

EAST-WEST BUILDING SECTION

NOTE: FOR FOOTING SIZE AND DEPTH REFER TO SOIL ENGINEER AND STRUCTURAL DWG'S.

PROGRESSIVE ARCHITECTS, LTD.
5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607

A201 A501 1/8" = 1'-0"

ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

THIS DRAWING IS NOT TO BE SCALED.
USE FIGURED DIMENSIONS ONLY.

8			16		
7			15		
6			14		
5			13		
4			12		
3			11		
2	JUNE 19.23	PERMIT	10		
1	APR. 28.23	FOUNDATION PERMIT	9		
rev	date	issued for	rev	date	issued for

project:
MILL ST. APARTMENTS

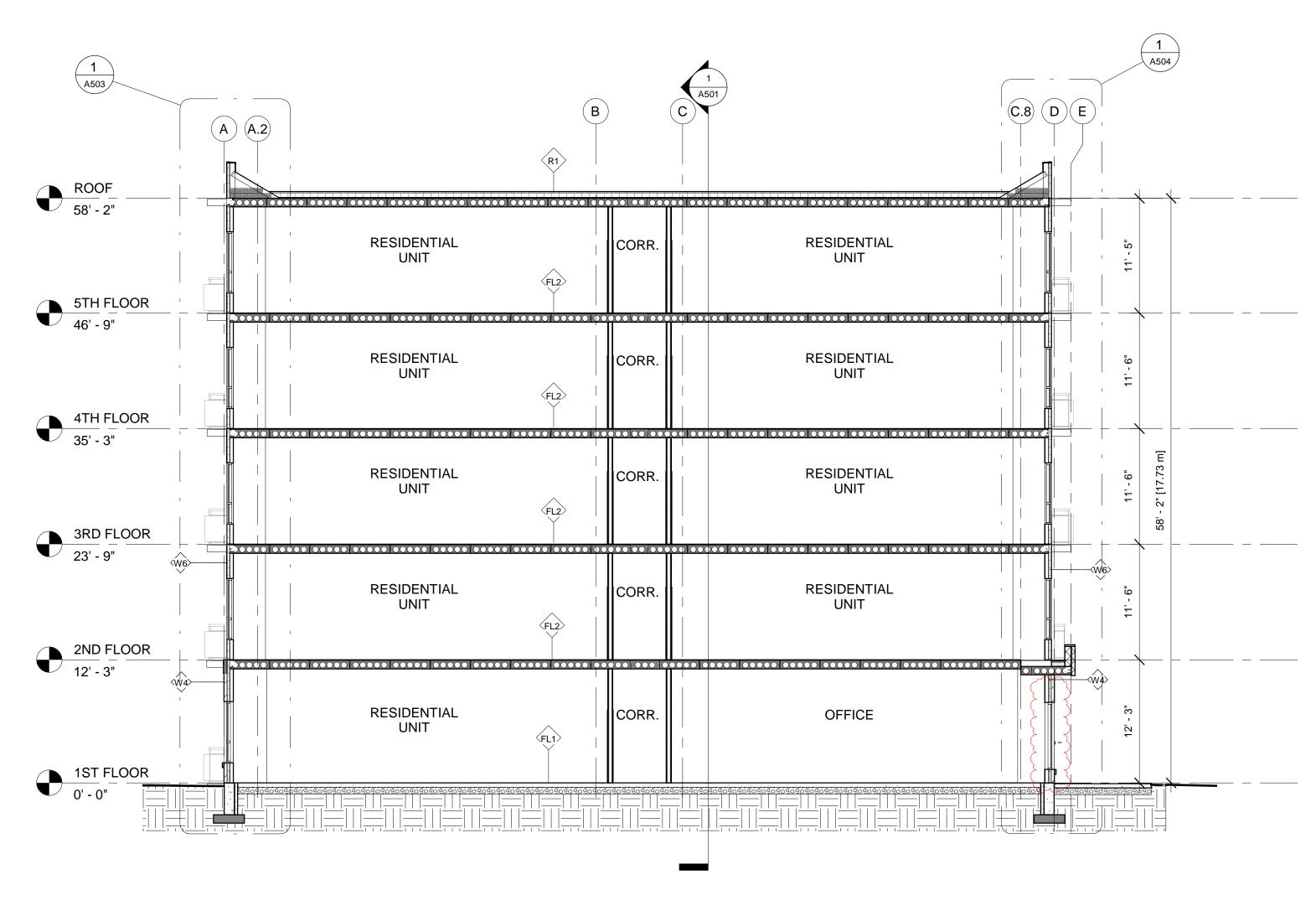
address: 6 MILL STREET., TILBURY ON

sheet name:

BUILDING SECTION

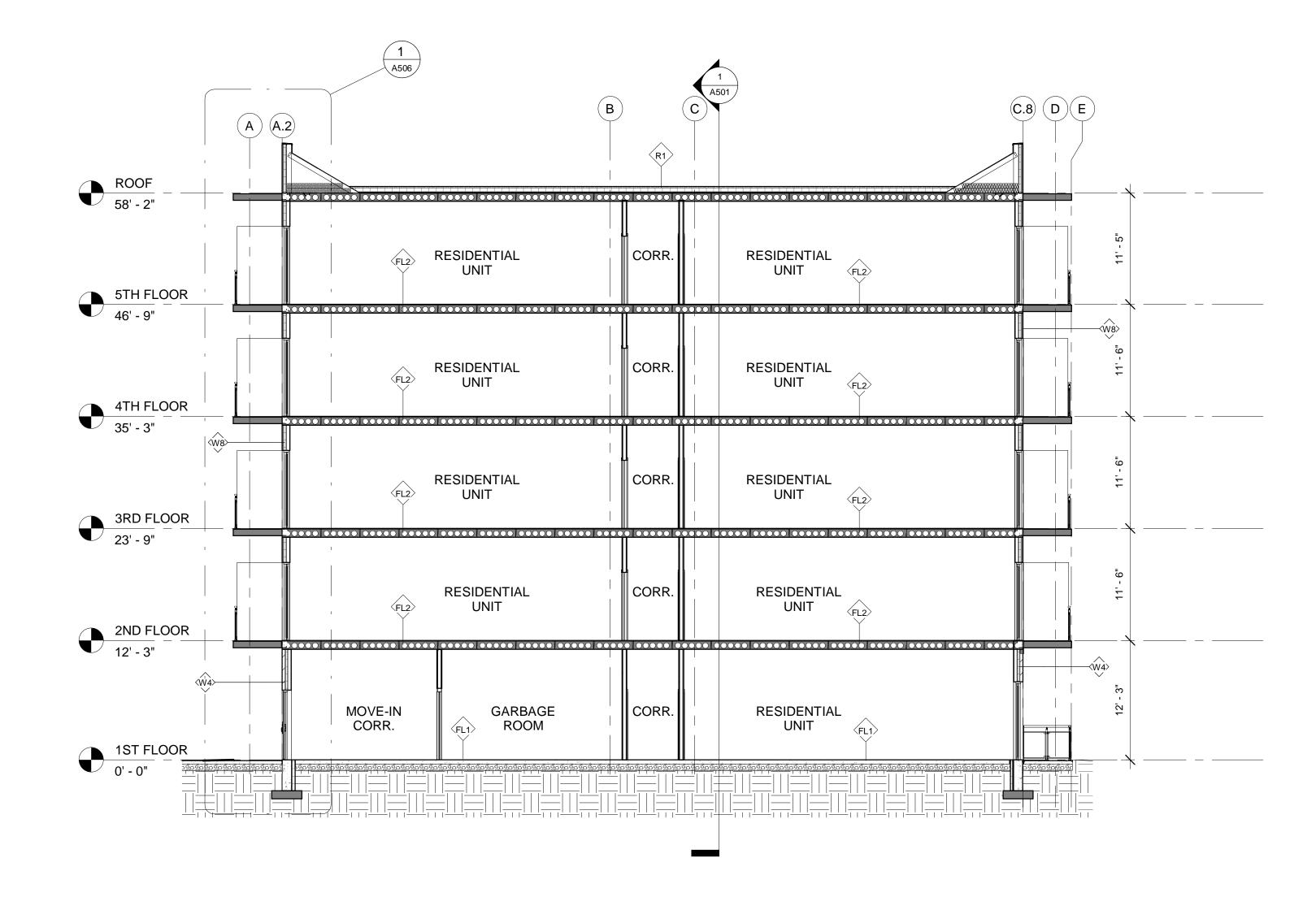
project no.:
22-0067

sheet no.:
A501



NORTH-SOUTH BUILDING SECTION BY G.L. 5

A201 A502 1/8" = 1'-0"



NORTH-SOUTH BUILDING SECTION BY G.L. 2

A201 A502 1/8" = 1'-0"

NOTE: FOR FOOTING SIZE AND DEPTH REFER TO SOIL ENGINEER AND STRUCTURAL DWG'S.

PROGRESSIVE ARCHITECTS, LTD.
5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607

ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

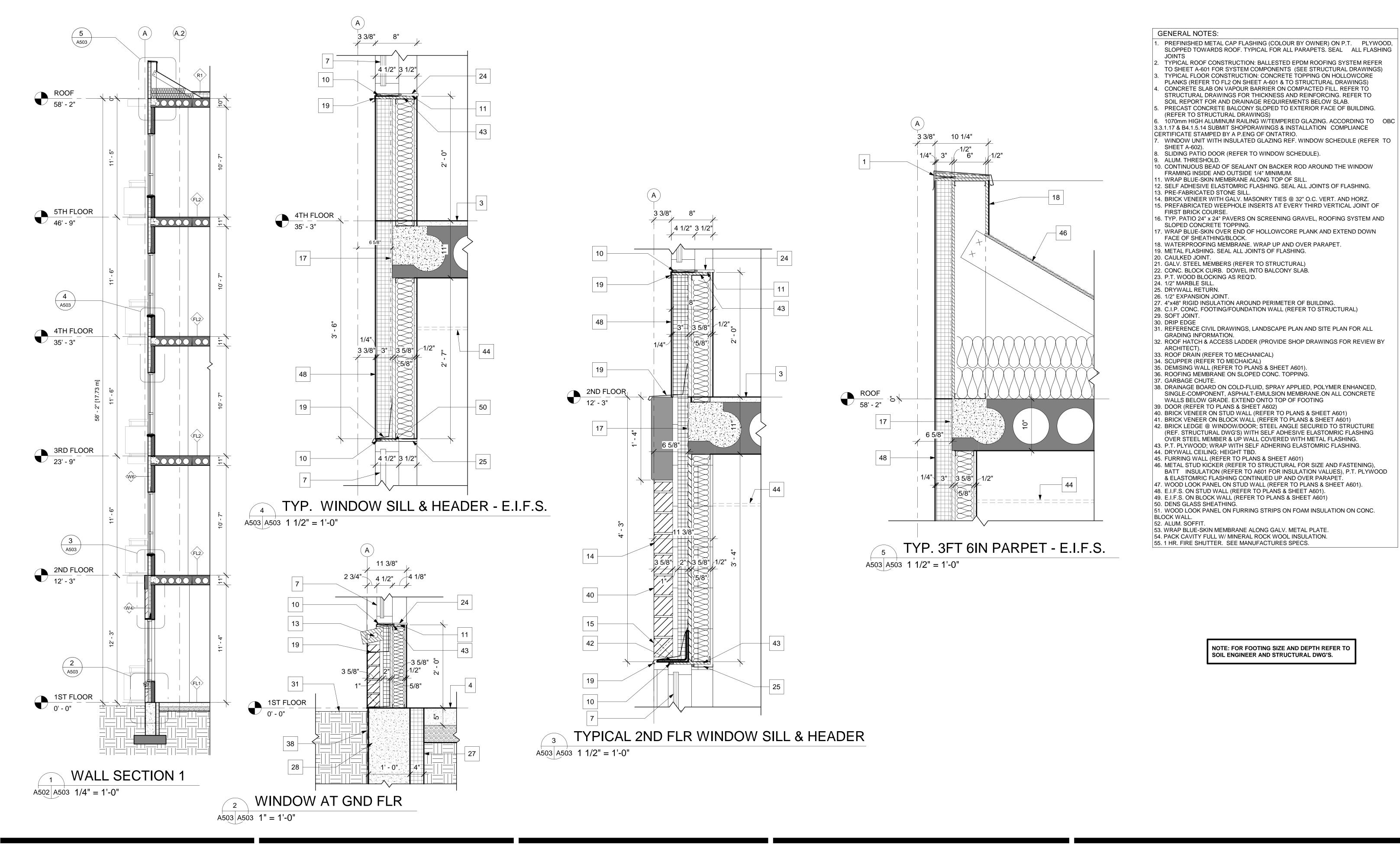
THIS DRAWING IS NOT TO BE SCALED.

USE FIGURED DIMENSIONS ONLY.



8			16		
7			15		
6			14		
5			13		
4			12		
3			11		
2	JUNE 24.24	SSI-012	10		
1	JUNE 19.23	PERMIT	9		
rev.	date	issued for	rev.	date	issued for

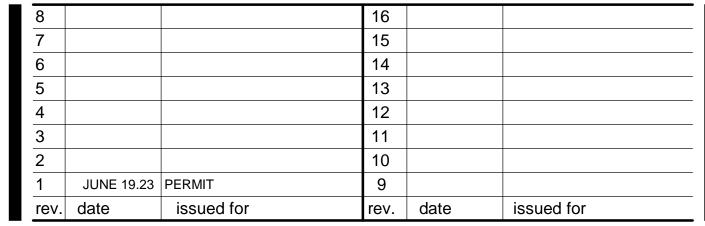
project: MILL ST. APARTMENTS	project no.: 22-0067
address: 6 MILL STREET., TILBURY ON	
sheet name: BUILDING SECTION	sheet no.: A502



NOTE: FOR FOOTING SIZE AND DEPTH REFER TO SOIL ENGINEER AND STRUCTURAL DWG'S.

PROGRESSIVE ARCHITECTS, LTD. 5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607

ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE **CONSULTANT**. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE **CONSULTANT**. THIS DRAWING IS **NOT** TO BE SCALED.



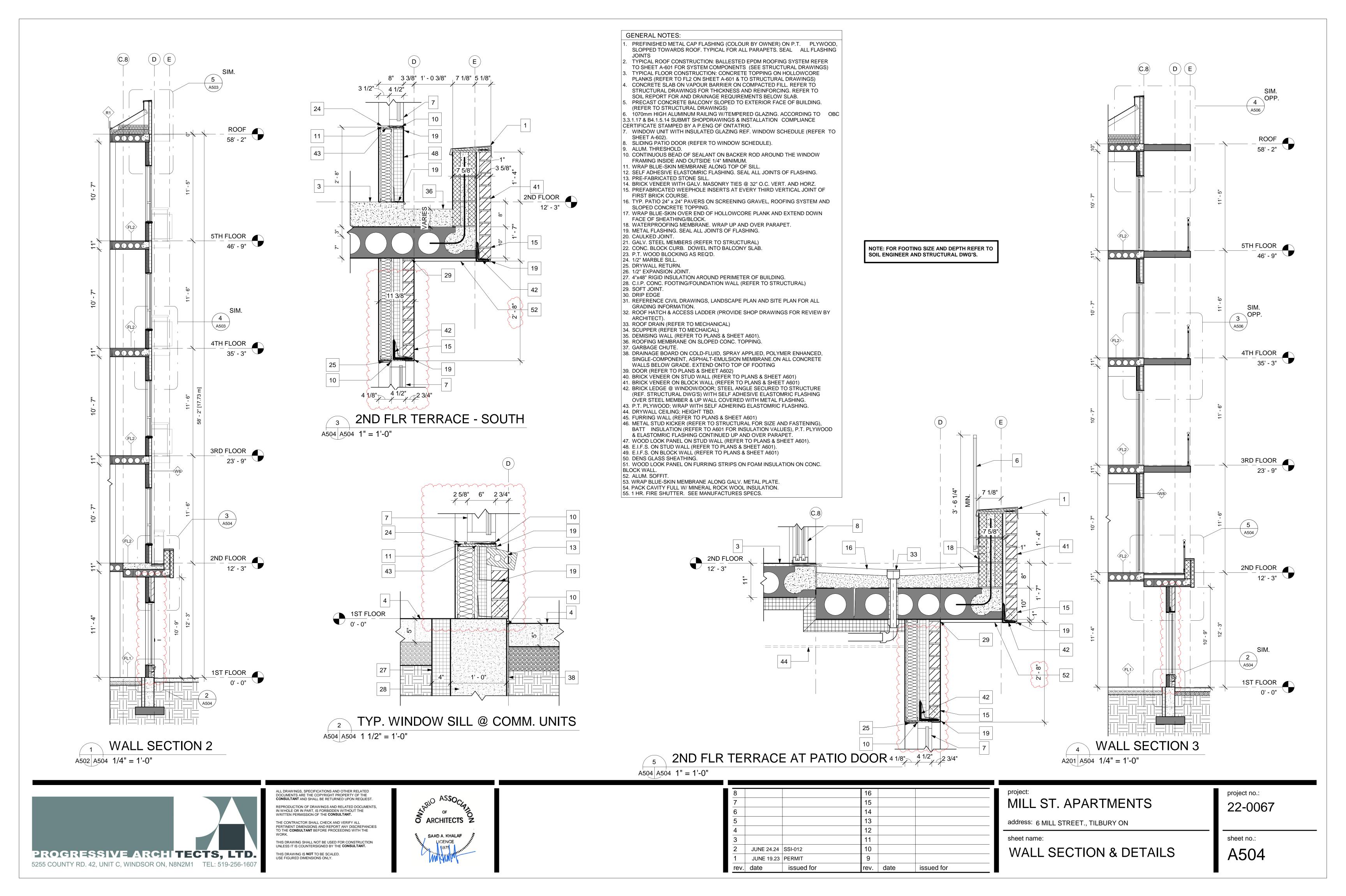
MILL ST. APARTMENTS

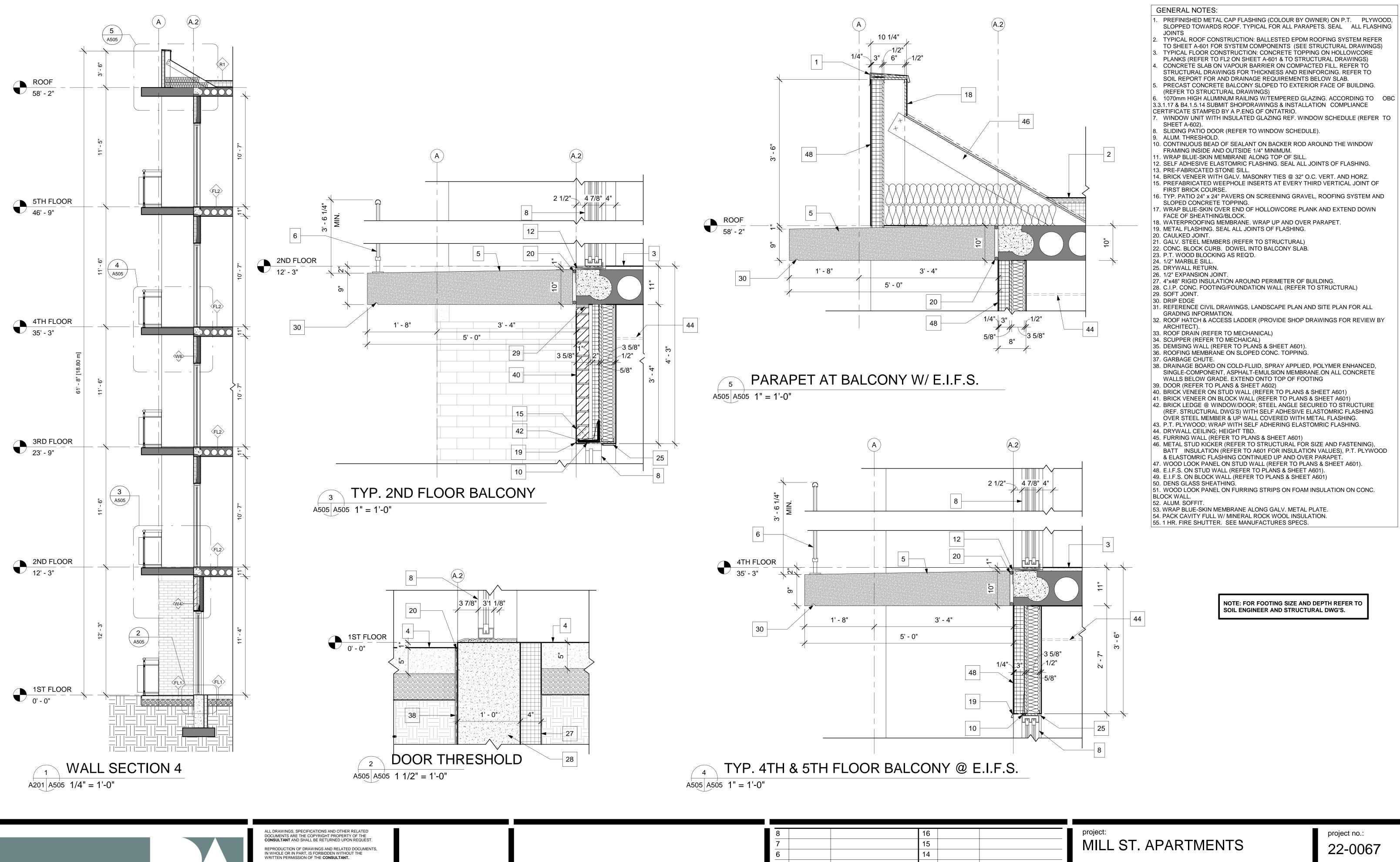
address: 6 MILL STREET., TILBURY ON

WALL SECTION & DETAILS

project no.: 22-0067

sheet no.:





PROGRESSIVE ARCHITECTS, LTD. 5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE **CONSULTANT** BEFORE PROCEEDING WITH THE THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE **CONSULTANT**. THIS DRAWING IS **NOT** TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

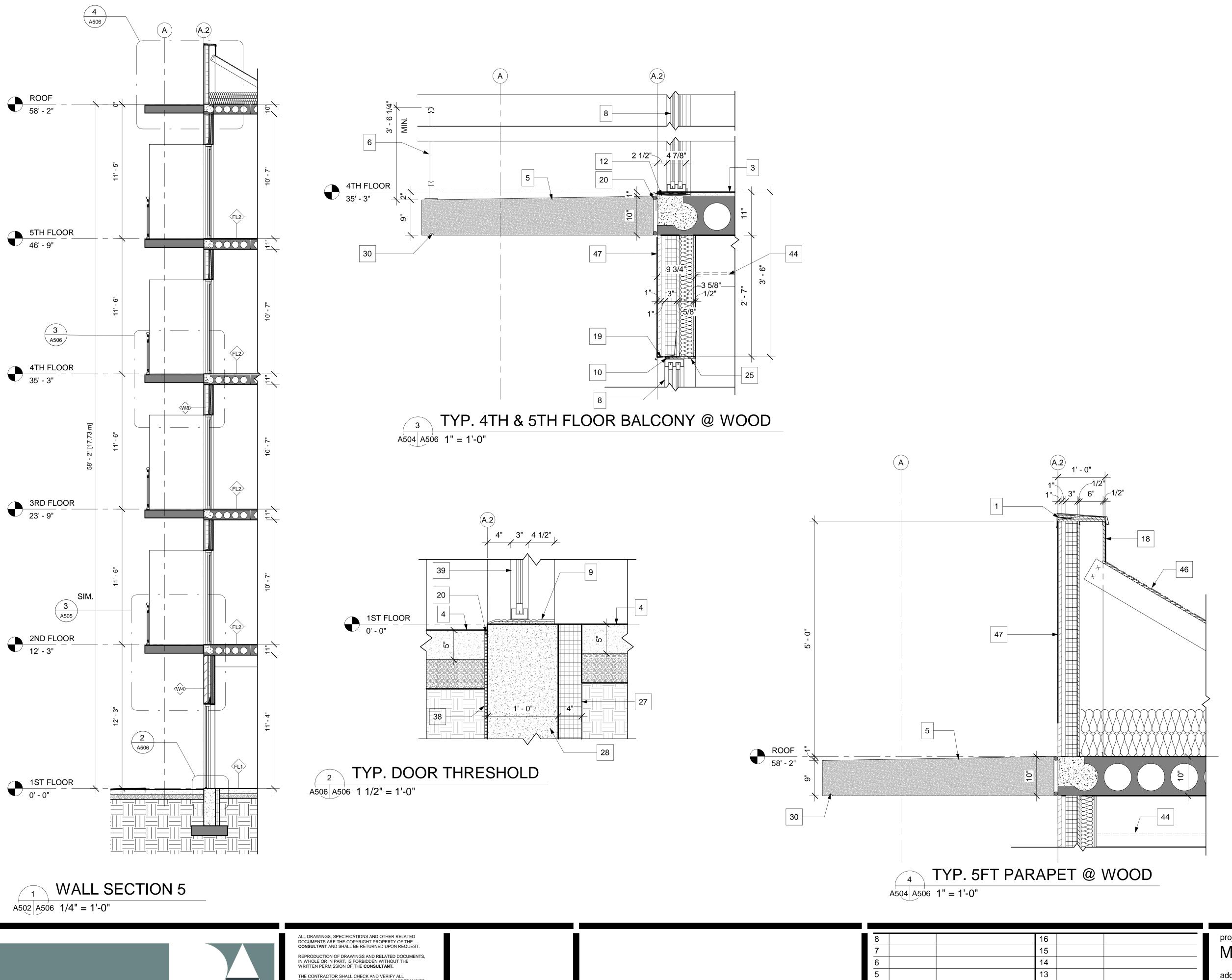
JUNE 19.23 PERMIT issued for issued for rev. date

address: 6 MILL STREET., TILBURY ON

WALL SECTION & DETAILS

project no.: 22-0067

sheet no.:



**GENERAL NOTES:** 

- PREFINISHED METAL CAP FLASHING (COLOUR BY OWNER) ON P.T. PLYWOOD, SLOPPED TOWARDS ROOF. TYPICAL FOR ALL PARAPETS. SEAL ALL FLASHING
- TYPICAL ROOF CONSTRUCTION: BALLESTED EPDM ROOFING SYSTEM REFER
- TO SHEET A-601 FOR SYSTEM COMPONENTS (SEE STRUCTURAL DRAWINGS)
- TYPICAL FLOOR CONSTRUCTION: CONCRETE TOPPING ON HOLLOWCORE
- PLANKS (REFER TO FL2 ON SHEET A-601 & TO STRUCTURAL DRAWINGS) CONCRETE SLAB ON VAPOUR BARRIER ON COMPACTED FILL. REFER TO
- STRUCTURAL DRAWINGS FOR THICKNESS AND REINFORCING. REFER TO
- SOIL REPORT FOR AND DRAINAGE REQUIREMENTS BELOW SLAB. PRECAST CONCRETE BALCONY SLOPED TO EXTERIOR FACE OF BUILDING. (REFER TO STRUCTURAL DRAWINGS)
- 1070mm HIGH ALUMINUM RAILING W/TEMPERED GLAZING. ACCORDING TO OBC 3.3.1.17 & B4.1.5.14 SUBMIT SHOPDRAWINGS & INSTALLATION COMPLIANCE
- CERTIFICATE STAMPED BY A P.ENG OF ONTATRIO. . WINDOW UNIT WITH INSULATED GLAZING REF. WINDOW SCHEDULE (REFER TO
- SLIDING PATIO DOOR (REFER TO WINDOW SCHEDULE).
- 9. ALUM. THRESHOLD.
- 10. CONTINUOUS BEAD OF SEALANT ON BACKER ROD AROUND THE WINDOW FRAMING INSIDE AND OUTSIDE 1/4" MINIMUM.
- 11. WRAP BLUE-SKIN MEMBRANE ALONG TOP OF SILL.
- 12. SELF ADHESIVE ELASTOMRIC FLASHING. SEAL ALL JOINTS OF FLASHING. 13. PRE-FABRICATED STONE SILL.
- 14. BRICK VENEER WITH GALV. MASONRY TIES @ 32" O.C. VERT. AND HORZ.
- 15. PREFABRICATED WEEPHOLE INSERTS AT EVERY THIRD VERTICAL JOINT OF
- FIRST BRICK COURSE. 16. TYP. PATIO 24" x 24" PAVERS ON SCREENING GRAVEL, ROOFING SYSTEM AND
- SLOPED CONCRETE TOPPING. 17. WRAP BLUE-SKIN OVER END OF HOLLOWCORE PLANK AND EXTEND DOWN
- FACE OF SHEATHING/BLOCK.
- 18. WATERPROOFING MEMBRANE. WRAP UP AND OVER PARAPET.
- 19. METAL FLASHING. SEAL ALL JOINTS OF FLASHING.
- 20. CAULKED JOINT.
- 21. GALV. STEEL MEMBERS (REFER TO STRUCTURAL)
- 22. CONC. BLOCK CURB. DOWEL INTO BALCONY SLAB.
- 23. P.T. WOOD BLOCKING AS REQ'D. 24. 1/2" MARBLE SILL.
- 25. DRYWALL RETURN.
- 26. 1/2" EXPANSION JOINT.
- 27. 4"x48" RIGID INSULATION AROUND PERIMETER OF BUILDING. 28. C.I.P. CONC. FOOTING/FOUNDATION WALL (REFER TO STRUCTURAL)
- 29. SOFT JOINT. 30. DRIP EDGE
- 31. REFERENCE CIVIL DRAWINGS, LANDSCAPE PLAN AND SITE PLAN FOR ALL
- GRADING INFORMATION. 32. ROOF HATCH & ACCESS LADDER (PROVIDE SHOP DRAWINGS FOR REVIEW BY
- 33. ROOF DRAIN (REFER TO MECHANICAL)
- 34. SCUPPER (REFER TO MECHAICAL) 35. DEMISING WALL (REFER TO PLANS & SHEET A601).
- 36. ROOFING MEMBRANE ON SLOPED CONC. TOPPING.
- 37. GARBAGE CHUTE.
- 38. DRAINAGE BOARD ON COLD-FLUID, SPRAY APPLIED, POLYMER ENHANCED, SINGLE-COMPONENT, ASPHALT-EMULSION MEMBRANE.ON ALL CONCRETE
- WALLS BELOW GRADE. EXTEND ONTO TOP OF FOOTING
- 39. DOOR (REFER TO PLANS & SHEET A602) 40. BRICK VENEER ON STUD WALL (REFER TO PLANS & SHEET A601)
- 41. BRICK VENEER ON BLOCK WALL (REFER TO PLANS & SHEET A601) 42. BRICK LEDGE @ WINDOW/DOOR; STEEL ANGLE SECURED TO STRUCTURE
- (REF. STRUCTURAL DWG'S) WITH SELF ADHESIVE ELASTOMRIC FLASHING OVER STEEL MEMBER & UP WALL COVERED WITH METAL FLASHING.
- 43. P.T. PLYWOOD; WRAP WITH SELF ADHERING ELASTOMRIC FLASHING. 44. DRYWALL CEILING; HEIGHT TBD.
- 45. FURRING WALL (REFER TO PLANS & SHEET A601)
- 46. METAL STUD KICKER (REFER TO STRUCTURAL FOR SIZE AND FASTENING),
- BATT INSULATION (REFER TO A601 FOR INSULATION VALUES), P.T. PLYWOOD & ELASTOMRIC FLASHING CONTINUED UP AND OVER PARAPET.
- 47. WOOD LOOK PANEL ON STUD WALL (REFER TO PLANS & SHEET A601)
- 48. E.I.F.S. ON STUD WALL (REFER TO PLANS & SHEET A601) 49. E.I.F.S. ON BLOCK WALL (REFER TO PLANS & SHEET A601)
- 50. DENS GLASS SHEATHING.
- 51. WOOD LOOK PANEL ON FURRING STRIPS ON FOAM INSULATION ON CONC. BLOCK WALL.
- 52. ALUM. SOFFIT
- 53. WRAP BLUE-SKIN MEMBRANE ALONG GALV. METAL PLATE. 54. PACK CAVITY FULL W/ MINERAL ROCK WOOL INSULATION.
- 55. 1 HR. FIRE SHUTTER. SEE MANUFACTURES SPECS.

NOTE: FOR FOOTING SIZE AND DEPTH REFER TO SOIL ENGINEER AND STRUCTURAL DWG'S.

PROGRESSIVE ARCHITECTS, LTD. 5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607

PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE **CONSULTANT**. THIS DRAWING IS **NOT** TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

JUNE 19.23 PERMIT issued for issued for rev. date

MILL ST. APARTMENTS

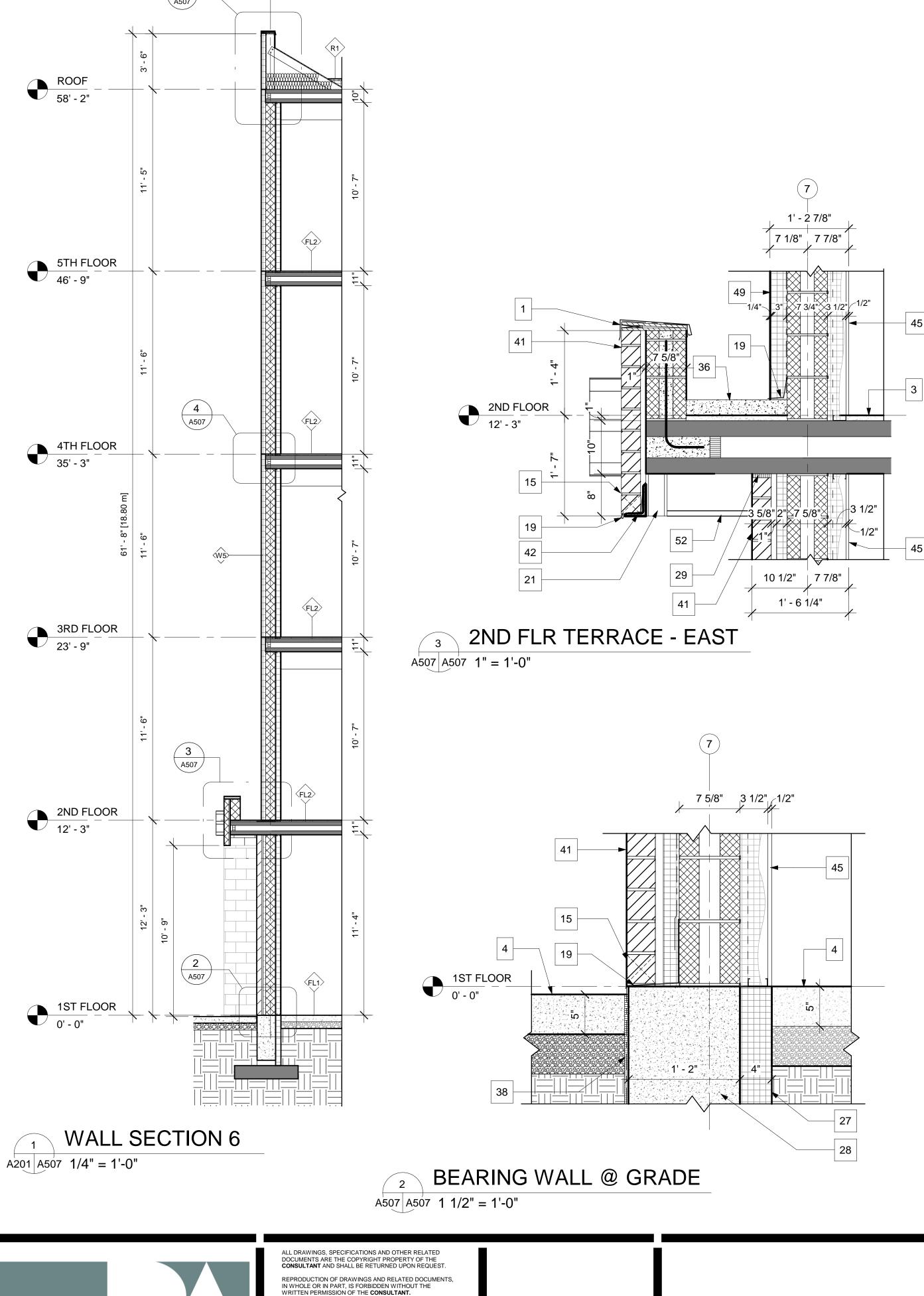
address: 6 MILL STREET., TILBURY ON

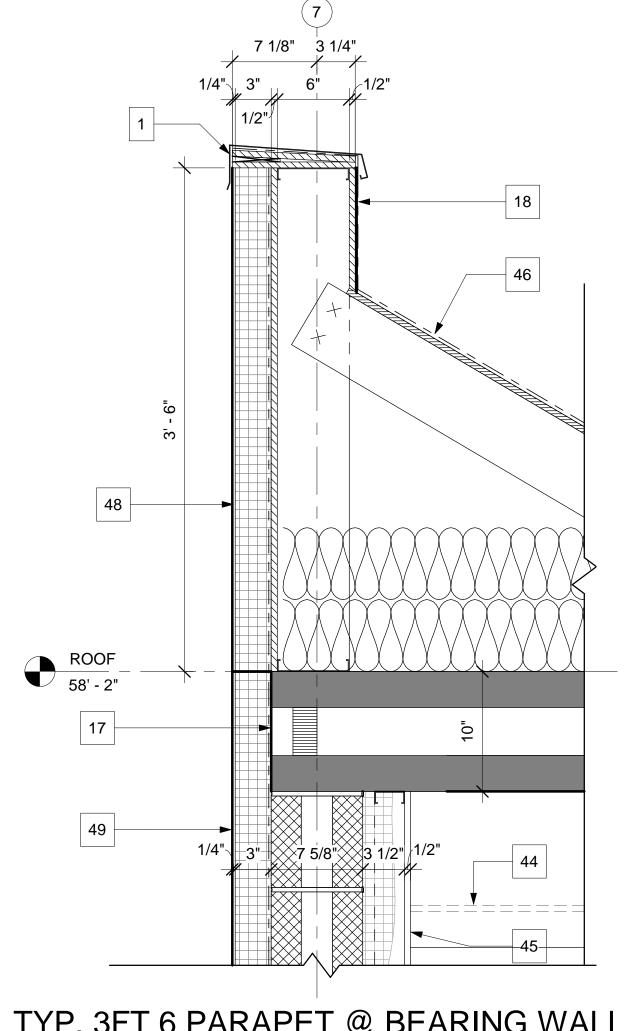
WALL SECTION & DETAILS

project no.:

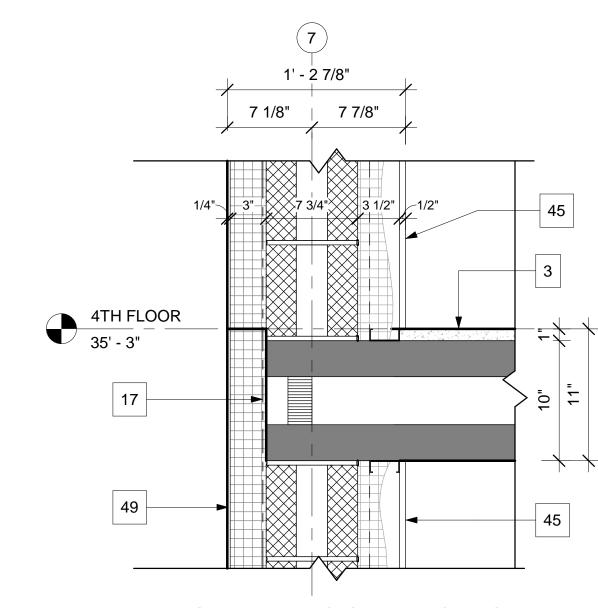
22-0067

sheet no.:





TYP. 3FT 6 PARAPET @ BEARING WALL
A507 A507 1 1/2" = 1'-0"



TYP. BEARING WALL CONNECTION

A507 A507 1 1/2" = 1'-0"

GENERAL NOTES:

- 1. PREFINISHED METAL CAP FLASHING (COLOUR BY OWNER) ON P.T. PLYWOOD, SLOPPED TOWARDS ROOF. TYPICAL FOR ALL PARAPETS. SEAL ALL FLASHING
- 2. TYPICAL ROOF CONSTRUCTION: BALLESTED EPDM ROOFING SYSTEM REFER
- TO SHEET A-601 FOR SYSTEM COMPONENTS (SEE STRUCTURAL DRAWINGS)
- 3. TYPICAL FLOOR CONSTRUCTION: CONCRETE TOPPING ON HOLLOWCORE PLANKS (REFER TO FL2 ON SHEET A-601 & TO STRUCTURAL DRAWINGS)
- 4. CONCRETE SLAB ON VAPOUR BARRIER ON COMPACTED FILL. REFER TO
- STRUCTURAL DRAWINGS FOR THICKNESS AND REINFORCING. REFER TO SOIL REPORT FOR AND DRAINAGE REQUIREMENTS BELOW SLAB.
- (REFER TO STRUCTURAL DRAWINGS)
  6. 1070mm HIGH ALUMINUM RAILING W/TEMPERED GLAZING. ACCORDING TO OBC

PRECAST CONCRETE BALCONY SLOPED TO EXTERIOR FACE OF BUILDING.

- 3.3.1.17 & B4.1.5.14 SUBMIT SHOPDRAWINGS & INSTALLATION COMPLIANCE CERTIFICATE STAMPED BY A P.ENG OF ONTATRIO.
- 7. WINDOW UNIT WITH INSULATED GLAZING REF. WINDOW SCHEDULE (REFER TO
- SHEET A-602).

  8. SLIDING PATIO DOOR (REFER TO WINDOW SCHEDULE).
- 9. ALUM. THRESHOLD.
- 10. CONTINUOUS BEAD OF SEALANT ON BACKER ROD AROUND THE WINDOW FRAMING INSIDE AND OUTSIDE 1/4" MINIMUM.
- 11. WRAP BLUE-SKIN MEMBRANE ALONG TOP OF SILL.12. SELF ADHESIVE ELASTOMRIC FLASHING. SEAL ALL JOINTS OF FLASHING.
- 13. PRE-FABRICATED STONE SILL.
- 14. BRICK VENEER WITH GALV. MASONRY TIES @ 32" O.C. VERT. AND HORZ.
- 15. PREFABRICATED WEEPHOLE INSERTS AT EVERY THIRD VERTICAL JOINT OF
- FIRST BRICK COURSE.

  16. TYP. PATIO 24" x 24" PAVERS ON SCREENING GRAVEL, ROOFING SYSTEM AND
- SLOPED CONCRETE TOPPING.

  17. WRAP BLUE-SKIN OVER END OF HOLLOWCORE PLANK AND EXTEND DOWN
- FACE OF SHEATHING/BLOCK.
- 18. WATERPROOFING MEMBRANE. WRAP UP AND OVER PARAPET.
- 19. METAL FLASHING. SEAL ALL JOINTS OF FLASHING. 20. CAULKED JOINT.
- 21. GALV. STEEL MEMBERS (REFER TO STRUCTURAL)
- 22. CONC. BLOCK CURB. DOWEL INTO BALCONY SLAB. 23. P.T. WOOD BLOCKING AS REQ'D.
- 24. 1/2" MARBLE SILL.
- 25. DRYWALL RETURN. 26. 1/2" EXPANSION JOINT.
- 27. 4"x48" RIGID INSULATION AROUND PERIMETER OF BUILDING.
- 28. C.I.P. CONC. FOOTING/FOUNDATION WALL (REFER TO STRUCTURAL) 29. SOFT JOINT.
- 30. DRIP EDGE
- 31. REFERENCE CIVIL DRAWINGS, LANDSCAPE PLAN AND SITE PLAN FOR ALL GRADING INFORMATION.
- 32. ROOF HATCH & ACCESS LADDER (PROVIDE SHOP DRAWINGS FOR REVIEW BY ARCHITECT)
- 33. ROOF DRAIN (REFER TO MECHANICAL)
- 34. SCUPPER (REFER TO MECHAICAL)
  35. DEMISING WALL (REFER TO PLANS & SHEET A601).
- 36. ROOFING MEMBRANE ON SLOPED CONC. TOPPING.
- 37. GARBAGE CHUTE.38. DRAINAGE BOARD ON COLD-FLUID, SPRAY APPLIED, POLYMER ENHANCED, SINGLE-COMPONENT, ASPHALT-EMULSION MEMBRANE.ON ALL CONCRETE
- WALLS BELOW GRADE. EXTEND ONTO TOP OF FOOTING
- 39. DOOR (REFER TO PLANS & SHEET A602)
  40. BRICK VENEER ON STUD WALL (REFER TO PLANS & SHEET A601)
- 41. BRICK VENEER ON BLOCK WALL (REFER TO PLANS & SHEET A601)
  42. BRICK LEDGE @ WINDOW/DOOR; STEEL ANGLE SECURED TO STRUCTURE
  (REF. STRUCTURAL DWG'S) WITH SELF ADHESIVE ELASTOMRIC FLASHING
- OVER STEEL MEMBER & UP WALL COVERED WITH METAL FLASHING. 43. P.T. PLYWOOD; WRAP WITH SELF ADHERING ELASTOMRIC FLASHING.
- 43. P.T. PLYWOOD; WRAP WITH SELF ADHERING ELASTOMRIC FLASHI 44. DRYWALL CEILING; HEIGHT TBD.
- 45. FURRING WALL (REFER TO PLANS & SHEET A601)
- 46. METAL STUD KICKER (REFER TO STRUCTURAL FOR SIZE AND FASTENING),
- BATT INSULATION (REFER TO A601 FOR INSULATION VALUES), P.T. PLYWOOD & ELASTOMRIC FLASHING CONTINUED UP AND OVER PARAPET.
- 47. WOOD LOOK PANEL ON STUD WALL (REFER TO PLANS & SHEET A601).
- 48. E.I.F.S. ON STUD WALL (REFER TO PLANS & SHEET A601). 49. E.I.F.S. ON BLOCK WALL (REFER TO PLANS & SHEET A601)
- 50. DENS GLASS SHEATHING.
- 51. WOOD LOOK PANEL ON FURRING STRIPS ON FOAM INSULATION ON CONC. BLOCK WALL.
- 52. ALUM. SOFFIT. 53. WRAP BLUE-SKIN MEMBRANE ALONG GALV. METAL PLATE
- 54. PACK CAVITY FULL W/ MINERAL ROCK WOOL INSULATION.
- 55. 1 HR. FIRE SHUTTER. SEE MANUFACTURES SPECS.

NOTE: FOR FOOTING SIZE AND DEPTH REFER TO SOIL ENGINEER AND STRUCTURAL DWG'S.

PROGRESSIVE ARCHITECTS, LTD.

5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607

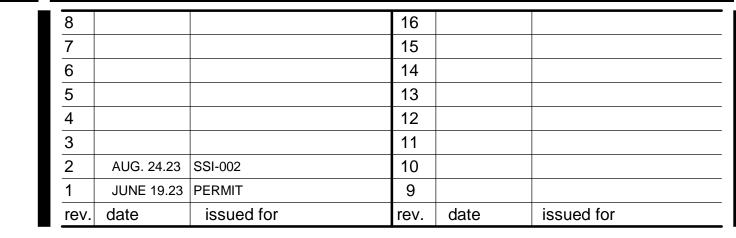
ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

THIS DRAWING IS NOT TO BE SCALED.
USE FIGURED DIMENSIONS ONLY.



MILL ST. APARTMENTS

address: 6 MILL STREET., TILBURY ON

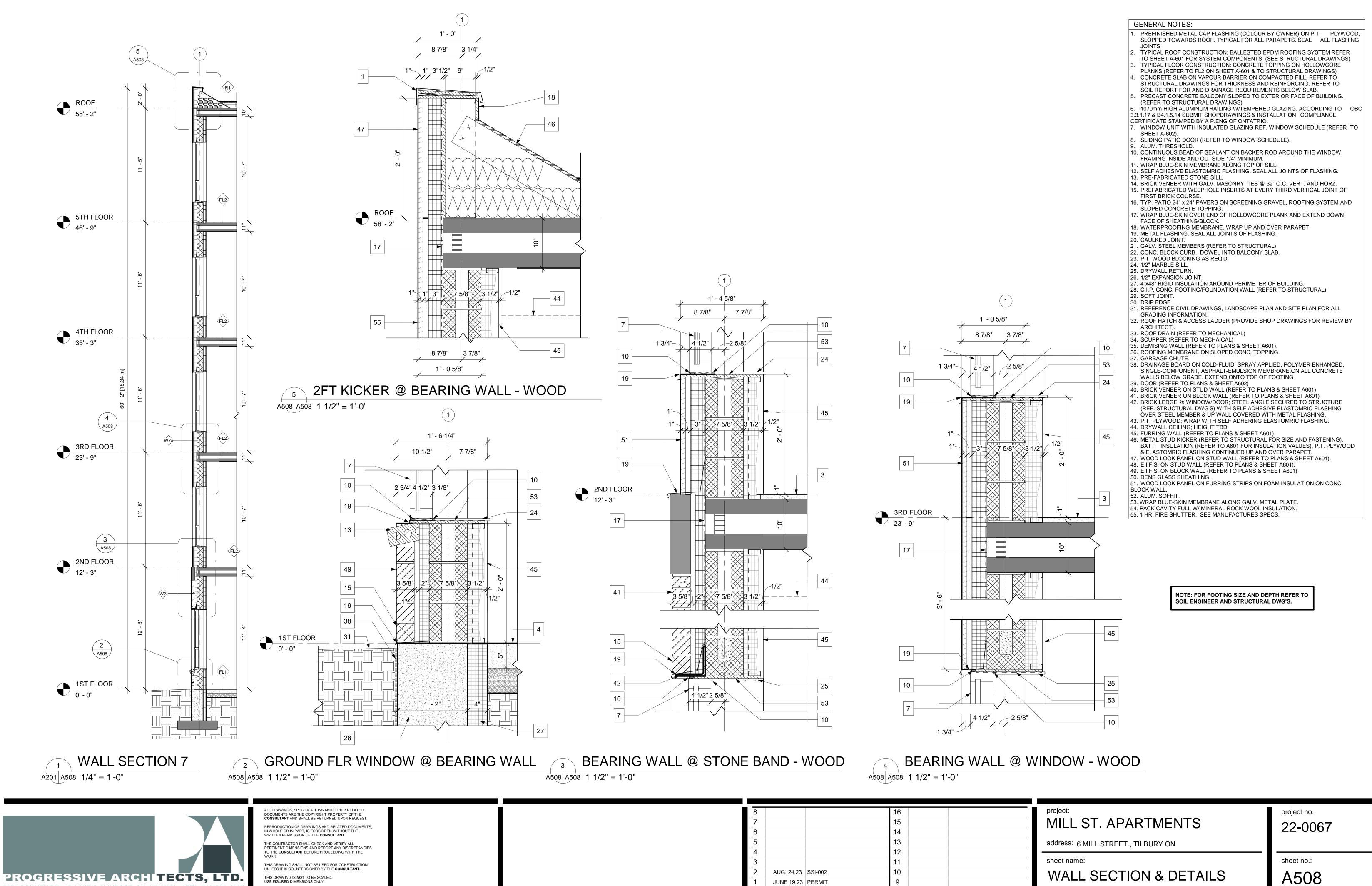
address. 6 MILL STREET., TILBURY ON

wall section & Details

project no.:

22-0067

sheet no.:

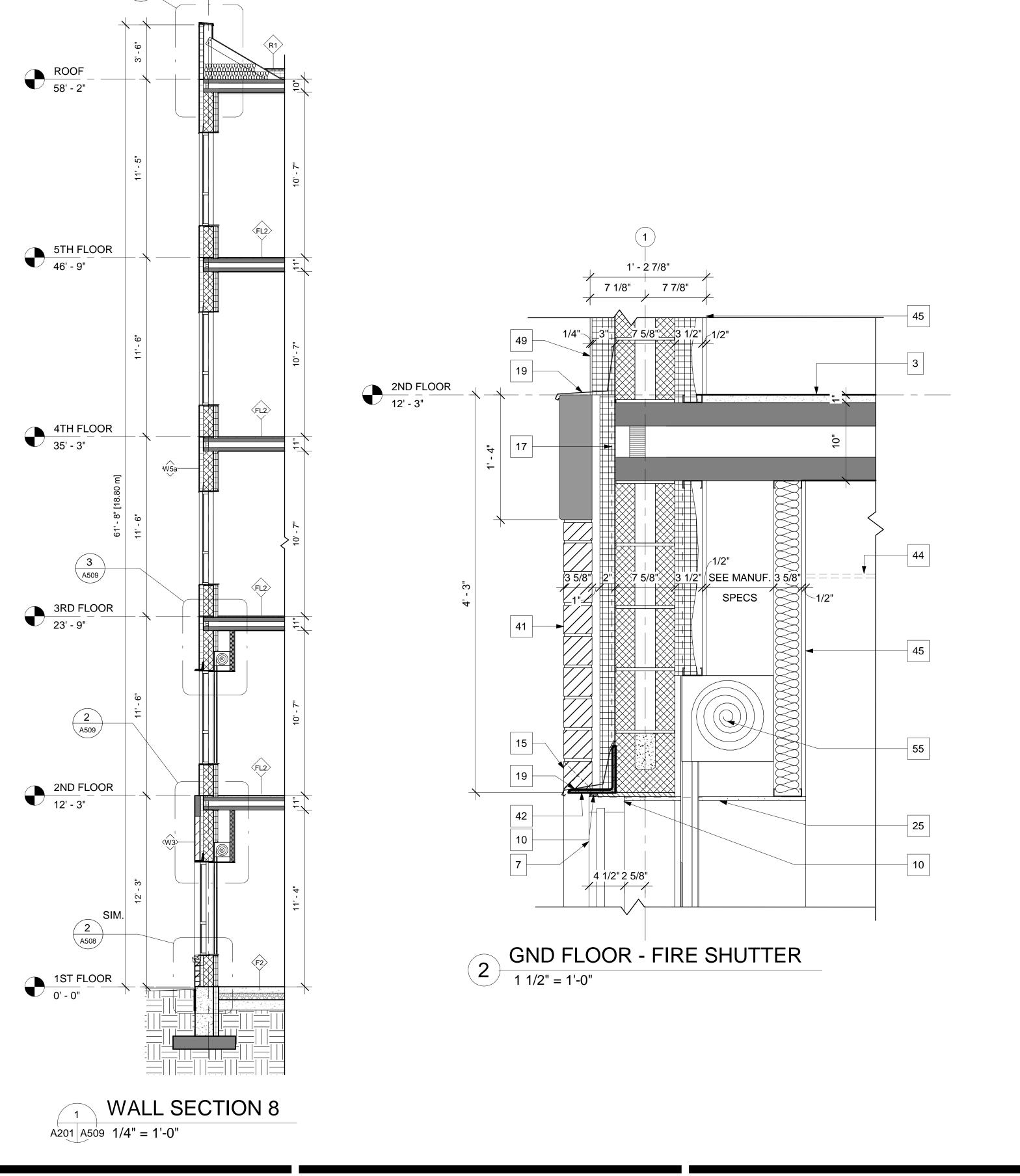


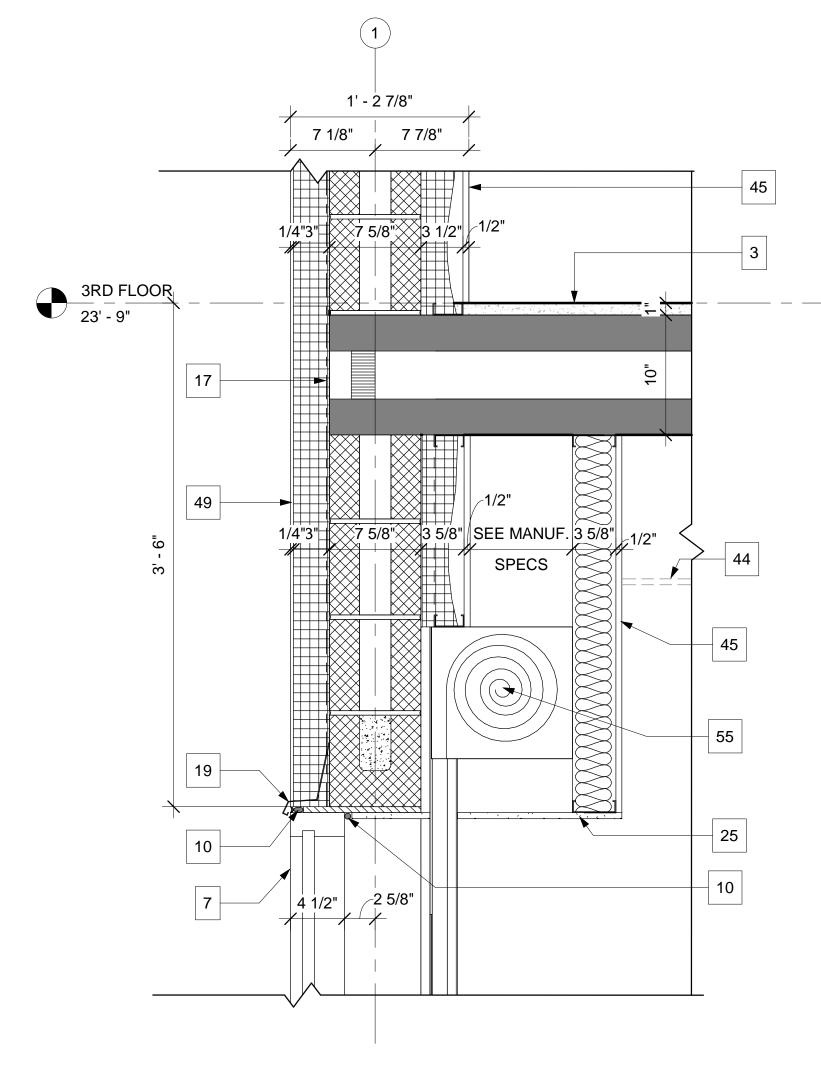
issued for

rev. date

issued for

5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607





GENERAL NOTES: PREFINISHED METAL CAP FLASHING (COLOUR BY OWNER) ON P.T. PLYWOOD, SLOPPED TOWARDS ROOF. TYPICAL FOR ALL PARAPETS. SEAL ALL FLASHING TYPICAL ROOF CONSTRUCTION: BALLESTED EPDM ROOFING SYSTEM REFER TO SHEET A-601 FOR SYSTEM COMPONENTS (SEE STRUCTURAL DRAWINGS) TYPICAL FLOOR CONSTRUCTION: CONCRETE TOPPING ON HOLLOWCORE PLANKS (REFER TO FL2 ON SHEET A-601 & TO STRUCTURAL DRAWINGS) CONCRETE SLAB ON VAPOUR BARRIER ON COMPACTED FILL. REFER TO STRUCTURAL DRAWINGS FOR THICKNESS AND REINFORCING. REFER TO SOIL REPORT FOR AND DRAINAGE REQUIREMENTS BELOW SLAB. PRECAST CONCRETE BALCONY SLOPED TO EXTERIOR FACE OF BUILDING. (REFER TO STRUCTURAL DRAWINGS) 1070mm HIGH ALUMINUM RAILING W/TEMPERED GLAZING. ACCORDING TO OBC 3.3.1.17 & B4.1.5.14 SUBMIT SHOPDRAWINGS & INSTALLATION COMPLIANCE CERTIFICATE STAMPED BY A P.ENG OF ONTATRIO. 7. WINDOW UNIT WITH INSULATED GLAZING REF. WINDOW SCHEDULE (REFER TO 8. SLIDING PATIO DOOR (REFER TO WINDOW SCHEDULE). 9. ALUM. THRESHOLD. 10. CONTINUOUS BEAD OF SEALANT ON BACKER ROD AROUND THE WINDOW FRAMING INSIDE AND OUTSIDE 1/4" MINIMUM. 11. WRAP BLUE-SKIN MEMBRANE ALONG TOP OF SILL. 12. SELF ADHESIVE ELASTOMRIC FLASHING. SEAL ALL JOINTS OF FLASHING. 13. PRE-FABRICATED STONE SILL. 14. BRICK VENEER WITH GALV. MASONRY TIES @ 32" O.C. VERT. AND HORZ. 15. PREFABRICATED WEEPHOLE INSERTS AT EVERY THIRD VERTICAL JOINT OF 16. TYP. PATIO 24" x 24" PAVERS ON SCREENING GRAVEL, ROOFING SYSTEM AND SLOPED CONCRETE TOPPING. 17. WRAP BLUE-SKIN OVER END OF HOLLOWCORE PLANK AND EXTEND DOWN FACE OF SHEATHING/BLOCK. 18. WATERPROOFING MEMBRANE. WRAP UP AND OVER PARAPET. 19. METAL FLASHING. SEAL ALL JOINTS OF FLASHING. 20. CAULKED JOINT. 21. GALV. STEEL MEMBERS (REFER TO STRUCTURAL) 22. CONC. BLOCK CURB. DOWEL INTO BALCONY SLAB. 23. P.T. WOOD BLOCKING AS REQ'D. 24. 1/2" MARBLE SILL. 25. DRYWALL RETURN. 26. 1/2" EXPANSION JOINT. 27. 4"x48" RIGID INSULATION AROUND PERIMETER OF BUILDING. 28. C.I.P. CONC. FOOTING/FOUNDATION WALL (REFER TO STRUCTURAL) 29. SOFT JOINT. 30. DRIP EDGE 31. REFERENCE CIVIL DRAWINGS, LANDSCAPE PLAN AND SITE PLAN FOR ALL GRADING INFORMATION. 32. ROOF HATCH & ACCESS LADDER (PROVIDE SHOP DRAWINGS FOR REVIEW BY ARCHITECT). 33. ROOF DRAIN (REFER TO MECHANICAL) 34. SCUPPER (REFER TO MECHAICAL)
35. DEMISING WALL (REFER TO PLANS & SHEET A601). 36. ROOFING MEMBRANE ON SLOPED CONC. TOPPING.

38. DRAINAGE BOARD ON COLD-FLUID, SPRAY APPLIED, POLYMER ENHANCED,

42. BRICK LEDGE @ WINDOW/DOOR; STEEL ANGLE SECURED TO STRUCTURE (REF. STRUCTURAL DWG'S) WITH SELF ADHESIVE ELASTOMRIC FLASHING

OVER STEEL MEMBER & UP WALL COVERED WITH METAL FLASHING. 43. P.T. PLYWOOD; WRAP WITH SELF ADHERING ELASTOMRIC FLASHING.

46. METAL STUD KICKER (REFER TO STRUCTURAL FOR SIZE AND FASTENING),

51. WOOD LOOK PANEL ON FURRING STRIPS ON FOAM INSULATION ON CONC.

BATT INSULATION (REFER TO A601 FOR INSULATION VALUES), P.T. PLYWOOD

WALLS BELOW GRADE. EXTEND ONTO TOP OF FOOTING

40. BRICK VENEER ON STUD WALL (REFER TO PLANS & SHEET A601)

41. BRICK VENEER ON BLOCK WALL (REFER TO PLANS & SHEET A601)

& ELASTOMRIC FLASHING CONTINUED UP AND OVER PARAPET.

48. E.I.F.S. ON STUD WALL (REFER TO PLANS & SHEET A601). 49. E.I.F.S. ON BLOCK WALL (REFER TO PLANS & SHEET A601)

53. WRAP BLUE-SKIN MEMBRANE ALONG GALV. METAL PLATE. 54. PACK CAVITY FULL W/ MINERAL ROCK WOOL INSULATION. 55. 1 HR. FIRE SHUTTER. SEE MANUFACTURES SPECS.

47. WOOD LOOK PANEL ON STUD WALL (REFER TO PLANS & SHEET A601).

39. DOOR (REFER TO PLANS & SHEET A602)

45. FURRING WALL (REFER TO PLANS & SHEET A601)

44. DRYWALL CEILING; HEIGHT TBD.

50. DENS GLASS SHEATHING.

BLOCK WALL. 52. ALUM. SOFFIT

SINGLE-COMPONENT, ASPHALT-EMULSION MEMBRANE.ON ALL CONCRETE

NOTE: FOR FOOTING SIZE AND DEPTH REFER TO SOIL ENGINEER AND STRUCTURAL DWG'S.

ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

THIS DRAWING IS NOT TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

TEL: 519-256-1607

\A507\

 8
 16

 7
 15

 6
 14

 5
 13

 4
 12

 3
 11

 2
 10

 1
 JUNE 19.23 PERMIT
 9

 rev. date
 issued for

rev. date issued for

2ND FLR - FIRE SHUTTER

project:MILL ST. APARTMENTS

address: 6 MILL STREET., TILBURY ON

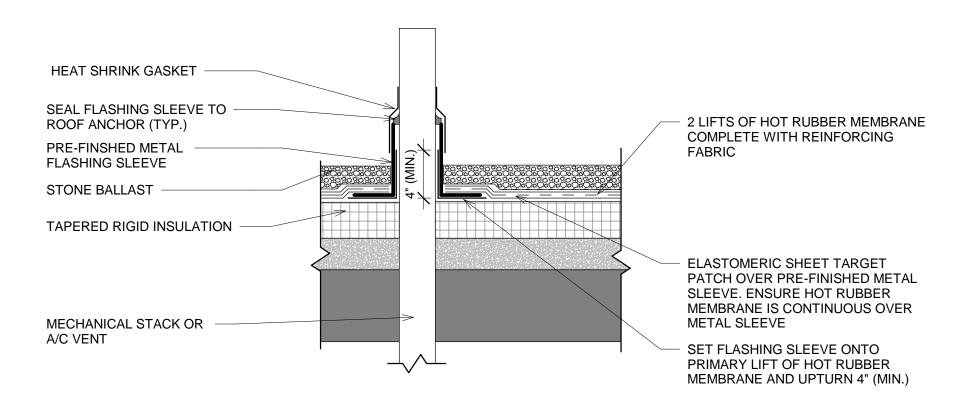
37. GARBAGE CHUTE.

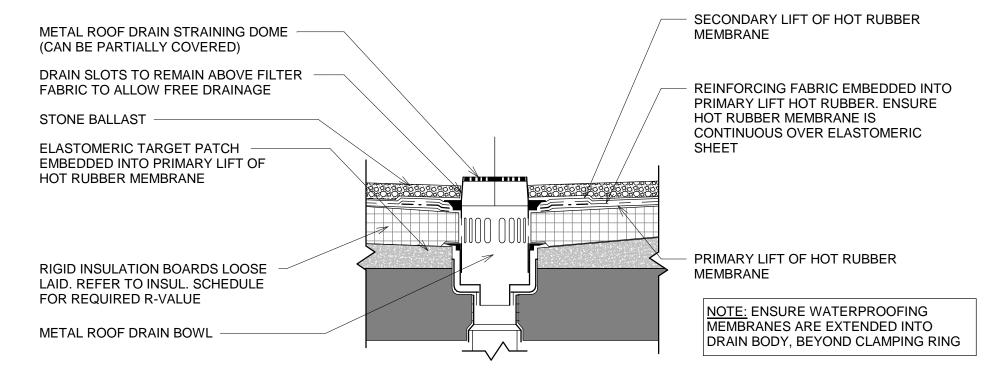
short name:

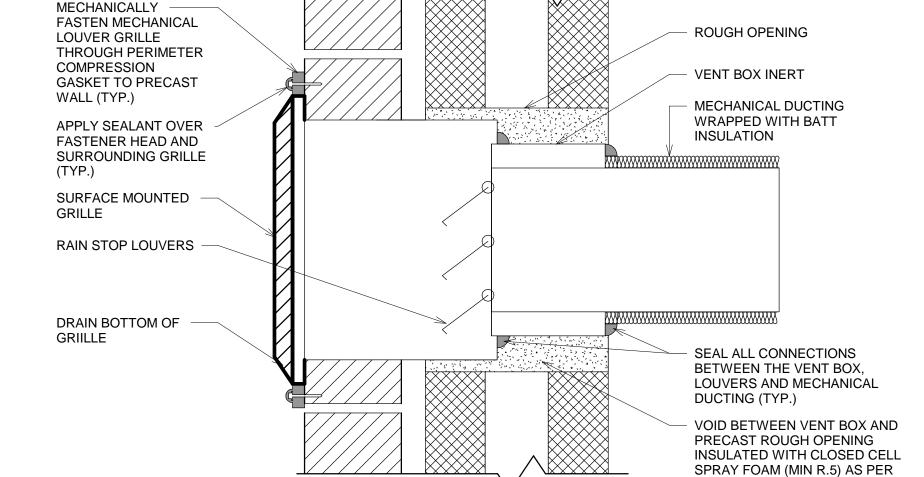
wall section & Details

project no.: 22-0067

sheet no.:







MECH. DETAILS

## ROOF PENETRATION DETAIL

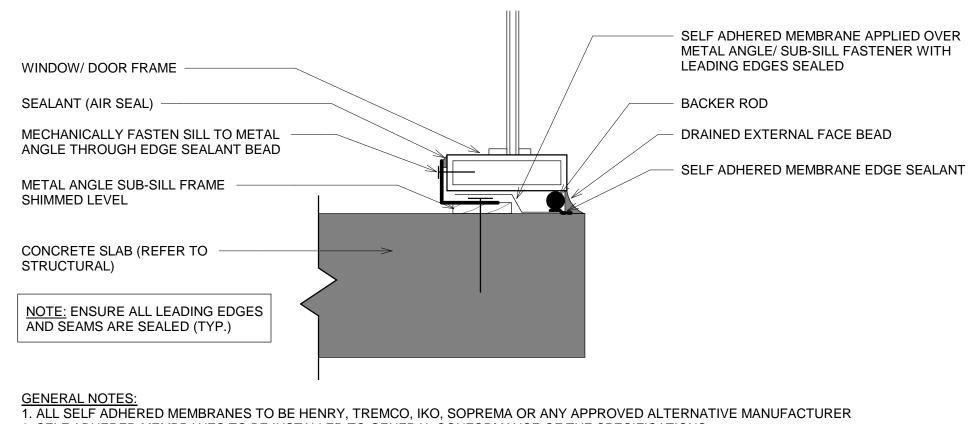
1 1/2" = 1'-0

2 DRAIN - ROOF DECK

WINDOW/ DOOR VERTICAL SUBSTRATE

SELF ADHERED MEMBRANE

EDGE SEALED SELF ADHERED MEMBRANE ONTO SUBSTRATE



1. ALL SELF ADHERED MEMBRANES TO BE HENRY, TREMCO, IKO, SOPREMA OR ANY APPROVED ALTERNATIVE MANUFACTURER
2. SELF ADHERED MEMBRANES TO BE INSTALLED TO GENERAL CONFORMANCE OF THE SPECIFICATIONS
3. ALL NEW SELF ADHERING MEMBRANES TO BE S.B.S. RUBBERIZED ASPHALT AND SELF SEALING
4. ALL EDGES AND SEAMS TO BE SEALED WITH A PILYURETHANE BASED SEALANT.

## WINDOW/DOOR SILL

UFACTURER

TOP OF SUB-SILL ANGLE

UP TURNED END DAM POCKET

EDGE SEALED SELF
ADHERED MEMBRANE LAPS

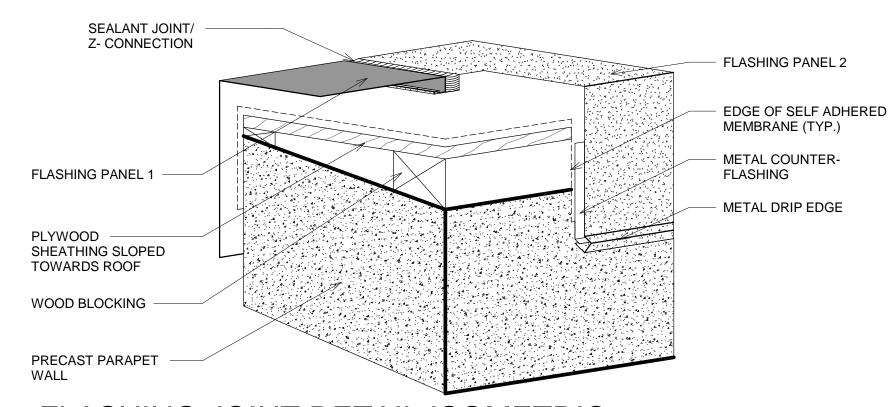
SELF ADHERED MEMBRANE TO COVER ENTIRETY OF WINDOW/DOOR SILL

BOTTOM EDGE OF SUB-SILL ANGLE BELOW SELF ADHERED MEMBRANE

WINDOW/DOOR HORIZONTAL SUBSTRATE

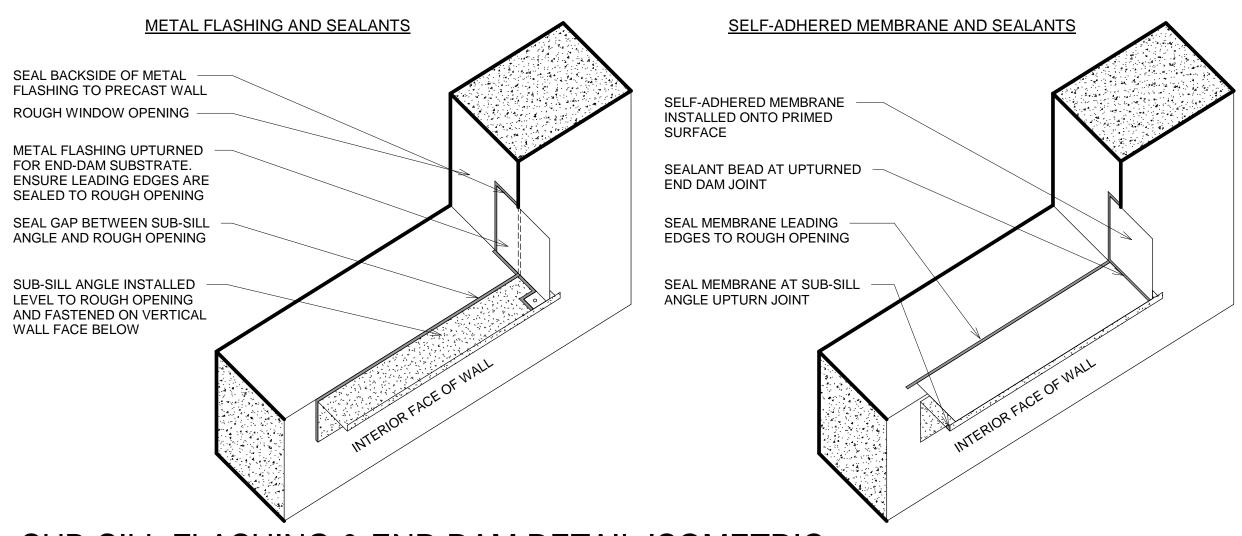
## WINDOW/DOOR SILL ISOMETRIC 1 1/2" = 1'-0"

# MECHANICAL LOUVRE SEALANT DETAIL 3" = 1'-0"



FLASHING JOINT DETAIL ISOMETRIC

1 1/2" = 1'-0"



SUB-SILL FLASHING & END DAM DETAIL ISOMETRIC



ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

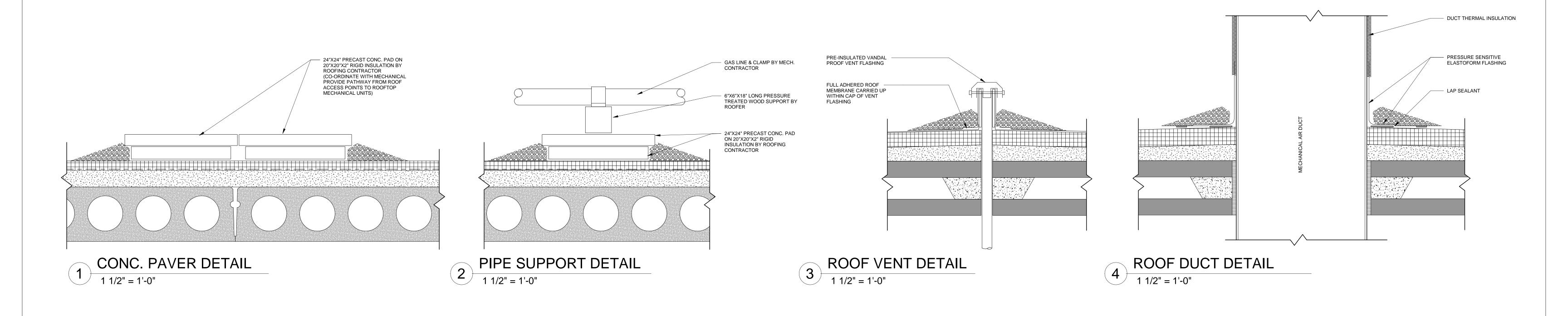
THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

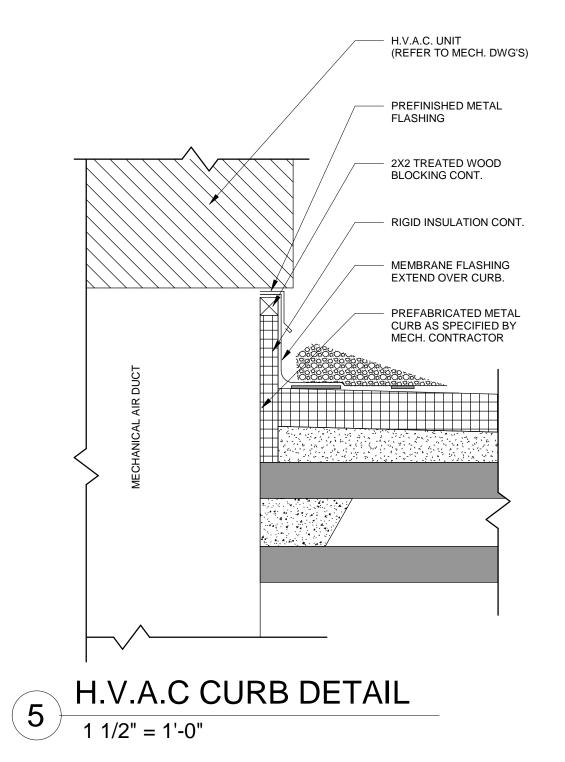
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

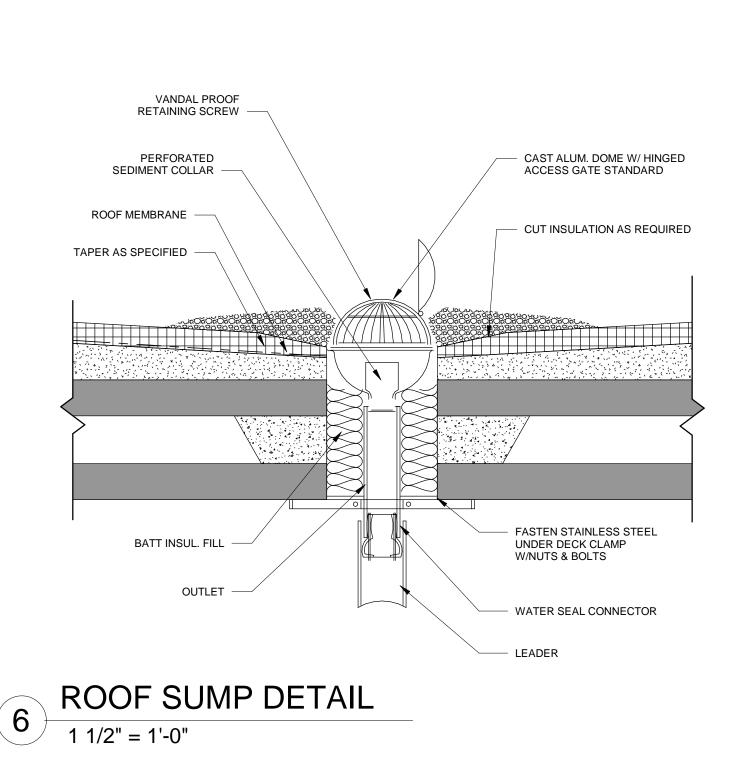
THIS DRAWING IS NOT TO BE SCALED.
USE FIGURED DIMENSIONS ONLY.

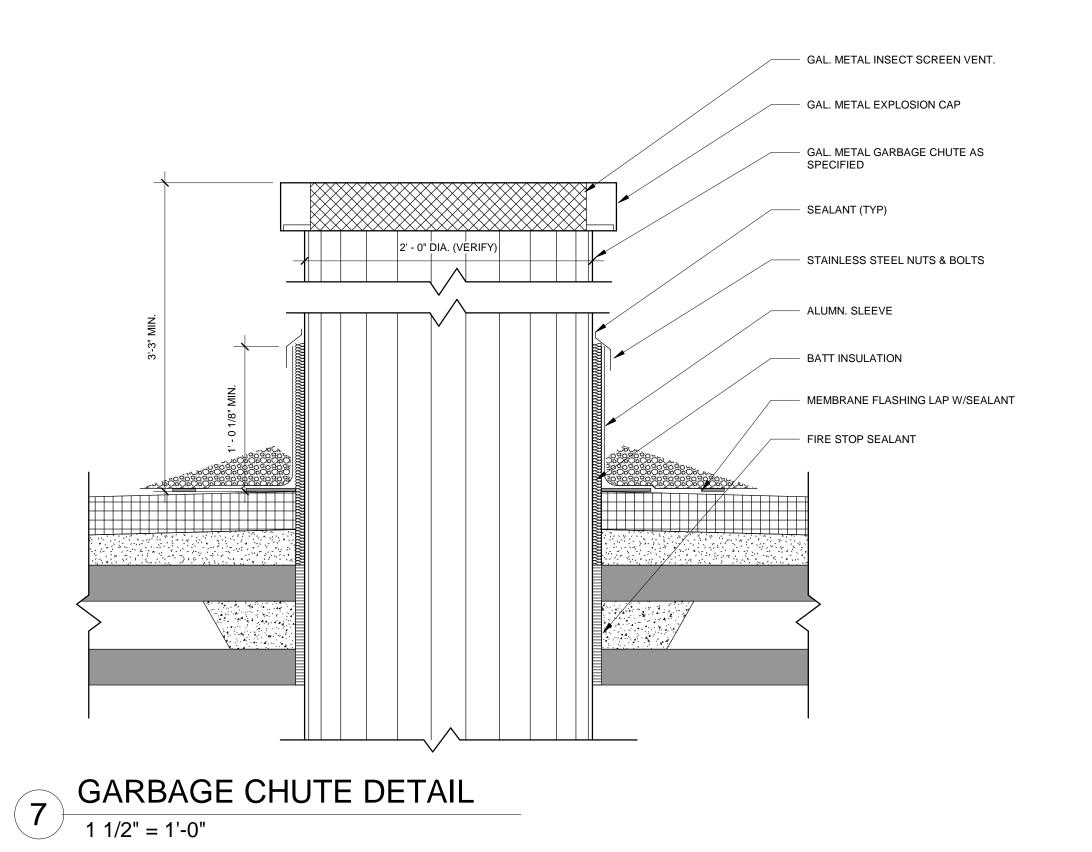
8			16		
7			15		
6			14		
5			13		
4			12		
3			11		
2			10		
1	JUNE 19.23	PERMIT	9		
rev.	date	issued for	rev.	date	issued for

roject:  //ILL ST. APARTMENTS  ddress: 6 MILL STREET., TILBURY ON	project no.: 22-0067
TYPICAL WATERPROOFING DETAILS	sheet no.: A510











ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

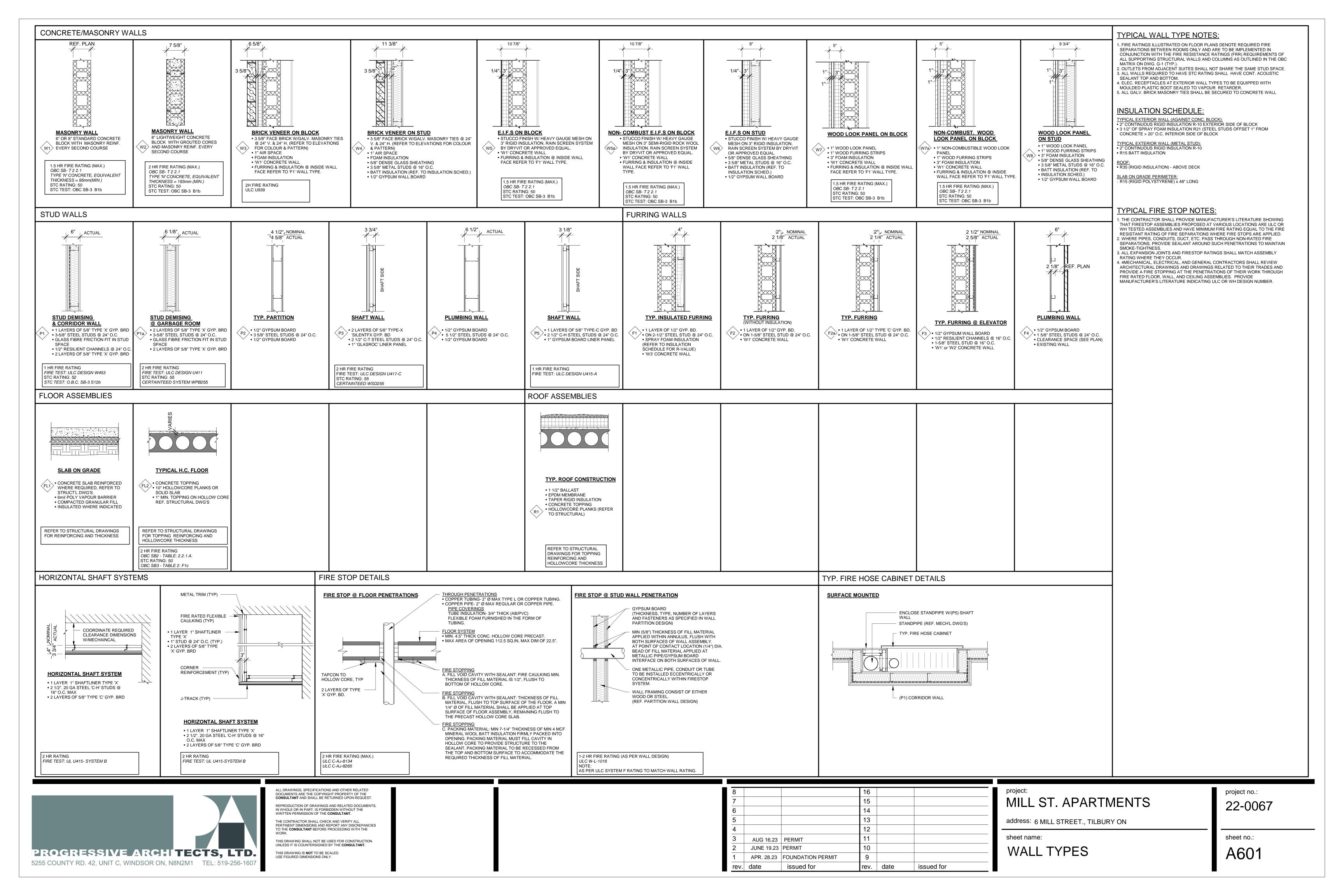
THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

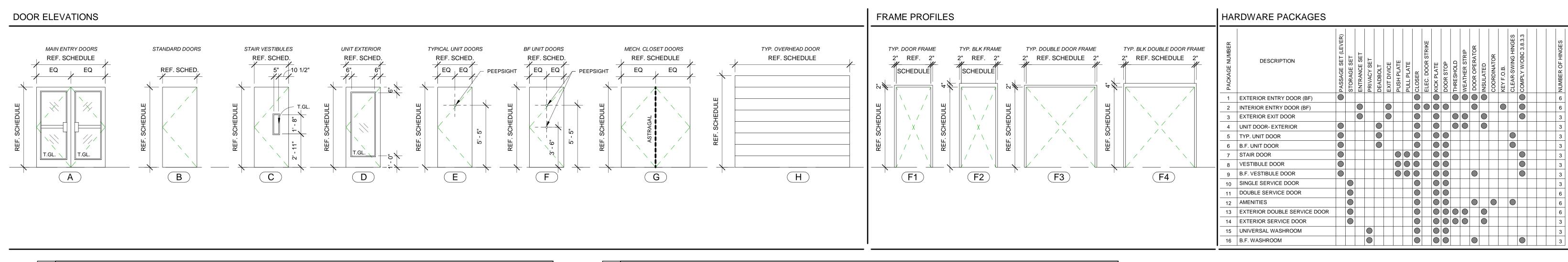
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

THIS DRAWING IS NOT TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

8			16		
7			15		
6			14		
5			13		
4			12		
3			11		
2			10		
1	JUNE 19.23	PERMIT	9		
rev.	date	issued for	rev.	date	issued for

oroject: MILL ST. APARTMENTS	project no.: 22-0067
address: 6 MILL STREET., TILBURY ON	
ROOF PLAN DETAILS	sheet no.: A511





D201-0 D201-0 D201-0		A602-DOOR SCHEDULE									
D201-0 D201-0 D201-0 D201-0 D201-0 D201-0		1			, .502 D		JJ ULL	<u> </u>	Ι	ī	
D201-0 D201-0 D201-0 D201-0 D201-0 D201-0	K LOCATION	WIDTH	НЕІGНТ	DOOR ELEV.	FIRE RATING	PANEL MATERIAL	PANEL & FRAME FINISH	-RAME MATERIAL	FRAME TYPE	HARDWARE PKG	COMMENTS
D201-( D201-( D201-( D201-( D201-(	200/111011				Щ	<u> </u>			ш.		33111121113
D201-0 D201-0 D201-0 D201-0	01 MAIN ENTRANCE	6' - 0"	7' - 10"	Α		ALUM.	ANNOD.	ALUM.	F4	1	
D201-0 D201-0 D201-0	02 EXIT	3' - 2"	7' - 0"	В		H.M.	PRIME & PAINTED	H.M.	F2	3	
D201-0 D201-0	O3 O.H. DOOR	8' - 0"	8' - 0"	Н							
D201-0		3' - 2"	7' - 10"	D		ALUM.	ANNOD.	ALUM.	F1	1	
D201-0		3' - 2"	7' - 10"	D		ALUM.	ANNOD.	ALUM.	F1	1	
		3' - 2"	7' - 10"	D		ALUM.	ANNOD.	ALUM.	F1	1	
1 11001		3' - 2" 3' - 2"	7' - 10" 7' - 0"	D		ALUM. H.M.	ANNOD.	ALUM.	F1 F2	3	
D201-		3' - 2"	7 - 0	B B		H.M.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F2	3	
D201-		6' - 0"	7 - 0"	G		H.M.	PRIME & PAINTED	H.M.	F4	13	
	13 VESTIBULE	6' - 0"	7' - 10"	A		ALUM.	ANNOD.	ALUM.	F3	2	
D201-		3' - 2"	7' - 0"	В		H.M.	PRIME & PAINTED	H.M.	F1	10	
D201-		3' - 2"	7' - 0"	В	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F1	10	
D201-	16 ELEC. CLOSET	6' - 0"	7' - 0"	G	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F3	11	
D201-	17 RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
D201-	18 RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
D201-	19 RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
D201-2		3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
1 02014		3' - 2"	7' - 0"	С	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
D201-2		3' - 2"	7' - 0"	С	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F1	9	
11	23 RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
D201-2	24 RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	25 STAIR DOOR	3' - 2"	7' - 0"	С	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
	26 RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	27 MOVE-IN/GARBAGE 28 MOVE-IN/GARBAGE	3' - 2" 3' - 2"	7' - 0" 7' - 0"	С	3/4 HR 3/4 HR	H.M.	PRIME & PAINTED	H.M. H.M.	F1 F1	8	
	29 GARBAGE ROOM	6' - 0"	7 - 0"	C B	1.5 HR	H.M. H.M.	PRIME & PAINTED PRIME & PAINTED	H.M.	F3	11	
	30 UNIVERSAL WASHROOM	3' - 2"	7' - 0"	В		H.M.	PRIME & PAINTED	H.M.	F1	15	
	31 COMMUNITY ROOM	6' - 0"	7' - 0"	A		ALUM.	ANNOD.	ALUM.	F3	12	
	01 ELEC. CLOSET	6' - 0"	7' - 0"	G	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F3	11	
	02 RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
D202-	03 RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
D202-	04 RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
D202-0	05 RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	06 STAIR DOOR	3' - 2"	7' - 0"	С	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
	07 RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0"	F	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6	
	08 RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0"	F	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6	
	09 RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	10 RESIDENTIAL UNIT - B.F. 11 RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0" 7' - 0"	F F	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F1	6	
0   0000	12 RESIDENTIAL UNIT - B.F.	3' - 2"	7 - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
0   0202-	13 RESIDENTIAL UNIT	3' - 2"	7 - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	14 RESIDENTIAL UNIT	3' - 2"	7 - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	15 STAIR DOOR	3' - 2"	7' - 0"	С	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
N D202-	16 RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	17 GARBAGE ROOM	3' - 2"	7' - 0"	В	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F1	10	
	18 RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	19 RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
D202-	20 RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	

	A602-DOOR SCHEDULE											
	MARK	LOCATION	WIDTH	НЕІСНТ	DOOR ELEV.	FIRE RATING	PANEL MATERIAL	PANEL & FRAME FINISH	FRAME MATERIAL	FRAME TYPE	HARDWARE PKG	COMMENTS
	D203-01	ELEC. CLOSET	6' - 0"	7' - 0"	G	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F3	11	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		RESIDENTIAL UNIT STAIR DOOR	3' - 2" 3' - 2"	7' - 0" 7' - 0"	E C	1/3 HR 3/4 HR	S.C.W. H.M.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F2	5 7	
		RESIDENTIAL UNIT - B.F.	3' - 2"	7 - 0"	F	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6	
		RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0"	F	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
A		RESIDENTIAL UNIT - B.F. RESIDENTIAL UNIT - B.F.	3' - 2" 3' - 2"	7' - 0" 7' - 0"	F	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F1	6	
00.		RESIDENTIAL UNIT	3' - 2"	7 - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6 5	
3RD FLO		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
RD		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
3		STAIR DOOR	3' - 2"	7' - 0"	С	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
		RESIDENTIAL UNIT GARBAGE ROOM	3' - 2" 3' - 2"	7' - 0" 7' - 0"	E B	1/3 HR 3/4 HR	S.C.W. H.M.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F1	5 10	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		ELEC. CLOSET	6' - 0"	7' - 0" 7' - 0"	G E	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F3 F1	11 5	
		RESIDENTIAL UNIT	3' - 2" 3' - 2"	7 - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1	5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		STAIR DOOR	3' - 2"	7' - 0"	C	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
		RESIDENTIAL UNIT - B.F. RESIDENTIAL UNIT - B.F.	3' - 2" 3' - 2"	7' - 0" 7' - 0"	F	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F1	6 6	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
<sub>&amp;</sub>	D204-10	RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0"	F	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6	
0		RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0"	F	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6	
FLO		RESIDENTIAL UNIT RESIDENTIAL UNIT	3' - 2" 3' - 2"	7' - 0" 7' - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F1	5 5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
4TH		STAIR DOOR	3' - 2"	7' - 0"	С	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		GARBAGE ROOM	3' - 2"	7' - 0"	В	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F1	10	
		RESIDENTIAL UNIT RESIDENTIAL UNIT	3' - 2" 3' - 2"	7' - 0" 7' - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F1	5 5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
	D205-01	ELEC. CLOSET	6' - 0"	7' - 0"	G	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F3	11	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		BOILER ROOM RESIDENTIAL UNIT	3' - 2" 3' - 2"	7' - 0" 7' - 0"	B E	3/4 HR 1/3 HR	H.M. S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F1	10 5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	Е	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		STAIR DOOR	3' - 2"	7' - 0"	С	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
		RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0" 7' - 0"	F	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED	H.M. H.M.	F1 F1	6	
		RESIDENTIAL UNIT - B.F. RESIDENTIAL UNIT	3' - 2" 3' - 2"	7' - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M.	F1	6 5	
		RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0"	F	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6	
OR		RESIDENTIAL UNIT - B.F.	3' - 2"	7' - 0"	F	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	6	
FLO		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
<u>H</u>		RESIDENTIAL UNIT RESIDENTIAL UNIT	3' - 2" 3' - 2"	7' - 0" 7' - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M. H.M.	F1 F1	5 5	
		STAIR DOOR	3' - 2"	7' - 0"	C	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F2	7	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR	S.C.W.	PRIME & PAINTED	H.M.	F1	5	
		GARBAGE ROOM	3' - 2"	7' - 0"	В	3/4 HR	H.M.	PRIME & PAINTED	H.M.	F1	10	
		RESIDENTIAL UNIT	3' - 2" 3' - 2"	7' - 0" 7' - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED	H.M. H.M.	F1 F1	5	
		RESIDENTIAL UNIT	3' - 2"	7' - 0"	E	1/3 HR 1/3 HR	S.C.W.	PRIME & PAINTED PRIME & PAINTED	H.M.	F1	5 5	
			. ~ ~	. •		.,01110	3.3.77.	\$17.11112				



ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

THIS DRAWING IS NOT TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

8			16		
7			15		
6			14		
5			13		
4			12		
3			11		
2	AUG. 24.23	SSI-002	10		
1	JUNE 19.23	PERMIT	9		
rev.	date	issued for	rev.	date	issued for

project:
MILL ST. APARTMENTS

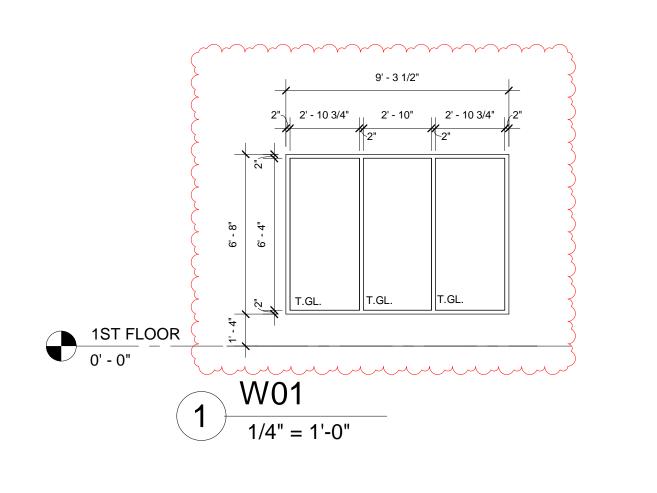
address: 6 MILL STREET., TILBURY ON

sheet name:

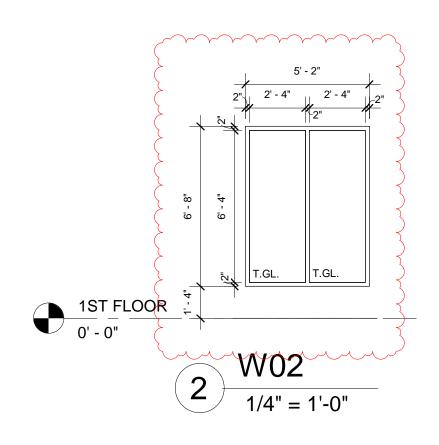
DOOR SCHEDULE

project no.:
22-0067

sheet no.:
A602



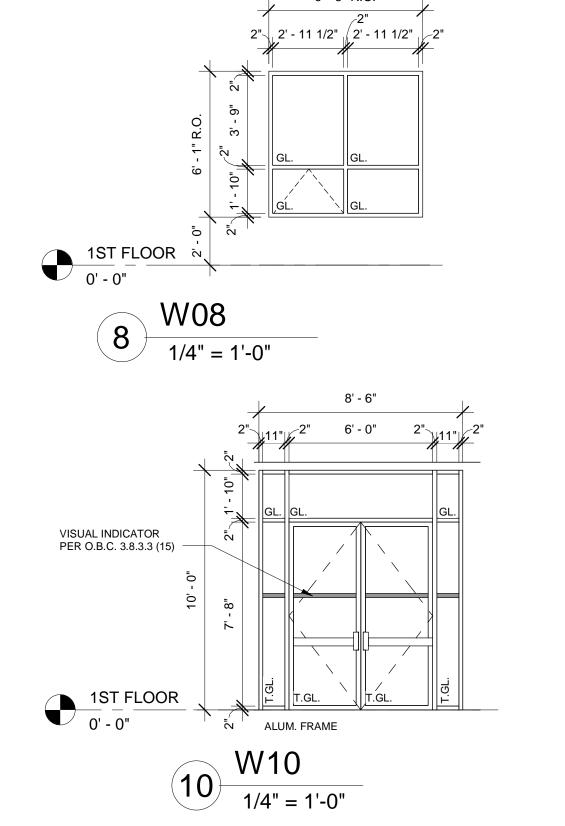
W4 HAS BEEN REMOVED

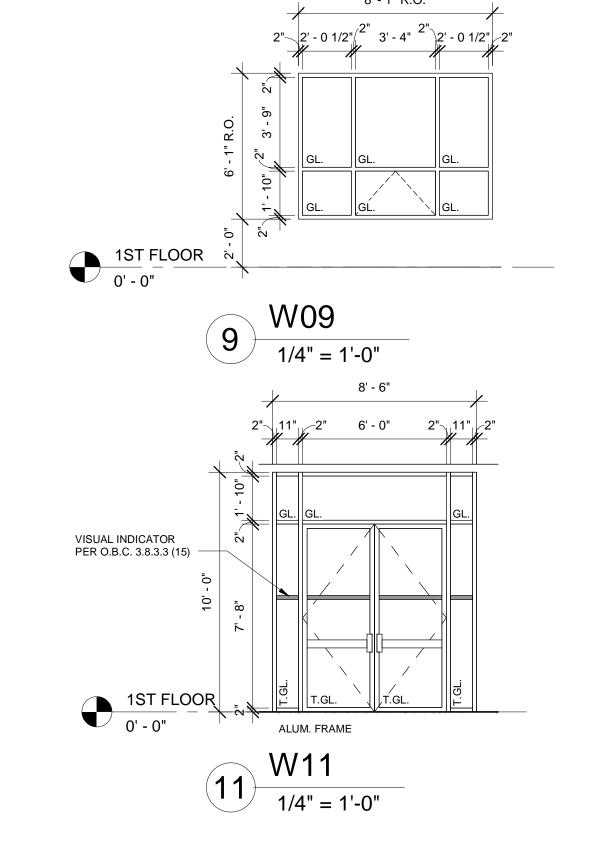


W5 HAS BEEN REMOVED

W3 HAS BEEN REMOVED

W6 HAS BEEN REMOVED





**GLAZING SCHEDULE** (TYP. UNLESS OTHERWISE NOTED)

**GL.** (TYP): DOUBLE 3mm THICK PILKINGTON ENERGY ADVANTAGE LOW-E GLASS (SURFACE #2) W/ 1/2" AIR GAP.

T.GL.: TEMPERED DOUBLE GLAZING.

**OPQ**: OPAQUE SPANDREL SINGLE GLAZING.

OPQ.FR: OPAQUE SPANDREL SINGLE GLAZING & 2 1/2" FRAME. **ALUM**: INSULATING ALUM. PLANEL

**DR.**: DOOR (REFER TO SCHEDULE) TEMPERED DOUBLE GLAZING. **PDR**: SLIDING PATIO DOOR; TEMPERED DOUBLE GLAZING.

UNLESS OTHERWISE NOTED FRAME TO BE STANDARD 4 1/2" PREFINISHED BLACK ANODIZED ALUMINUM. SPECIFIED SPANDREL PANELS (OPQ.FR) TO BE 2 1/2" PREFINISHED BLACK ANODIZED ALUMINUM.

THERMAL PERFORMANCE SHALL BE CALCULATED IN ACCORDANCE W/CSA A 440.2 BY AN INDEPENDENT CSA ACCREDITED SIMULATOR.

METAL FRAMED (FIXED) U-VALUE: 0.38 SHGC: 0.4 NON-METAL FRAMED U-VALUE: 0.29 SHGC: 0.4 WINDOW GENERAL NOTES

1. VINYL WINDOWS TO CONFORM TO O.B.C. SECTION 3.7.2. 2. VINYL WINDOWS TO THERMALLY BROKEN SECTIONS WITH NOMINAL FRAME OF 2" X 4

RESERVED. 4. ALL EXTERIOR WINDOW FINISH TO BE BLACK OUTSIDE AND WHITE INSIDE, SUBMIT

COLOUR SAMPLE FOR SELECTION.

. ALL INTERIOR WINDOW FINISH TO BE WHITE SUBMIT COLOUR SAMPLE FOR

. LEFT/RIGHT WINDOW AND SLIDING PATIO DOOR OPENING TO SUIT. ALL FIXED VISION AREAS TO BE 25 HERMETICALLY SEALED INSULATING GLASS UNITS

CONSISTING OF 3MM CLEAR AND LOW-E COATED (PILKINGTON ENERGY ADVANTAGE) ON 3MM CLEAR GLASS AND GOVERNED BY THICKNESS REQUIRED FOR OBC COMPLIANCE TO CAN/CGSB 12.8-M76.

3. ALL SLIDING VISION AREAS ARE SIMILAR TO ITEM 7. 9. TYPICAL WINDOW GLAZING IS COMPRISED OF 25 MM OVERALL THICKNESS INSULATING

10. COLOUR OF SPANDREL GLAZING TO BE SELECTED FROM SAMPLES SUBMITTED BY THE CONTRACTOR.

11. GLAZING TAPE TO BE TREMCO 'POLYSHIM II'.

12. GLASS STOP ARE EXTRUDED DUAL PVC-WHITE. 13. HEAVY DUTY FLYSCREENS FOR ALL OPERABLE WINDOWS.

14. THERMAL BREAK - RIGID EXTRUDED PVC.

15. SETTING BLOCKS - HARDNESS 80 SHORE A.

16. OPERATING HARDWARE FOR OPENERS TO BE WHITE.

17. EXTERIOR SLIDING PATIO DOORS TO BE THERMALLY BROKEN FRAMES. 18. FIELD VERIFY ALL OPENING DIMENSIONS AND CONDITIONS.

19. THERMAL PERFORMANCE SHALL BE CALCULATED IN ACCORDANCE W/CSA A 440.2 BY AN INDEPENDENT CSA ACCREDITED SIMULATOR.

20. WINDOW DIMENSIONS DENOTE MANUFACTURE WINDOW SIZES. REFER TO PLANS AND SECTIONS FOR ROUGH OPENING SIZES.

21. ALL OPERABLE WINDOWS SHALL HAVE A MECHANISM CAPABLE OF CONTROLLING THE OPEN PART OF THE WINDOW TO LIMIT ANY UNOBSTRUCTED OPENING TO NO MORE

PROGRESSIVE ARCHITECTS, LTD. 5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607

ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE **CONSULTANT**. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE **CONSULTANT**. THIS DRAWING IS **NOT** TO BE SCALED. USE FIGURED DIMENSIONS ONLY.



rev.	date	issued for	rev.	date	issued for
1	JUNE 19.23	PERMIT	9		
2	NOV. 10.23	SSI-005	10		
3	JUNE 24.24	SSI-012	11		
4			12		
5			13		
6			14		
7			15		
8			16		

project:
MILL ST. APARTMENTS

address: 6 MILL STREET., TILBURY ON

sheet name:

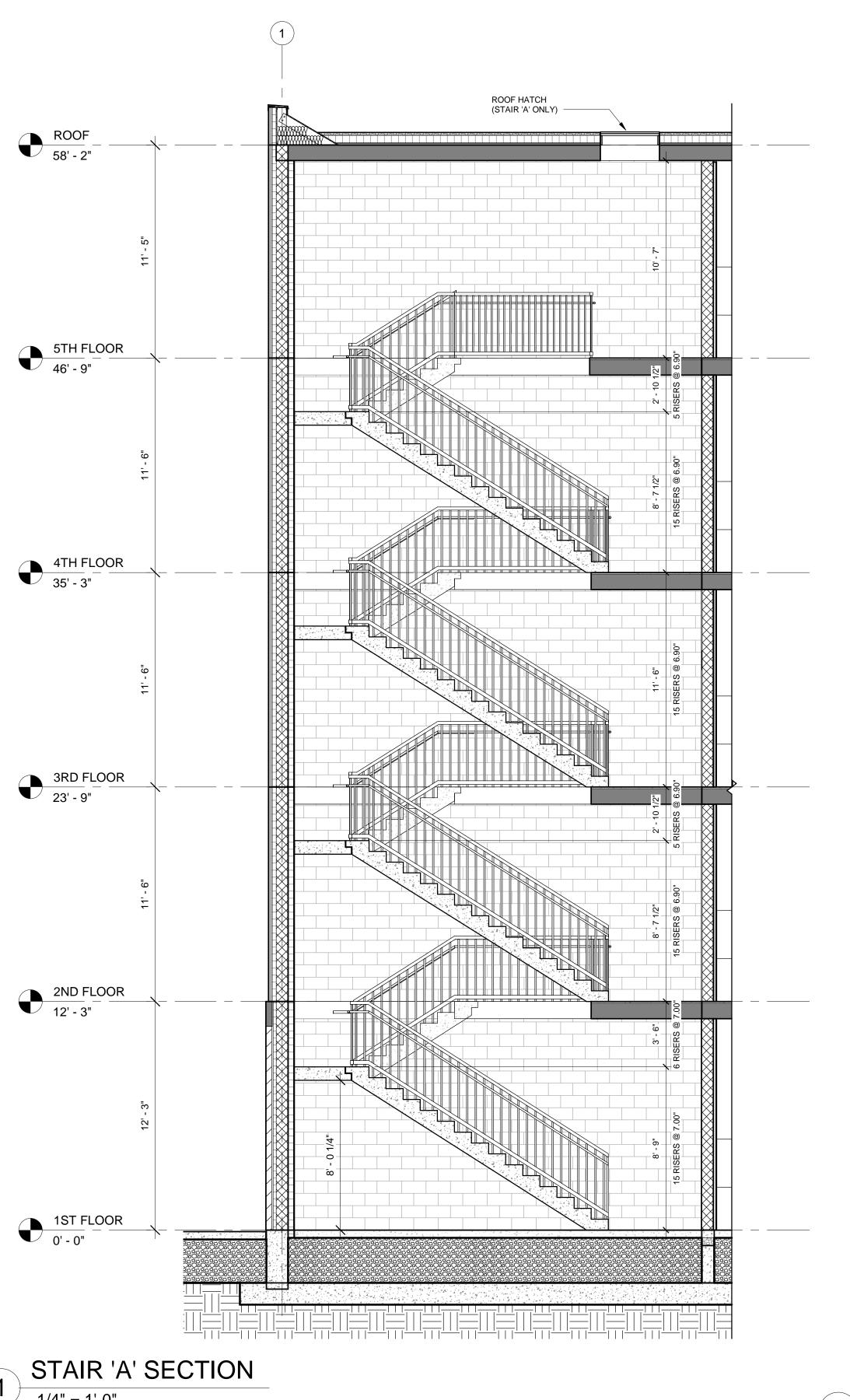
VT: 0.65

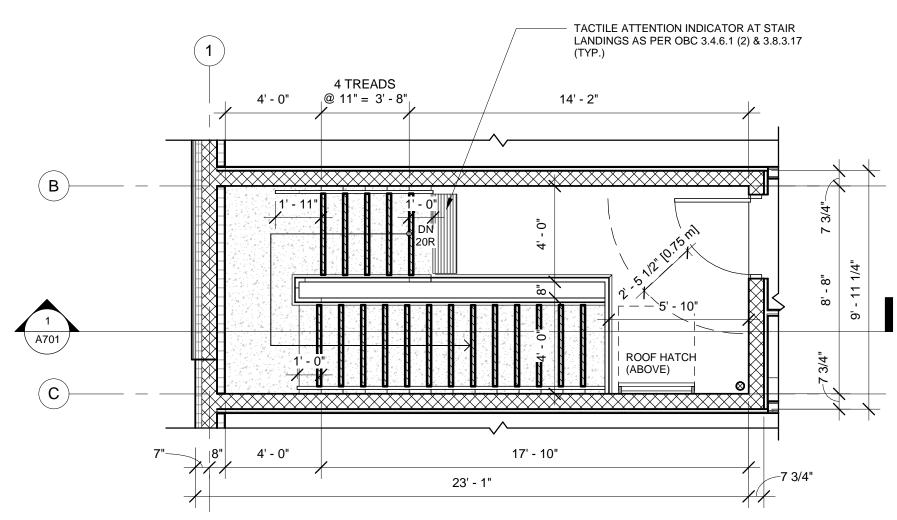
VT: 0.65

WINDOW SCHEDULE

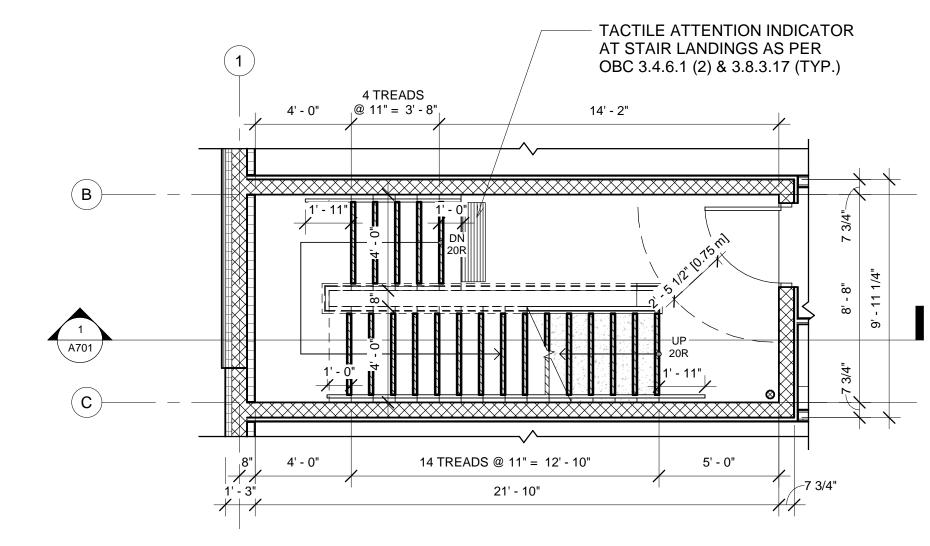
project no.: 22-0067

sheet no.:



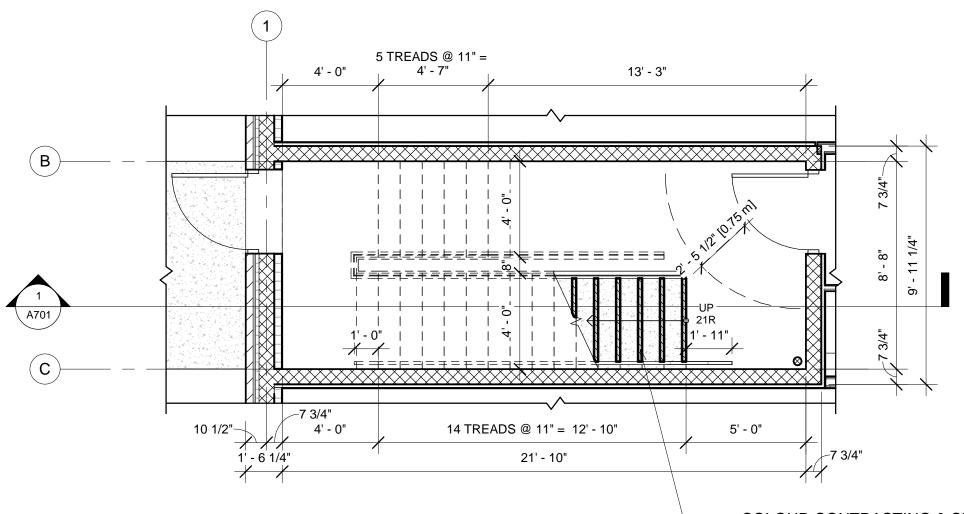


STAIR 'A' - 5TH FLOOR PLAN



3 STAIR 'A' - 2ND- 4TH FLOOR PLANS

1/4" = 1'-0"



STAIR 'A' - 1ST FLOOR PLAN

COLOUR CONTRASTING & SLIP RESISTANT FINISH @ THE LEADING EDGE OF EACH RISER PER O.B.C. 3.4.6.1 (TYP.)

## **GENERAL NOTES:**

PER O.B.C. 3.4.6.19.

- STEPS FOR STAIRS SHALL HAVE A RUN OF NOT LESS THAN 280 MM (11") AND NOT MORE THAN
- 355 MM (1'-2") BETWEEN SUCCESSIVE STEPS. 3.4.6.8. (1)
  2. STEPS FOR STAIRS REFERRED TO IN SENTENCE (1) SHALL HAVE A RISE BETWEEN SUCCESSIVE TREADS NOT LESS THAN 125 MM (4 7/8") AND NOT MORE THAN 180 MM (7"). 3.4.6.8. (2)
- 3. THE WIDTH OF AN EXIT SHALL BE NOT LESS THAN, 1100 MM (3'-7") FOR STAIRS, NOT SERVING PATIENTS' OR RESIDENTS' SLEEPING ROOMS, THAT SERVE MORE THAN TWO STOREYS ABOVE THE LOWEST EXIT LEVEL OR MORE THAN ONE STOREY BELOW THE LOWEST EXIT LEVEL.
- ALL LANDINGS ARE REQUIRED TO BE NOT LESS THEN WIDTH OF STAIR. 9.8.6.3.
   SWINGING DOORS IN THEIR SWING SHALL NOT REDUCE THE REQUIRED WIDTH OF EXIT STAI OR LANDINGS TO LESS THAN 750 MM (2"-51/2") OR REDUCE THE WIDTH OF AN EXIT
- PASSAGEWAY TO LESS THAN THE MINIMUM REQUIRED WIDTH. 3.4.3.4.(3)

  6. 1 ½" Ø STEEL HANDRAIL AT 36" ABOVE STAIR NOSING, PRIME AND PAINT. MOUNT HANDRAIL TO
- WALL WITH STEEL BRACKETS ACCORDING TO O.B.C. 3.4.6.5. (TYP.)

  7. HANDRAILS AND CONSTRUCTION BELOW HANDRAILS ARE PERMITTED TO PROJECT INTO THE REQUIRED WIDTH OF MEANS OF EGRESS BUT THE PROJECTIONS SHALL BE NOT MORE THAN 100 MM (37/8") ON EACH SIDE OF THE REQUIRED WIDTH.
- EVERY EXIT DOOR SHALL HAVE AN EXIT SIGN PLACED OVER OR ADJACENT TO IT IF THE EXIT SERVES, A BUILDING MORE THAN 2 STOREYS IN BUILDING HEIGHT & DESIGNED AS SPECIFIED IN O.B.C. 3.4.5.1
- 9. IN A BUILDING MORE THAN 2 STOREYS IN BUILDING HEIGHT, ANY PART OF AN EXIT RAMP OR STAIR THAT CONTINUES UP OR DOWN PAST THE LOWEST EXIT LEVEL SHALL BE CLEARLY MARKED BY A SIGN INDICATING THAT IT DOES NOT LEAD TO AN EXIT. AN EXIT STAIR SERVING A BUILDING MORE THAN 6 STOREYSIN BUILDING HEIGHT SHALL BE CLEARLY MARKED BY SIGNS INDICATING THAT IT DOES NOT LEAD TO AN EXIT AT THE ROOF LEVEL. 3.4.5.2.
- 10. TACTILE ATTENTION INDICATOR AT STAIR LANDINGS AS PER OBC 3.4.6.1 (2) & 3.8.3.17 (TYP.)
  11. THE DISTANCE BETWEEN A STAIR RISER AND THE LEADING EDGE OF A DOOR DURING ITS
- SWING SHALL BE NOT LESS THAN 300 MM. 3.4.6.11.

  12. ARABIC NUMERALS INDICATING THE ASSIGNED FLOOR NUMBER SHALL, BE MOUNTED PERMANENTLY ON EACH SIDE OF DOORS TO EXIT STAIR SHAFTS, DESIGNED AND MOUNTED AS

PROGRESSIVE ARCHITECTS, LTD.
5255 COUNTY RD. 42, UNIT C, WINDSOR ON, N8N2M1 TEL: 519-256-1607

ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

THIS DRAWING IS NOT TO BE SCALED.

8			16		
7			15		
6			14		
5			13		
4			12		
3	AUG. 24.23	SSI-002	11		
2	JUNE 19.23	PERMIT	10		
1	APR. 28.23	FOUNDATION PERMIT	9		
rev.	date	issued for	rev.	date	issued for

MILL ST. APARTMENTS

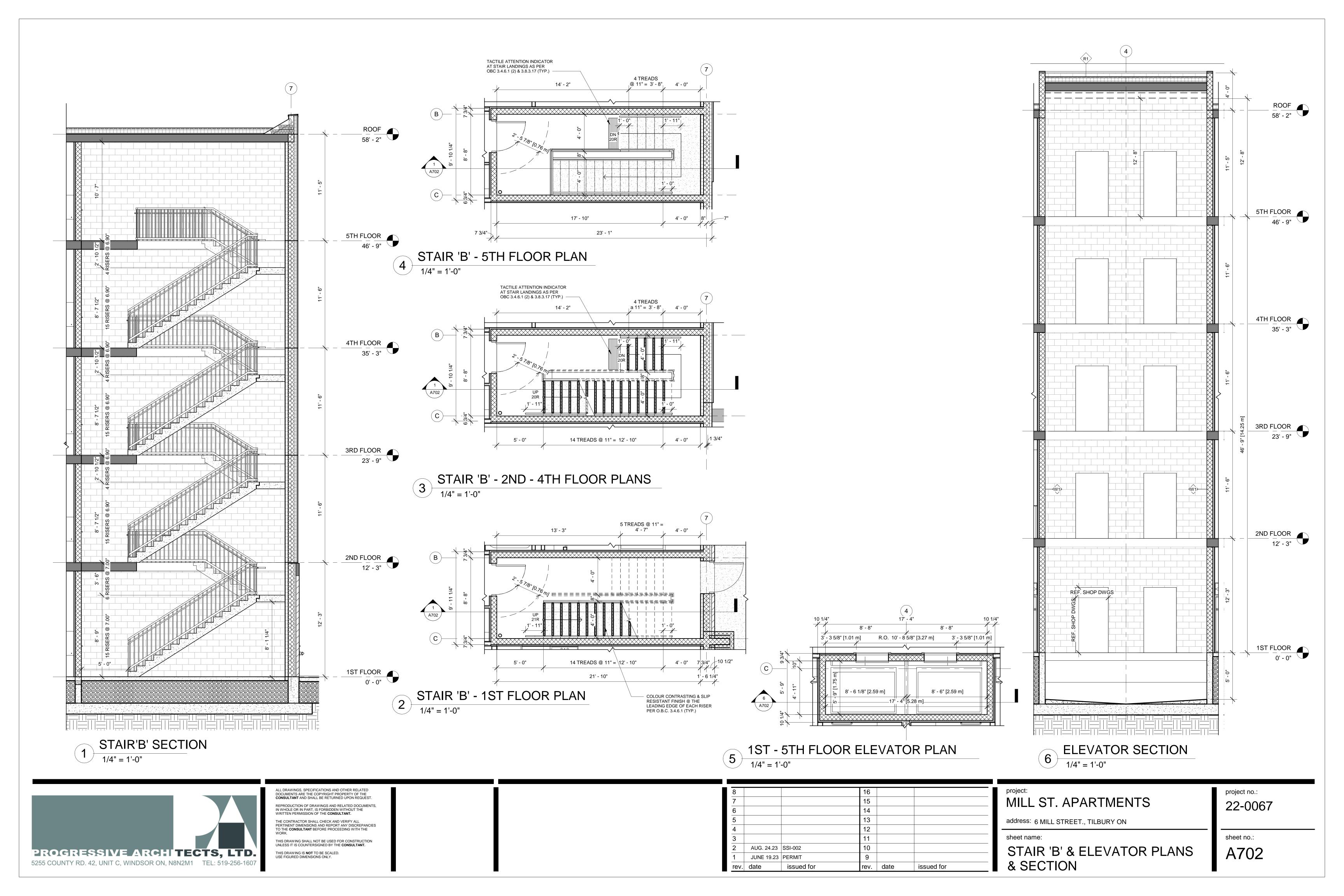
address: 6 MILL STREET., TILBURY ON

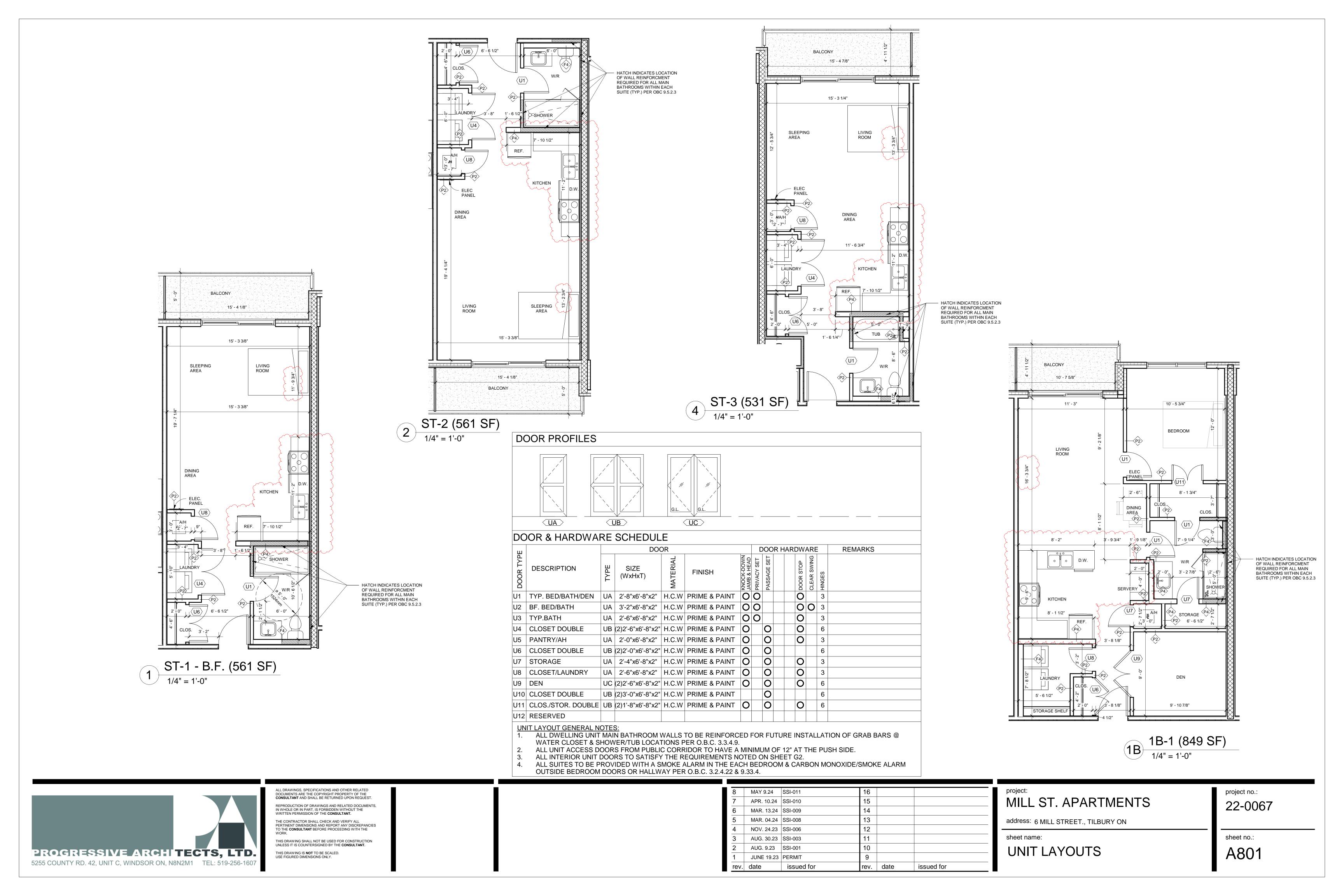
sheet name:

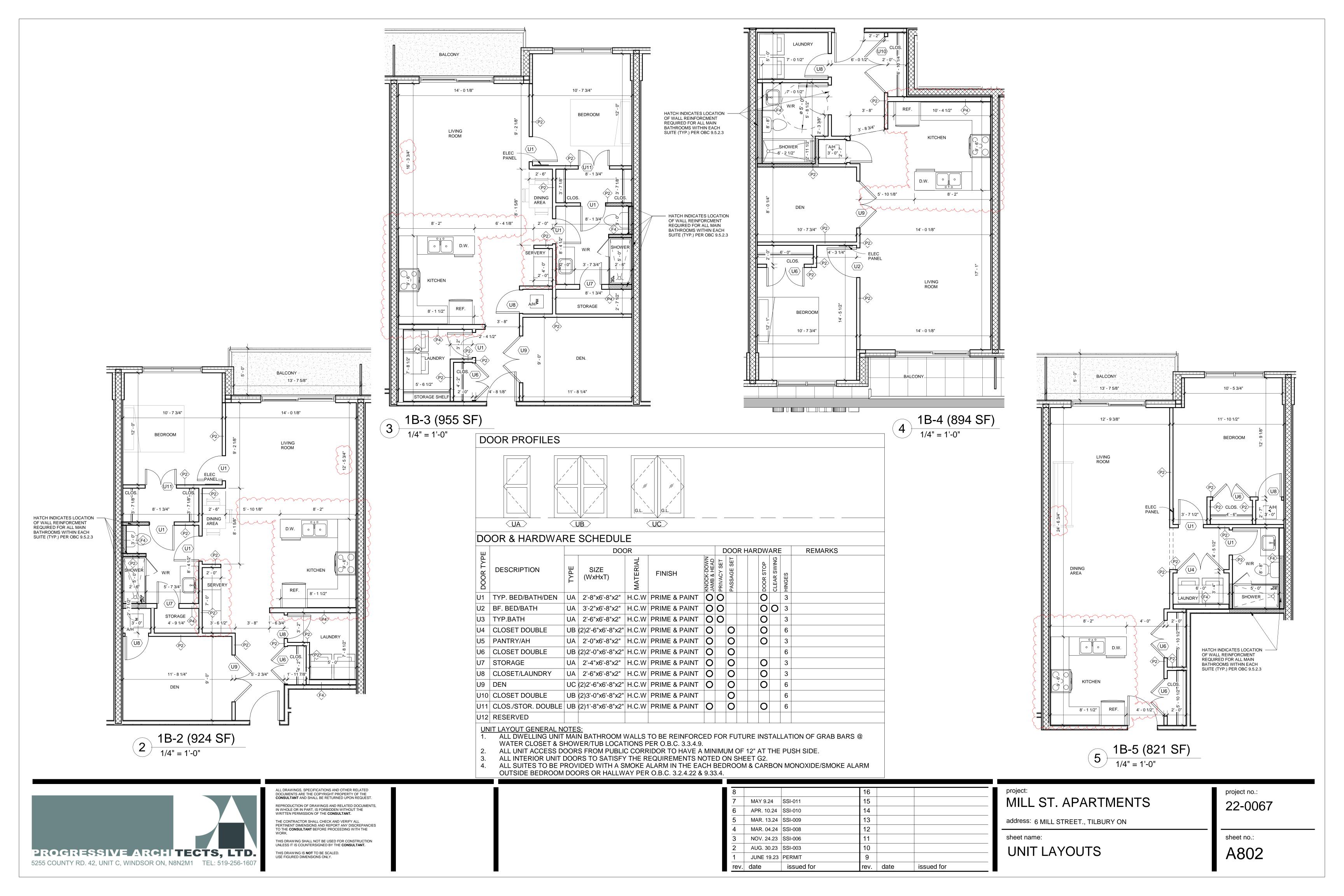
STAIR 'A' PLANS & SECTION

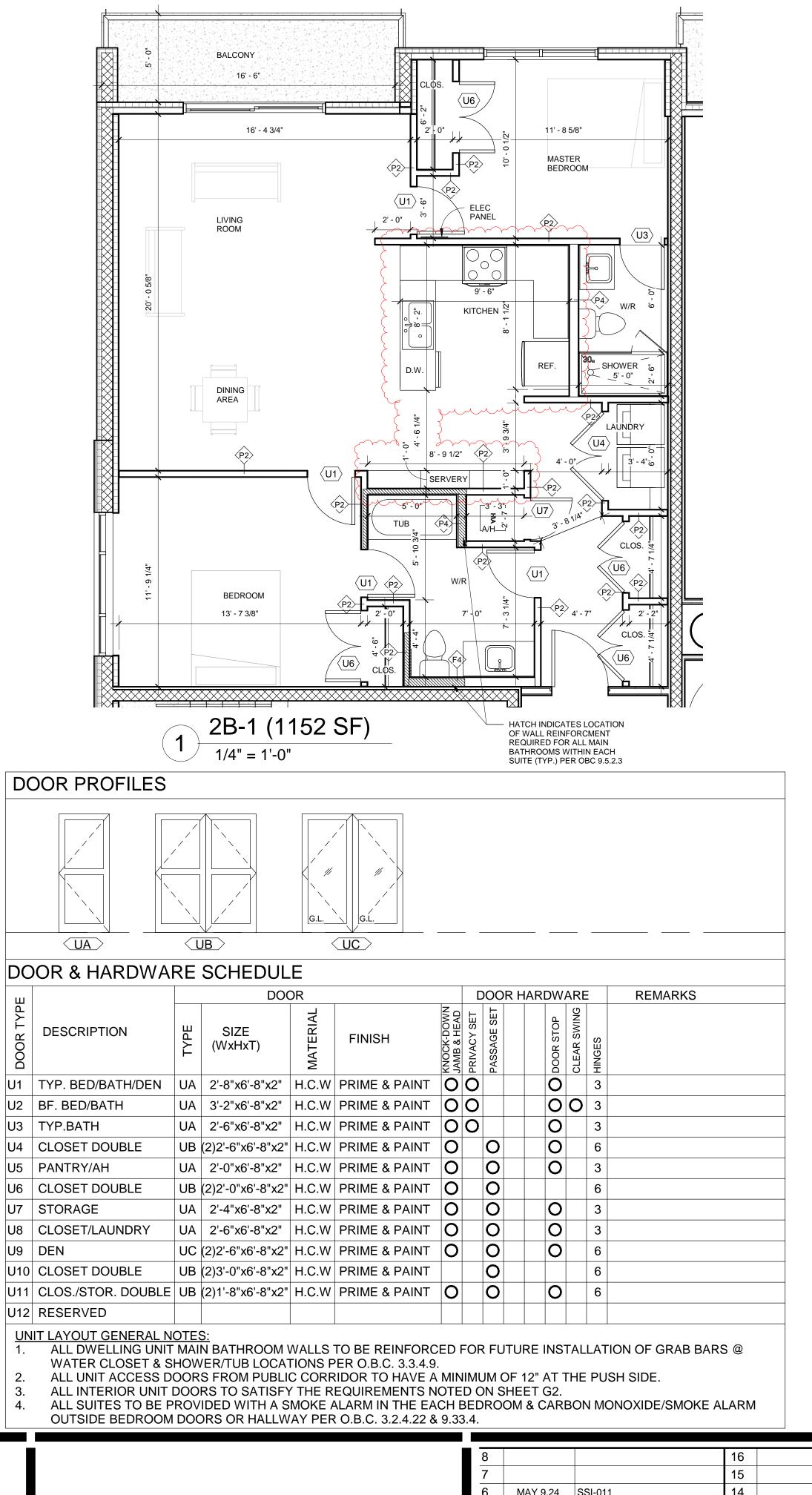
project no.: 22-0067

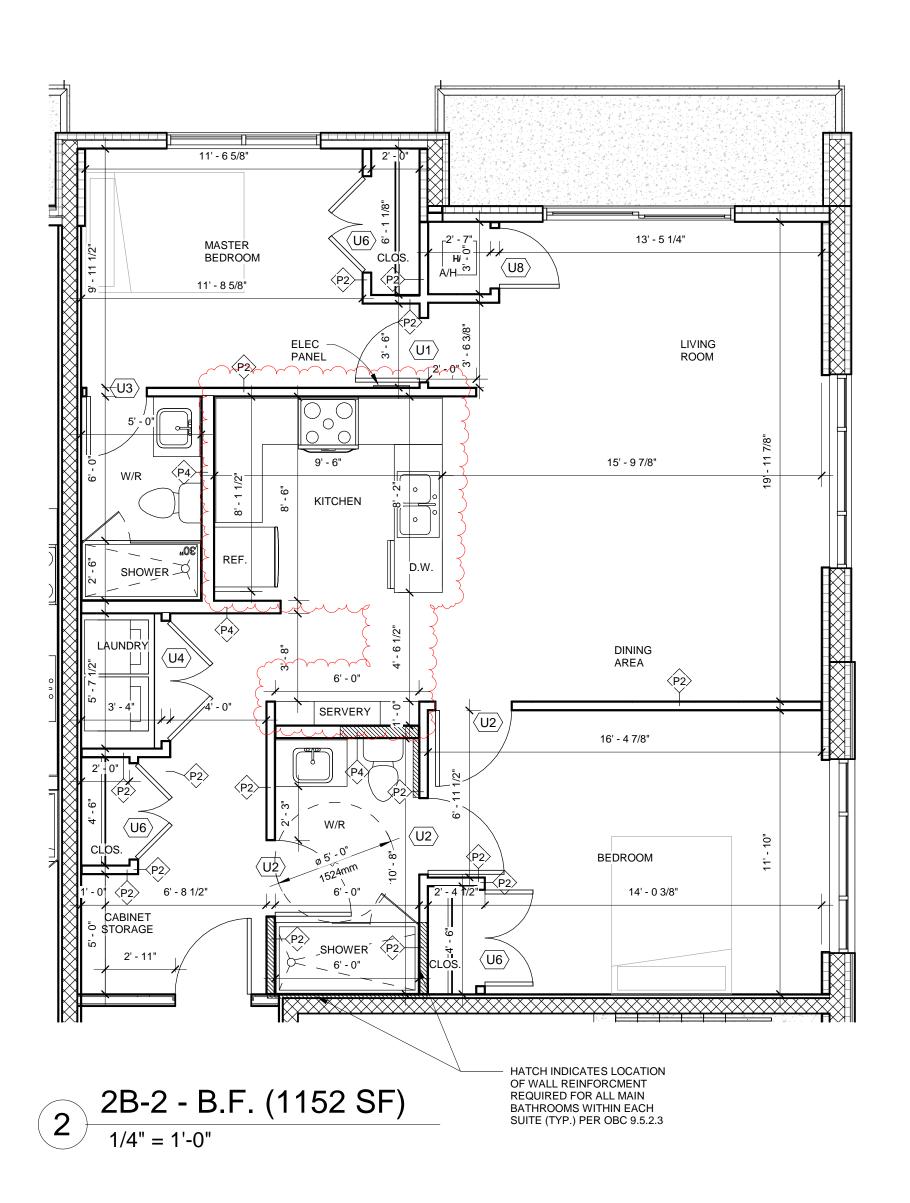
sheet no.:













ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE CONSULTANT.

THIS DRAWING IS NOT TO BE SCALED.
USE FIGURED DIMENSIONS ONLY.

10' - 5 3/4"

BEDROOM

10' - 7 3/4"

8' - 7"

DEN

10' - 6"

HATCH INDICATES LOCATION
OF WALL REINFORCMENT
REQUIRED FOR ALL MAIN

BATHROOMS WITHIN EACH

SUITE (TYP.) PER OBC 9.5.2.3

 $\langle U2 \rangle$ 

SERVERY

14' - 0 1/8"

KITCHEN

STORAGE SHELF

6 1B-6 - B.F. (955 SF) 1/4" = 1'-0"

 8
 16

 7
 15

 6
 MAY 9.24
 SSI-011
 14

 5
 APR. 10.24
 SSI-010
 13

 4
 MAR. 13.24
 SSI-009
 12

 3
 MAR. 04.24
 SSI-008
 11

 2
 NOV. 24.23
 SSI-006
 10

 1
 JUNE 19.23
 PERMIT
 9

 rev.
 date
 issued for

project:
MILL ST. APARTMENTS
22-0067

address: 6 MILL STREET., TILBURY ON

sheet name:
UNIT LAYOUTS

project no.:
22-0067

sheet no.:
A803