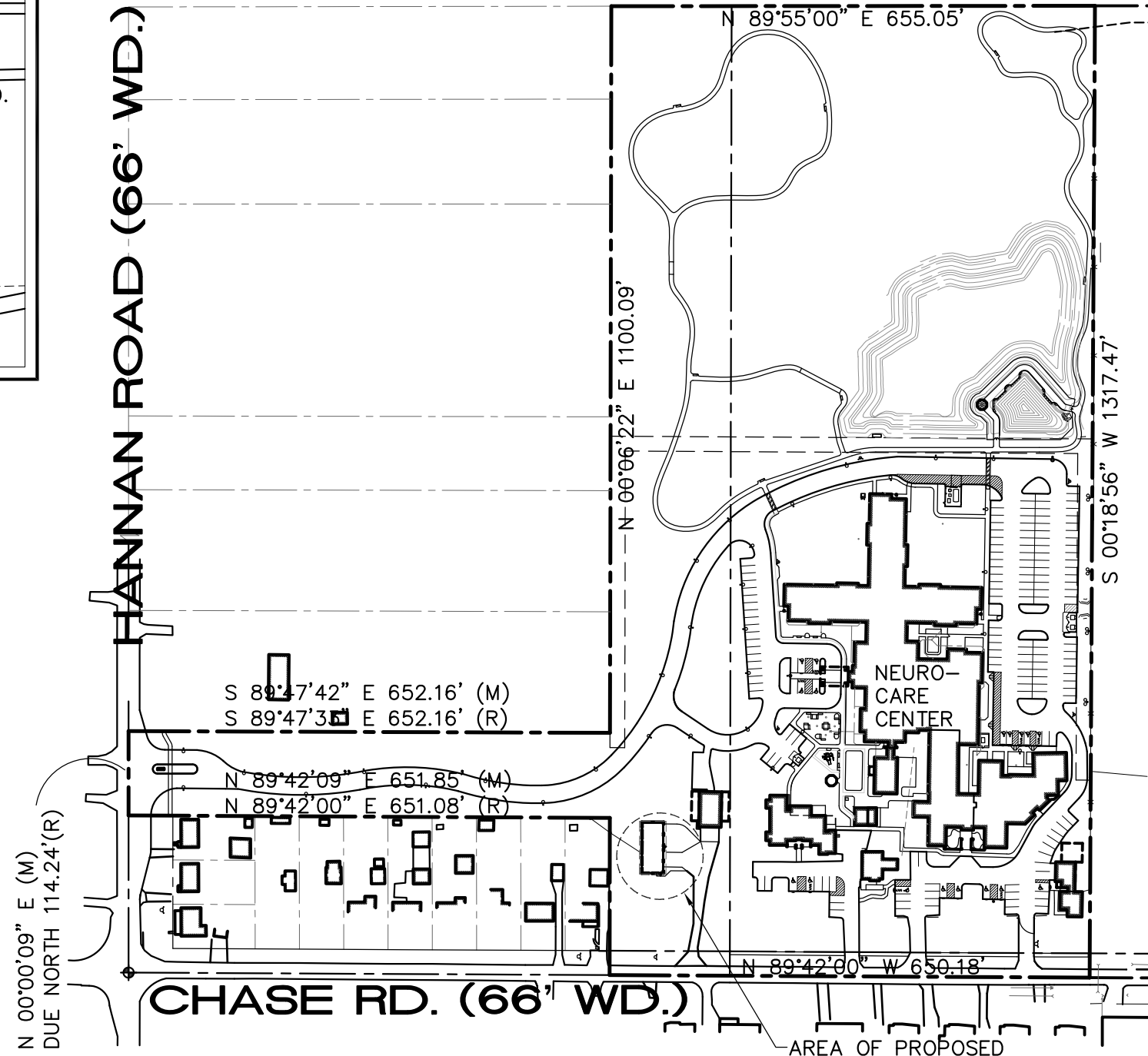


LOCATION MAP
NO SCALE



OVERALL SITE
SCALE: 1"=200'-0"

LEGAL DESCRIPTION:

(OVERALL LEGAL DESCRIPTION (AS SURVEYED) PER CITY ASSESSOR'S OFFICE ON 01/11/2010 - SIDWELL #80-071-99-0019-700)

CONTAINING PARCELS 1-5;
(SIDWELL #80-071-99-0019-000) (SIDWELL #80-071-99-0022-000)
(SIDWELL #80-071-99-0020-000) (SIDWELL #80-071-99-0023-000)
(SIDWELL #80-071-99-0021-000) (SIDWELL #80-071-99-0024-000)

PART OF THE S.W. 1/4 OF SECTION 18, T.3S., R.9E., CITY OF ROMULUS, WAYNE COUNTY, MICHIGAN DESCRIBED AS: COMMENCING FROM THE S.W. CORNER OF SECTION 18 DUE NORTH, 327.24 FEET TO A POINT OF BEGINNING, LOCATED ON THE WEST SECTION LINE OF SAID SECTION 18; THENCE S. 89°47'42" E (RECORDED AS S. 89°47'33" E.) 652.16 FEET; THENCE N.00°06'22"E., 984.81 FEET; THENCE N.89°55'00" E., 655.05 FEET; THENCE S. 00°18'56" W., 1317.47 FEET TO A POINT ON THE SOUTH LINE OF SECTION 18; THENCE N. 89°42'00" W., ALONG SAID SOUTH LINE, 650.18 FEET; THENCE N. 00°06'22" E. (RECORDED AS N. 00°06'00" W.) 33 FEET TO THE SOUTHEAST CORNER OF LOT 11 OF CHASE HANNAN SUBDIVISION AS RECORDED IN LIBER 81 OF PLATS PAGE 89 WAYNE COUNTY RECORDS; THENCE ALONG THE EAST LINE OF SAID LOT 11, N. 00°06'22" E., 180.03 FEET (RECORDED AS N. 00°06'00" E., 180.00 FEET) TO THE NORTHEAST CORNER OF SAID LOT 11; THENCE N. 89°42'09" W. (RECORDED AS N. 89°42'00" W.) ALONG THE NORTH LINE OF SAID CHASE HANNAN SUBDIVISION AND EXTENSION THEREOF, 651.85 FEET (RECORDED AS 651.08 FEET); THENCE N. 00°00'09" E. (RECORDED AS DUE NORTH), 114.24 FEET TO THE POINT OF BEGINNING. CONTAINING 932,873 S.F. OR 21.415 ACRES WITH RIGHT OF WAY, 904,557 S.F. OR 20.765 ACRES NET OF PUBLIC RIGHT OF WAY. SUBJECT TO THE RIGHTS OF THE PUBLIC AND OF ANY GOVERNMENTAL UNIT IN ANY PART THEREOF TAKEN, USED OR DEEDED FOR STREET, ROAD, OR HIGHWAY PURPOSES AND ALL EASEMENTS AND RESTRICTIONS OF RECORD IF ANY.

SITE ANALYSIS:

SITE AREA: 904,557 SQUARE FEET (NET)
ZONING: 'RM' (MULTIPLE FAMILY RESIDENTIAL), EXISTING PRIMARY USE IS ADULT FOSTER CARE (LARGE GROUP HOME)

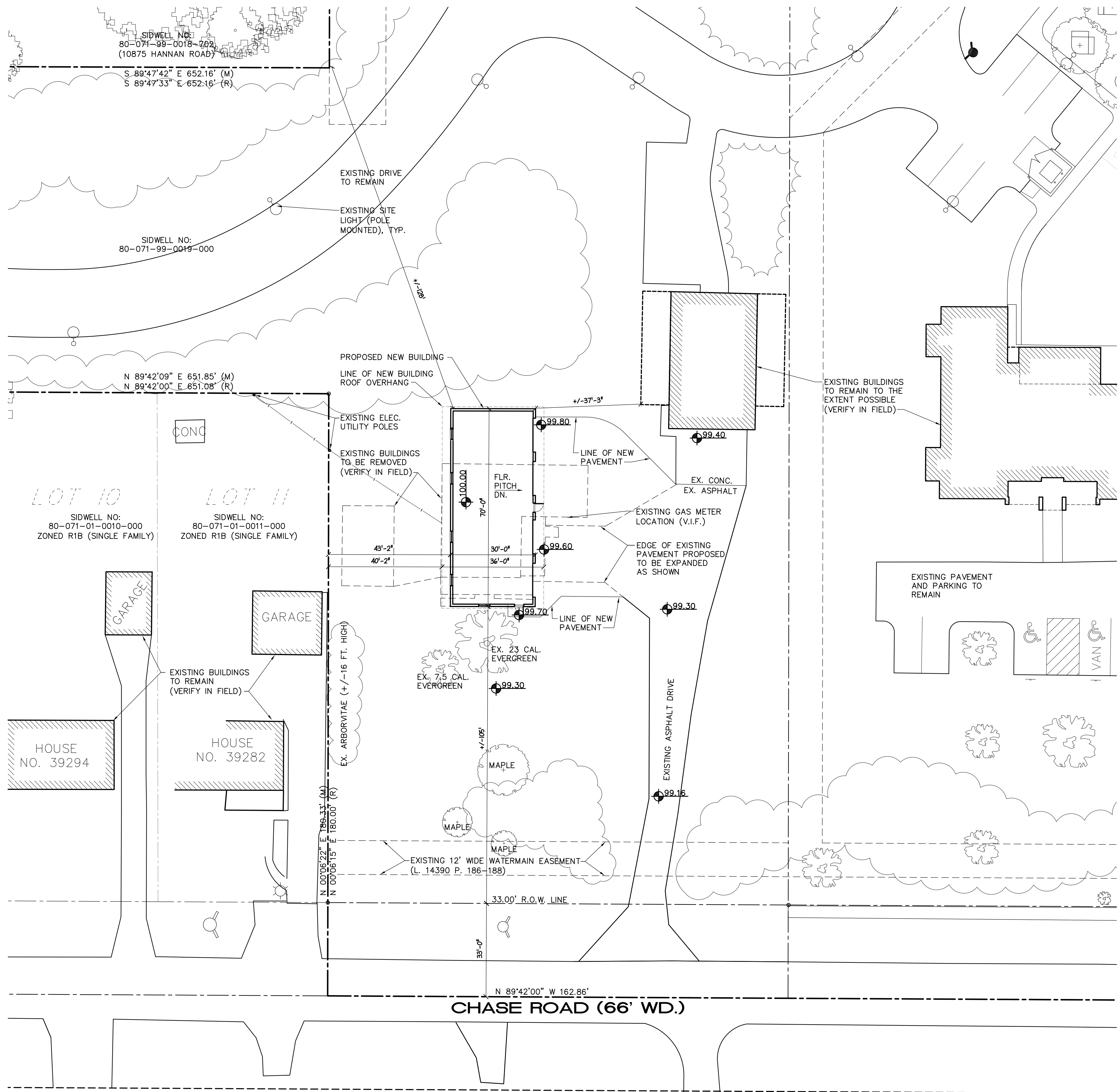
MINIMUM LOT SIZE: 12,000 S.F. (COMPLIES), MINIMUM LOT WIDTH: 100 FT. (COMPLIES)
BUILDING SETBACKS: REQUIRED PROVIDED (NEW BUILDING)
FRONT: 50 FT. 105 FT.
SIDE: 25 FT. 37/40 FT.
REAR: 35 FT. 128 FT.

EXISTING BUILDING AREAS (DEMOLITION): 2,081 (1,561 HOUSE + 520 STRUCTURE)
NEW BUILDING AREA (PROPOSED): 2,100 GSF (4,200 S.F. FOR BOTH FLOORS)
NEW BUILDING DIMENSIONS: 30 FEET x 70 FEET

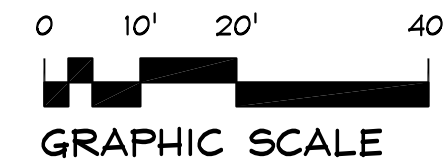
SITE PLAN NOTES:

- LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF THE NEXT APPROPRIATE PLANTING PERIOD.
- ANY SUBSTITUTIONS OF PLANT MATERIAL FROM APPROVED SITE PLAN WILL BE APPROVED BY THE PLANNING DEPARTMENT PRIOR TO INSTALLATION.
- FUTURE LOCATIONS OF ALL ABOVE GROUND UTILITIES AND LANDSCAPE SCREENING WILL BE REVIEWED AND APPROVED BY BOTH THE BUILDING AND PLANNING DEPARTMENTS PRIOR TO INSTALLATION.
- ALL SITE LIGHTING SHALL HAVE FULL CUT-OFF FIXTURES AND BE DIRECTED DOWNWARD AWAY FROM ROADWAYS AND ADJACENT PROPERTIES.
- VACANT AREAS OF THE SITE SHALL NOT BE USED FOR OUTDOOR STORAGE
- NO SIGNS ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL AND PRIOR TO ERECTING A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL, AND ISSUANCE OF A SIGN PERMIT
- INTERNAL ON-SITE SIGNS RELATED TO PARKING AND TRAFFIC (I.E. FIRE LANE, NO PARKING, ETC.) SHALL BE PAID FOR AND INSTALLED BY THE OWNER/DEVELOPER.

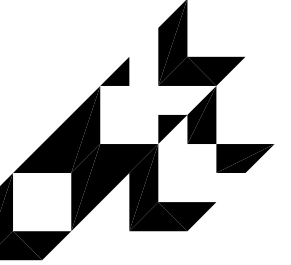
SOURCE NOTE: SITE INFORMATION TAKEN FROM PLANS BY NOWAK & FRAUS CIVIL ENGINEERS, LAND SURVEYORS 46777 WOODWARD AVENUE, PONTIAC MI 48342-5032
SHEETS C-1 'OVERALL TOPOGRAPHIC SURVEY' DATED 7/02/10 FOR CONSTRUCTION
AND C-7 'GENERAL SITE PLAN' DATED 11/08/10 FOR CCD #2



ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"



SEE NEXT SHEET A-101 FOR
SHEET INDEX AND CODE
COMPLIANCE INFORMATION



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Telephone: 248-227-5660

ARCHITECTURAL SITE PLAN

NEW STORAGE/OFFICE BUILDING FOR:

SPECIAL TREE

39140 CHASE ROAD

ROMULUS, MICHIGAN 48174

ISSUE	DATE
SCHEME	May 30, 2023
REVISED	June 20, 2023
REVISED	Feb. 18, 2025

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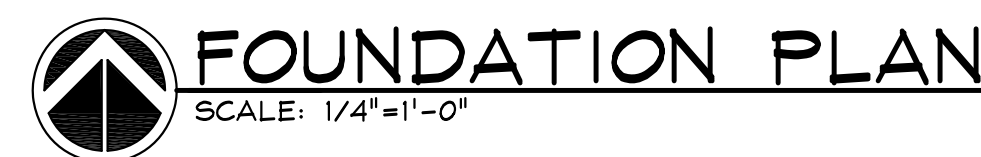
JOB NO: 23-9271

SHEET NUMBER:

A-001

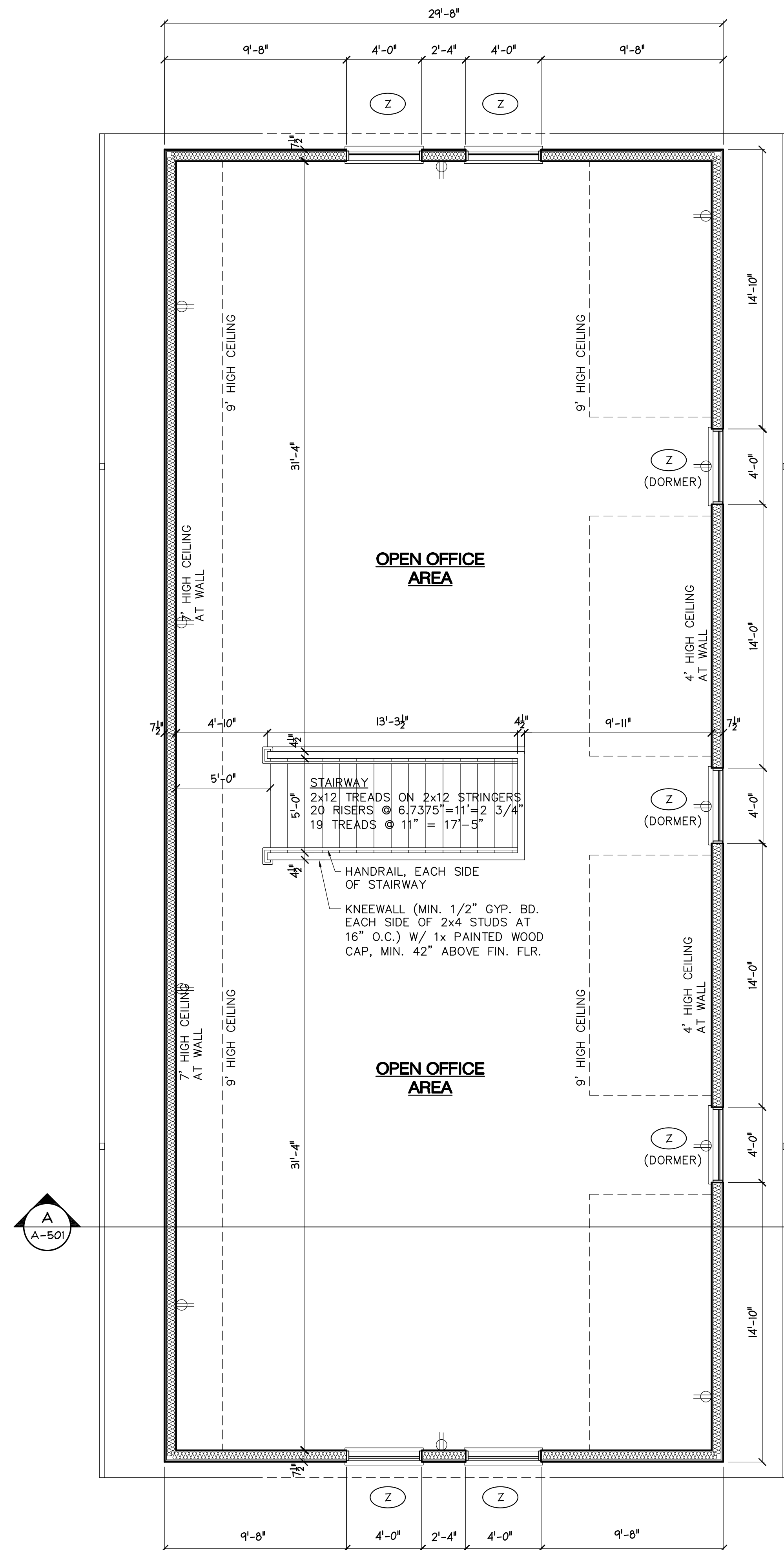


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ACCESSIBLE
WATER CLOS.


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JOB NO:	23-9271
SHEET NUMBER:	



WALL LEGEND



+/- 7-1/2" NOM. WIDTH: VINYL LAP SIDING
OVER MOISTURE BARRIER ON 5/8" WD.
SHEATHING FASTENED TO 2x6 WOOD STUDS
AT 16"O.C. W/ SOLID FILL INSUL. BETWEEN
(R-21). INTERIOR TO BE 5/8" GYPSUM BD
(PAINTED) UNLESS NOTED OTHERWISE. (SEE
SECTIONS 1 & 2 SHEET A-501)



+/- 11-1/2" NOM. WIDTH: BRICK (UP TO 48" A.F.F.), AIR SPACE, MOISTURE BARRIER ON 5/8" WD. SHEATHING FASTENED TO 2x6 WOOD STUDS AT 16" O.C. W/ SOLID FILL INSULATION BETWEEN (R-21). INTERIOR TO BE 5/8" GYPSUM BD (PAINTED) UNLESS NOTED OTHERWISE. (SEE SECTIONS 1 & 2 ON SHEET A-501)

(INTERIOR) 1/2" GYPSUM BOARD (PAINTED UNLESS NOTED OTHERWISE) EACH SIDE OF 2x4 WOOD STUDS AT 16" O.C.. 2nd FLOOR SHALL BE A KNEEWALL MIN. 42" A.F.F. WITH PAINTED 1x WOOD CAP

OPENING SCHEDULE

DOORS




- (A) 12'-0" WIDE X 8'-0" HIGH INSULATED SECTIONAL OVERHEAD DOOR. SEE STRUCTURAL DRAWINGS FOR HEADER AND BEARING

- (B) 3'-0" WIDE X 7'-0" HIGH INSULATED HOLLOW
METAL DOOR WITH ALUM. THRESH AND WEATHER
STRIPPING

WINDOWS

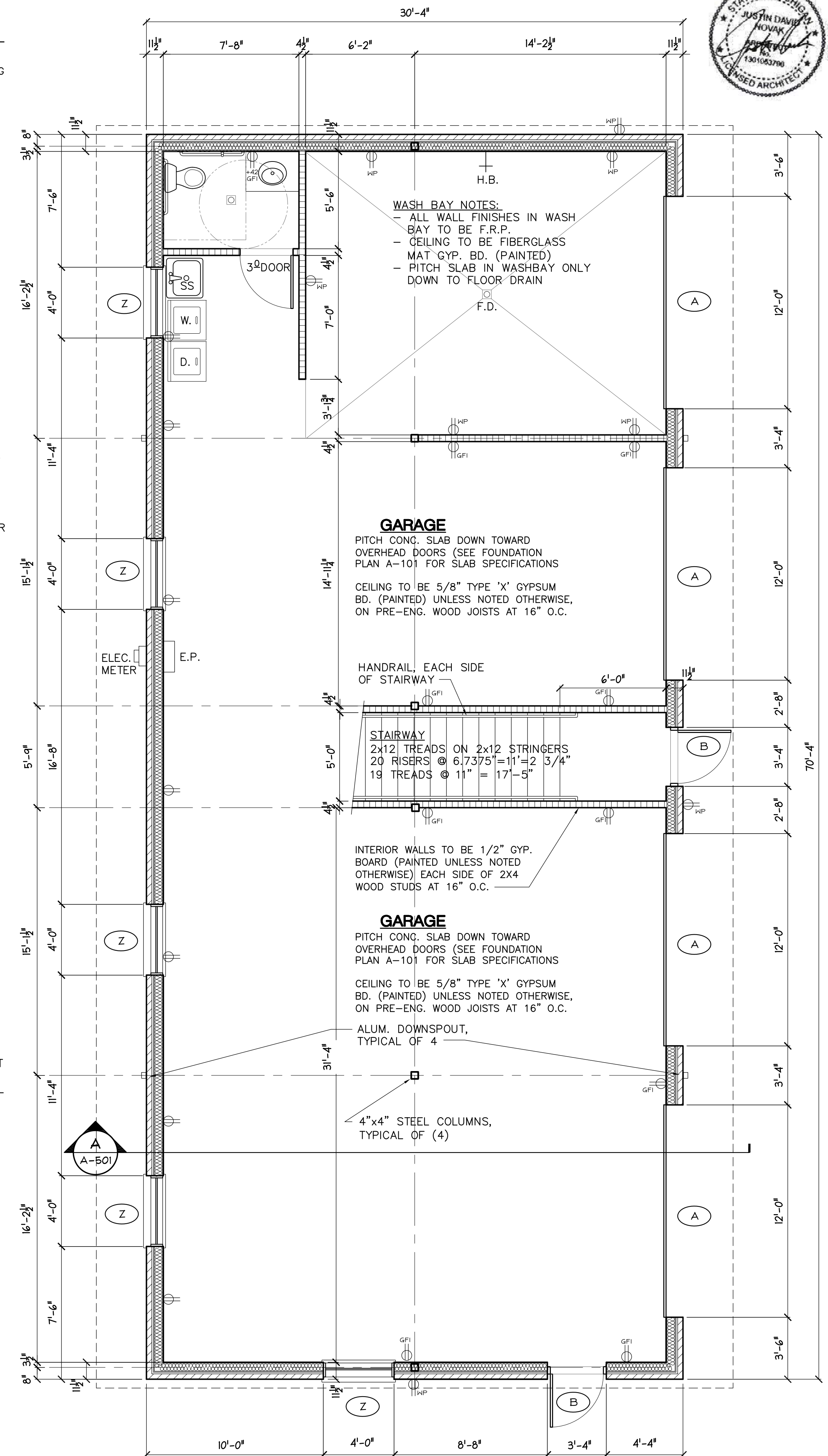
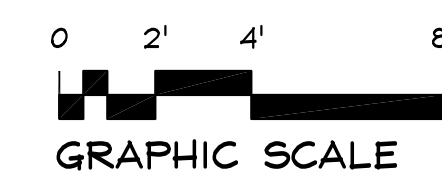
- (Z) 4'-0" WIDE x 3'-0" WIDE OPERABLE DOUBLE HUNG WINDOW. TOP OF HEADER SHALL BE AT 7'-0" A.F.F. EXCEPT DORMER WINDOWS TO BE AT 8'-8" A.F.F.

SYMBOL LEGEND

- | | |
|---|--|
|  | 110 VOLT DUPLEX RECEPTACLE (18" A.F.F. UNLESS NOTED OTHERWISE) |
|  | 110 VOLT DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTION |
|  | 110 VOLT DUPLEX RECEPTACLE IN WEATHER-PROOF HOUSING W/ GROUND FAULT INTERRUPTION |

GENERAL ELECTRICAL NOTES

1. ALL OUTLETS WITHIN 72" OF PLUMBING FIXTURES SHALL HAVE GROUND FAULT INTERRUPTOR CIRCUIT (GFI) AS REQUIRED BY NEC. ALL EXTERIOR OUTLETS AND OUTLETS IN WASH BAY AREA SHALL BE WATERPROOF WITH GFI.
2. LOCATE EMERGENCY EGRESS LIGHTING AND EXIT SIGNAGE, IF REQUIRED, TO MEET 2015 MBC SECTIONS 1008 AND 1013.



GROUND FLOOR PLAN



SCALE: $1/4" = 1' - 0"$

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FLOOR PLANS

NEW GARAGE/OFFICE BUILDING FOR:
SPECIAL TREE

39165 CHASE ROAD

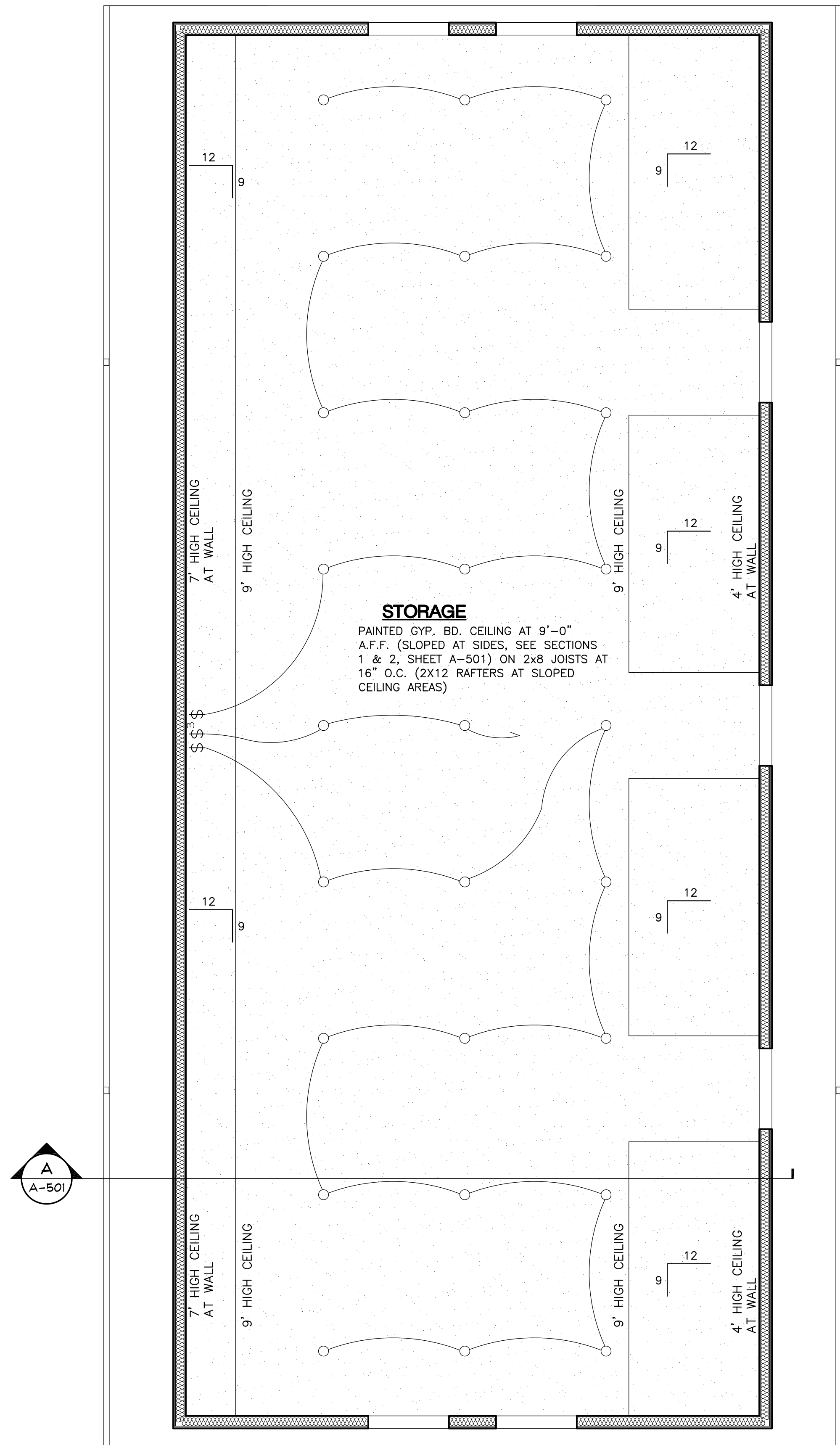
ROMULUS, MICHIGAN 48174

ISSUE	DATE
HEMEL	May 19, 2023
REVISED	May 23, 2023
REVISED	June 20, 2023
REVISED	July 18, 2023
ELIM.	Dec. 18, 2023
VIEW	Feb. 09, 2024
REVISED	Feb. 06, 2025

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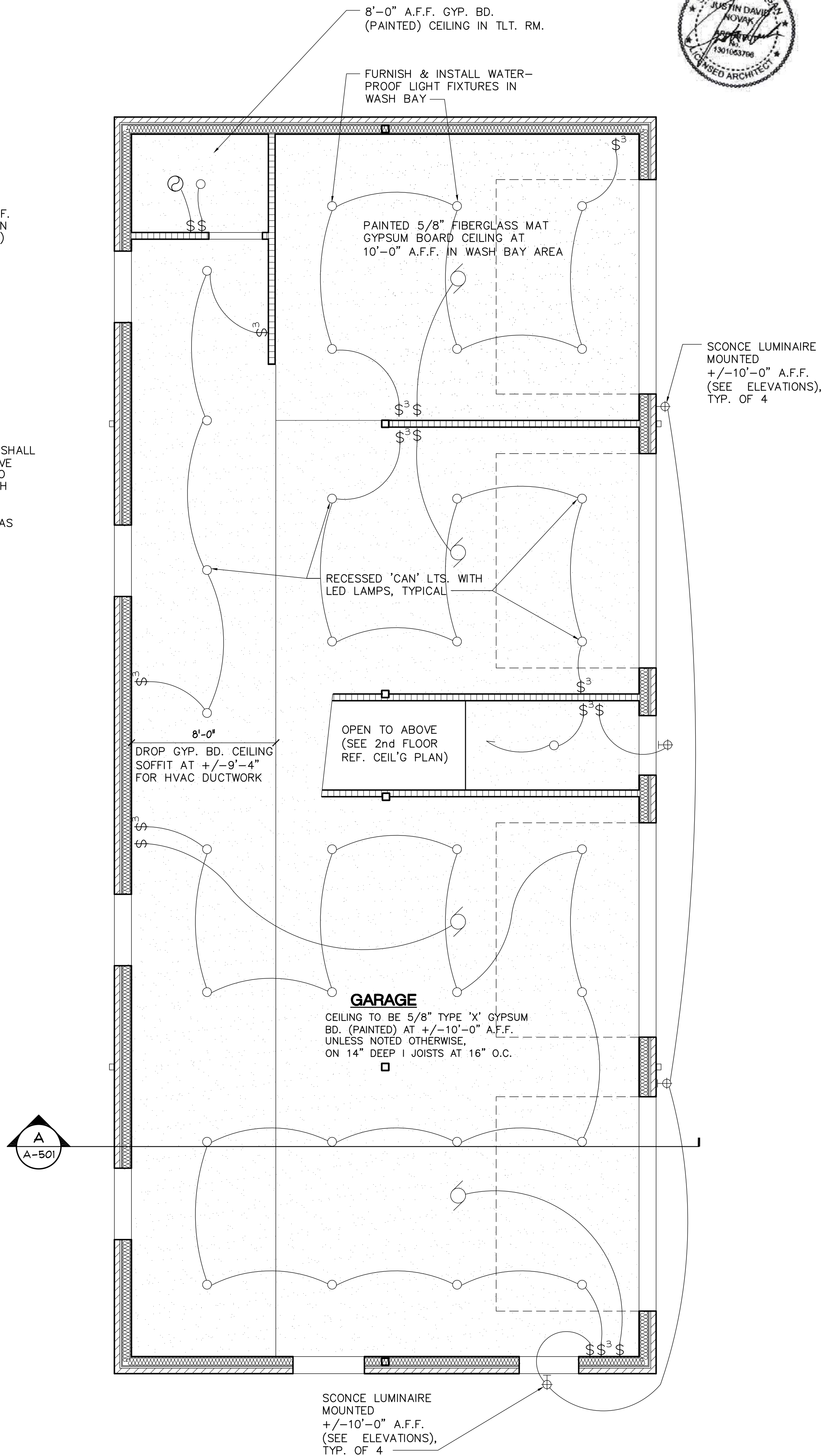
EET NUMBER:
A-201



2nd FLOOR PLAN
SCALE: 1/4"=1'-0"

SYMBOL LEGEND

- NEW GYPSUM BOARD CEILING (UNLESS NOTED OTHERWISE) AT +/-10'-0" A.F.F. IN GARAGE AREAS AND 9'-0" A.F.F. ON 2nd FLOOR (UNLESS NOTED OTHERWISE)
- 6" DIA. RECESSED 'CAN' LIGHT WITH LED LAMP. *INSTALL WATERPROOF FIXTURES IN WASH BAY
- WALL MOUNTED SCONCE LUMINAIRE
- MOTOR (CEILING MOUNTED GARAGE DOOR OPENER)
- EXHAUST FAN
- SINGLE POLE SWITCH, LIGHT SWITCHES SHALL BE 0-10V DIMMING CONTROLS AND HAVE OCCUPANCY/VACANCY SENSOR SET TO AUTOMATICALLY TURN ON AT 70% (WITH MANUAL ADJUSTMENT CONTROLS)
- DOUBLE POLE (3-WAY) LIGHT SWITCH AS NOTED FOR LIGHT SWITCHES ABOVE



GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"



REFLECTED CEILING PLANS

NEW GARAGE/OFFICE BUILDING FOR:
SPECIAL TREE
39165 CHASE ROAD
ROMULUS, MICHIGAN 48174

ISSUE	DATE
SCHEME	May 19, 2023
REVISED	May 23, 2023
REVISED	June 20, 2023
REVISED	July 18, 2023
PRELIM.	Dec. 18, 2023
REVIEW	Feb. 09, 2024

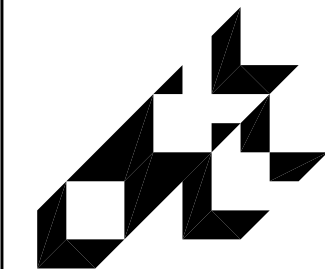
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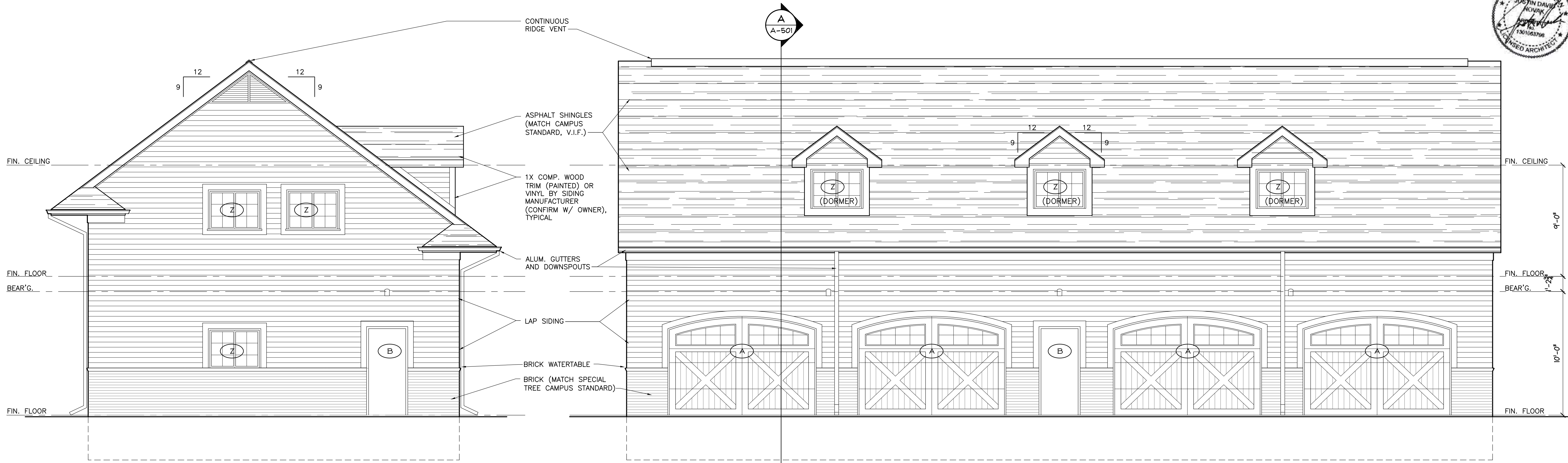
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JOB NO: 23-9271
SHEET NUMBER:

A-301

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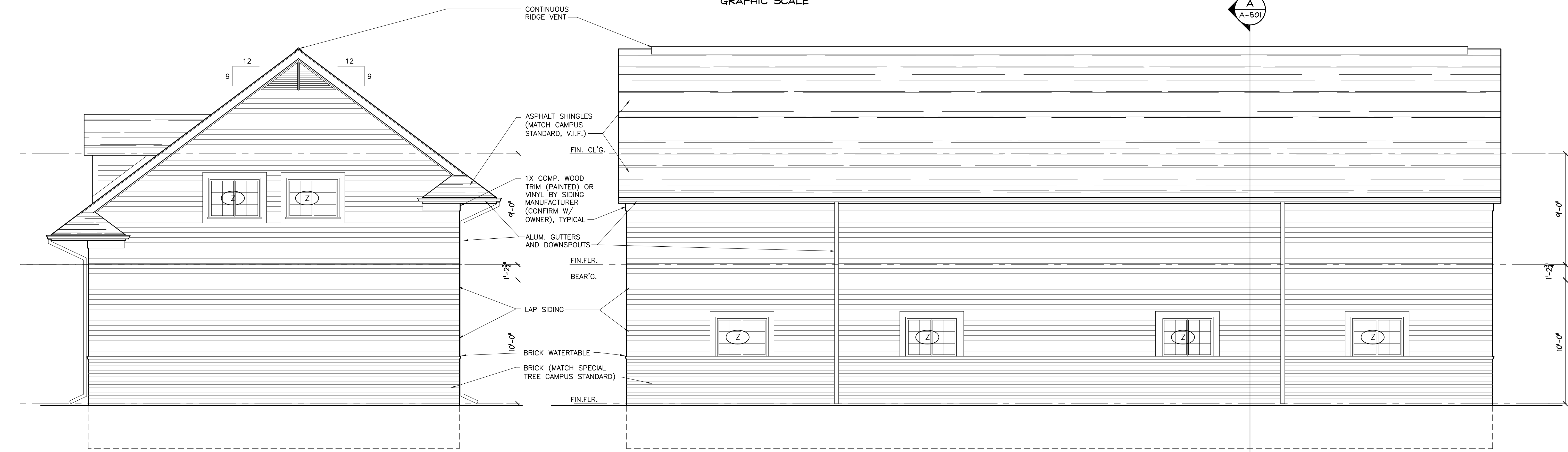




SOUTH ELEVATION
SCALE: 1/4"=1'-0"

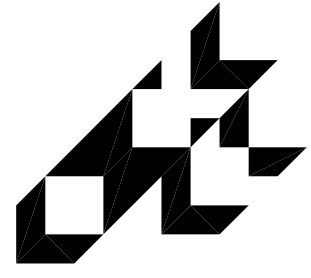
EAST ELEVATION
SCALE: 1/4"=1'-0"

GENERAL ROOF NOTE:
-PROVIDE HIGH TEMP. ICE & WATER SHIELD AT ALL EAVES & VALLEYS. ICE SHIELD AT EAVES SHALL EXTEND A MINIMUM OF 24" HORIZONTAL FROM INSIDE FACE OF EXTERIOR WALLS (SEE WALL SECTIONS)



NORTH ELEVATION
SCALE: 1/4"=1'-0"

WEST ELEVATION
SCALE: 1/4"=1'-0"



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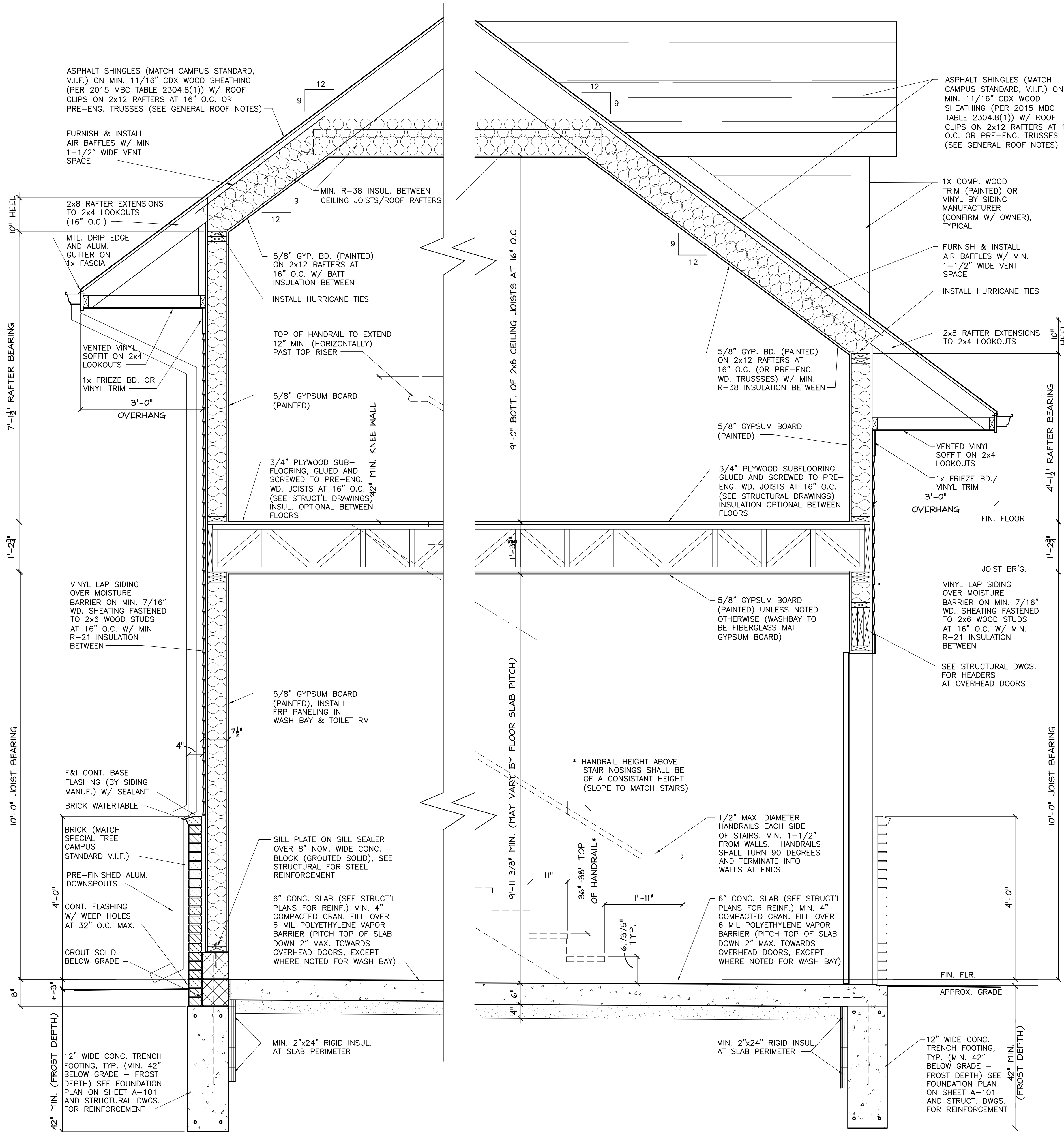
BUILDING ELEVATIONS

NEW GARAGE/OFFICE BUILDING FOR:
SPECIAL TREE
39165 CHASE ROAD
ROMULUS, MICHIGAN 48174

ISSUE	DATE
SCHEME	May 19, 2023
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RENDER	June 26, 2023
PRELIM.	Dec. 18, 2023
REVIEW	Feb. 09, 2024
REVISED	Feb. 18, 2024

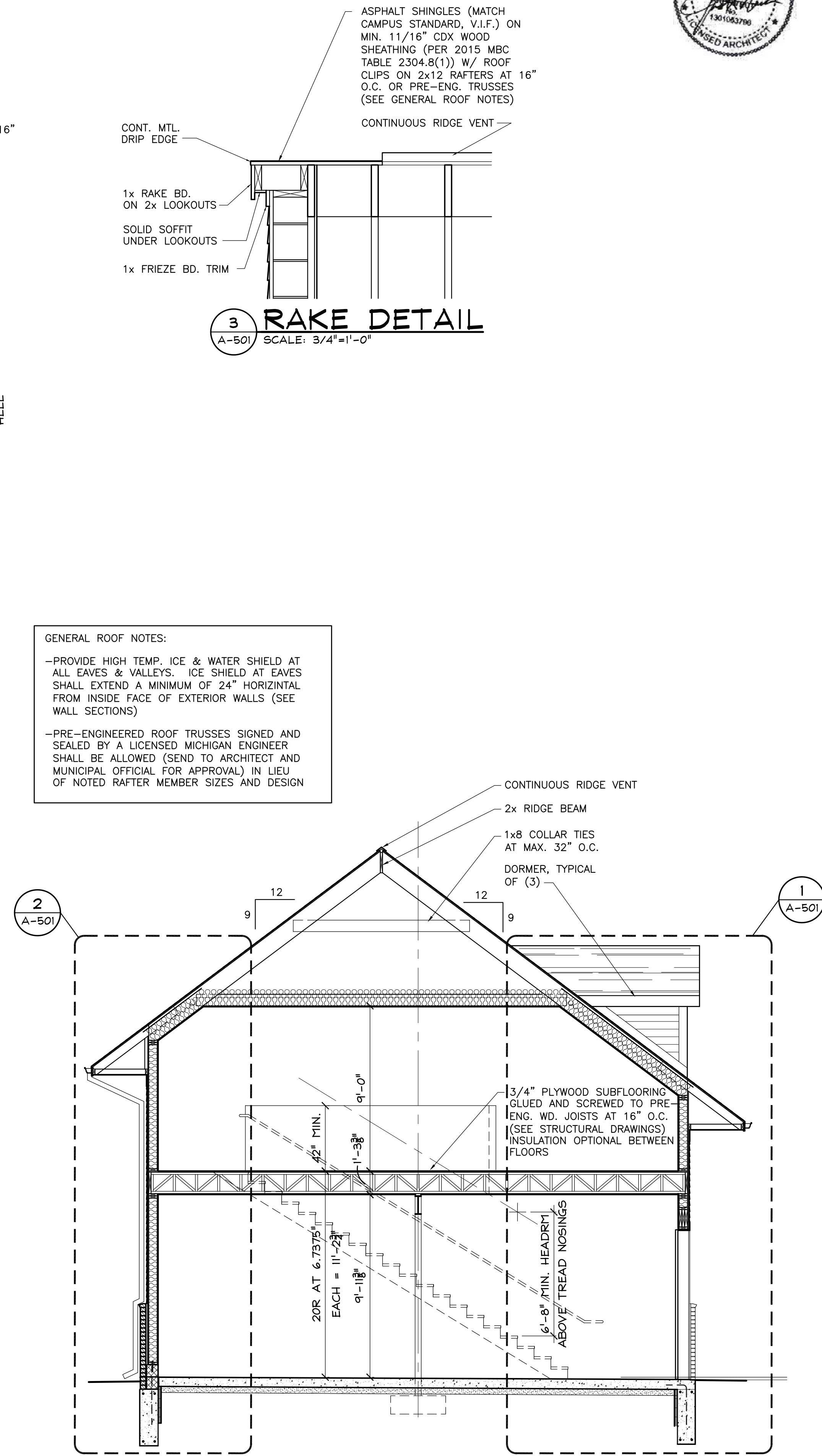
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2 WALL SECTION
A-501 SCALE: 3/4"=1'-0"

1 WALL SECTION
A-501 SCALE: 3/4"=1'-0"



A BUILDING SECTION
A-501 SCALE: 1/4"=1'-0"



BUILDING SECTIONS & DETAILS

NEW GARAGE/OFFICE BUILDING FOR:
SPECIAL TREE
39165 CHASE ROAD
ROMULUS, MICHIGAN 48174

ISSUE	DATE
SCHEME	May 19, 2023
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RENDER	June 26, 2023
PRELIM.	Dec. 18, 2023
REVIEW	Feb. 09, 2024
REVISED	Feb. 18, 2024

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