

MILL ST. APARTMENTS

6 MILL ST, TILBURY, ONTARIO

PROJECT NUMBER: 22-0067

PROJECT TEAM

<u>OWNER:</u>	<u>PROJECT ARCHITECT:</u>
ARK DESIGN BUILD	PROGRESSIVE ARCHITECTS, LTD.
296434 29th Line	5255 County Rd 42, Unit C
Lakeside, ON N0M 2G0	Windsor, ON N8N 2M1
Tel: 613-967-9444	Tel: 519-256-1607

CIVIL ENGINEER: _____ MECHANICAL ENGINEER _____ ELECTRICAL ENGINEER _____

TBD

STRUCTURAL ENGINEER

HGS LIMITED
3260 Devon Dr
Windsor, ON N8X 4L4
Tel: 519-944-3090

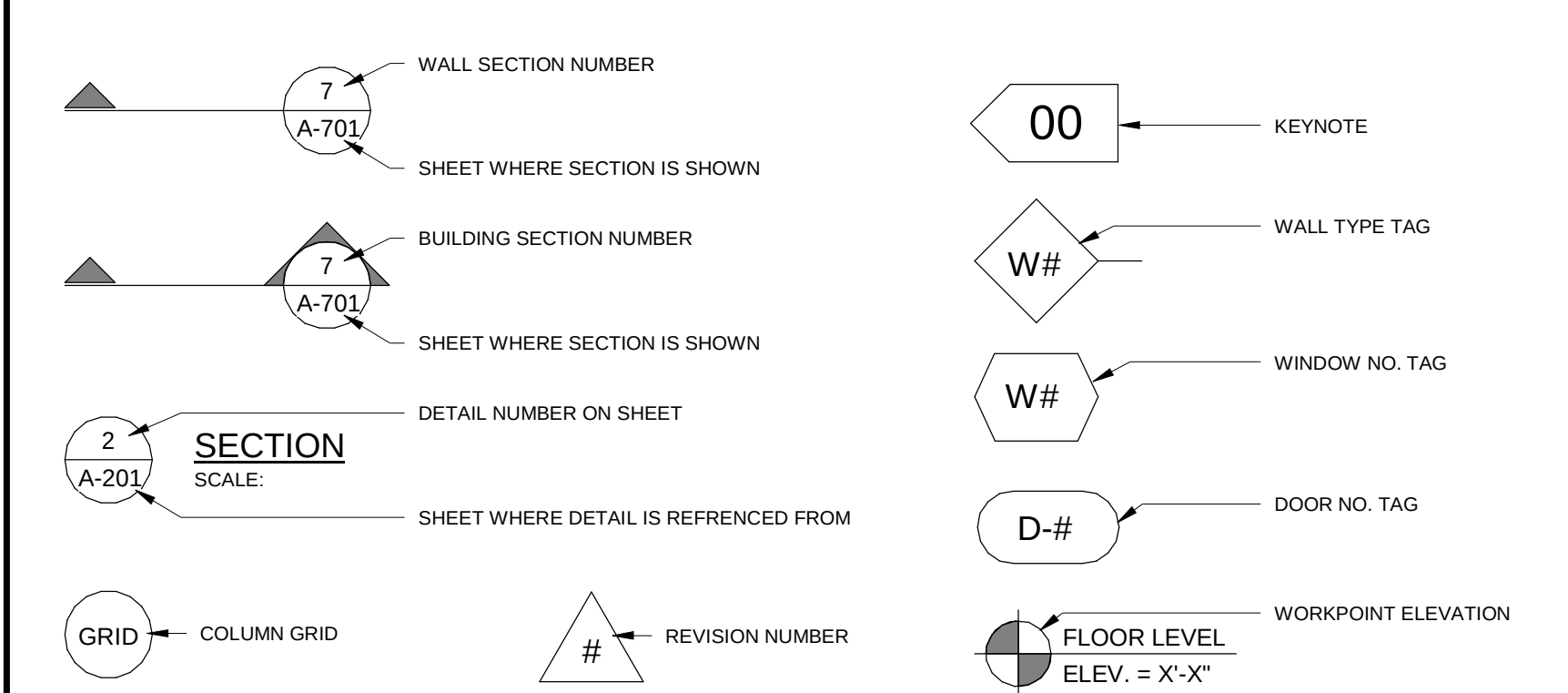
GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL COMPLY WITH CODES CURRENTLY IN EFFECT IN THE MUNICIPALITY OF CHATTAM-KENT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INSPECTION PRIOR TO BEGINNING OF WORK AND IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. DO NOT SCALE DRAWINGS. NUMERICAL DIMENSIONS SHOWN ON PLANS SHALL TAKE PRECEDENCE.
4. DOCUMENTATION: THE CONTRACTOR SHALL KEEP A RECORD OF ALL CHANGES TO THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL ANY CHANGES ON THE DRAWINGS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AT THE COMPLETION OF THE JOB AND BEFORE FINAL APPROVAL, THE GENERAL CONTRACTOR SHALL CERTIFY TO THE ACCURACY OF ALL APPROVED CHANGES AND CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE ACCORDING TO THE CONTRACT DOCUMENTS. THIS SET OF RECORDED CHANGES SHALL BE DELIVERED TO THE ARCHITECT AND SHALL BE CONSIDERED 'AS-BUILT' DRAWINGS.
5. AT THE COMPLETION OF THE GENERAL CONTRACTOR'S AND EACH SUBCONTRACTOR'S DAILY WORK, THEY SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS.
6. NO SUBSTITUTIONS OF EQUIPPED MATERIALS OR EQUIPMENT WILL BE ACCEPTED UNLESS QUOTED IN THE PROPOSAL OR SUBSEQUENTLY APPROVED BY THE ARCHITECT.
7. PLANS THAT DO NOT INDICATE THAT THEY HAVE BEEN APPROVED FOR CONSTRUCTION ARE INCOMPLETE AND ARE NOT TO BE USED FOR CONSTRUCTION.

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	DBL	DOUBLE	MIN	MINIMUM
ADD	ADDENDUM	DN	DOWN	MISC	MISCELLANEOUS
AFF	ABOVE FINISH FLOOR	DTL	DETAIL	MTL	METAL
ALUM	ALUMINUM	DWG	DRAWING	MRT	MOISTURE RESISTANT TREATED
AND	AND/OR	EXH	EXHAUST FAN	N/A	NOT APPLICABLE
APPROX	APPROXIMATE	EIFS	EXTERIOR INSULATION FINISH SYSTEM	NIC	NOT IN CONTRACT
ARCH	ARCHITECTURAL	EJ	EXPANSION JOINT	NO	NUMBER
&	AND	ELEV	ELEVATION	NTS	NOT TO SCALE
@	AT	ELEC	ELECTRICAL	OPP	OPPOSITE
L	ANGLE	ENCL	ENCLOSURE	PLUMB	PLUMBING
BD	BOARD	EQUIPE	EQUIPMENT	QTY	QUANTITY
BFF	BELOW FINISH FLOOR	EXIST	EXISTING	PC	PRE-CAST
BLK	BLOCK, BLOCKING	FIN	FINISH	R	RISER
BLDG	BUILDING	FL	FLOOR	RC	RAIN CONDUCTOR
BOS	BOTTOM OF STEEL	FV	FIELD VERIFY	REQ	REQUIRED
BULL	BULLETIN	GA	GAUGE	SCHED	SCHEDULE
CFL	CUBIC FOOT	GALV	GALVANIZED	SF	SQUARE FOOT
C I P	CAST IN PLACE	HC	HOLLOW CORE	STD	STANDARD
CJ	CONTROL JOINT	INFO	INFORMATION	STL	STEEL
CL	CENTERLINE	INSUL	INSULATION	T	TREAD
CEILING		LAV	LAVATORY	T&G	TOUNGE AND GROOVE
CO	CLEAN OUT	L.W.	LIGHT WEIGHT	TEMP	TEMPORARY
COLUMN		MATL	MATERIAL	TYP	TYPICAL
CONC	CONCRETE	MAX	MAXIMUM	W/	WITH
CONST	CONTINUOUS	MECH	MECHANICAL	W/O	WITHOUT
CONST	CONSTRUCTION	MFR	MANUFACTURER	WD	WOOD

GRAPHIC SYMBOLS



SHEET INDEX

[illegible]

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rev.	date	issued for	rev.	date	issued for

project:
MILL ST. APARTMENTS

address: 6 MILL STREET., TILBURY ON

sheet name:

SHEET INDEX

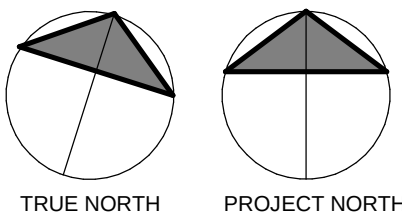
project no.:
22-0067

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O.B.C. (2012) INC. ONT REG. 88/19 DATA MATRIX-PART 3 & 9 MODEL
6 MILL ST E, TILBURY, ON

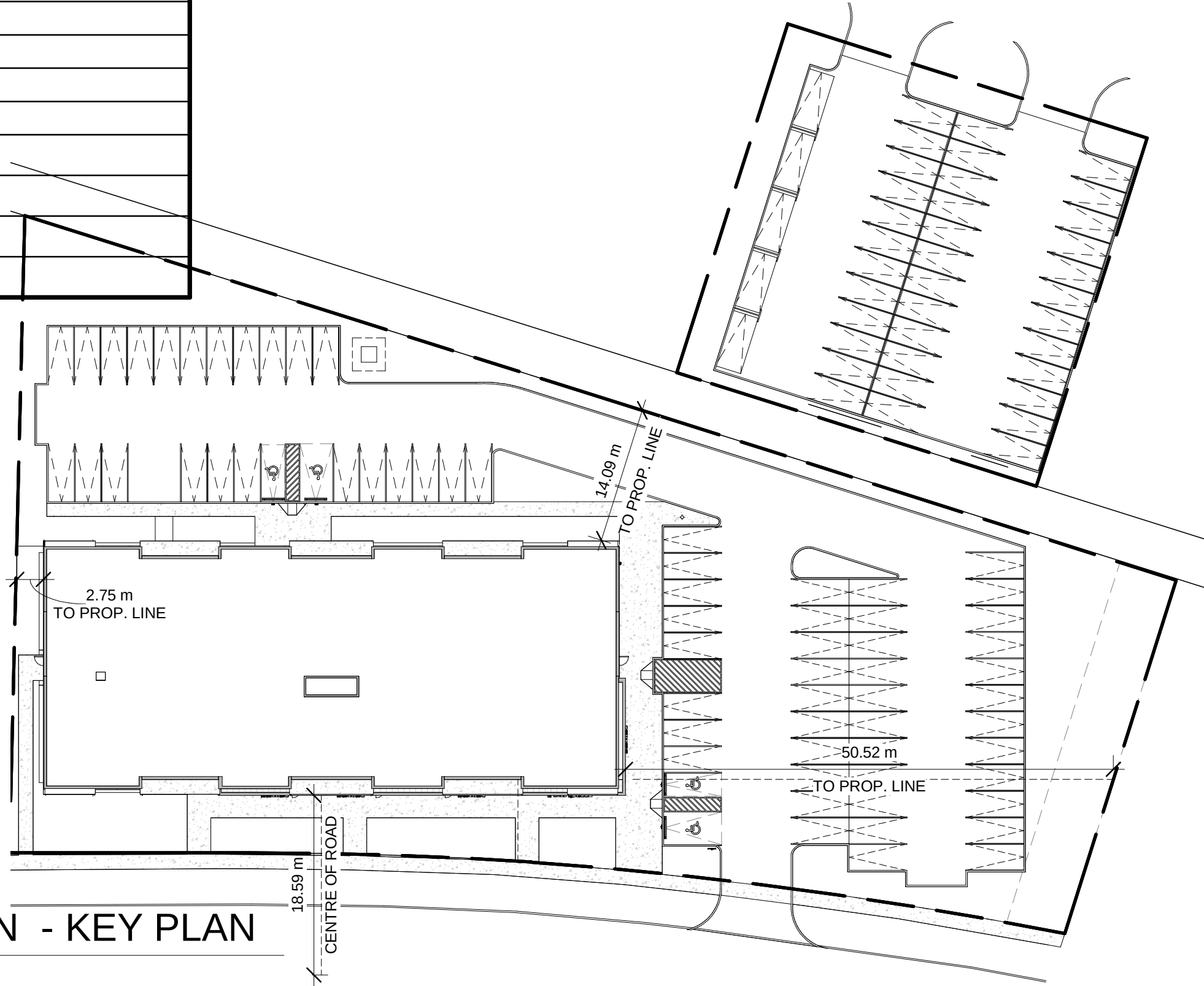
ITEM	ONTARIO BUILDING CODE DATA				O.B.C. REFERENCE		
3.01	PROJECT DESCRIPTION ☒ NEW				DIVISION B, PART 3	DIVISION B, PART 9	
	☐ ADDITION						
	☐ ALTERATION						
	☐ CHANGE OF USE				B.1.1.2.2		
3.02	MAJOR OCCUPANCY(S) RESIDENTIAL (GROUP C) / OFFICES (GROUP D)				B 3.1.2.1 (1)		
3.03	SUPERIMPOSED MAJOR OCCUPANCIES ☒ YES ☐ NO				3.2.2.7		
3.04	BUILDING AREA m² / FT² 1,456 m² / 15,672FT²				A 1.4.1.2		
3.05	GROSS AREA m² / FT²	DESCRIPTION:	TOTAL:				
		GROUP 'C'	6,707.88 m²/ 72,203 FT²				
		GROUP 'D'	486.72 m²/ 5,239 FT²				
			7194.61 m²/ 77,442 FT²				
3.06	MEZZANINE(S) AREA (m²) NIL				B3.2.1.1.(3)-(8)	B9.10.4.1	
3.07	BUILDING HEIGHT (NO. OF STORIES)		ABOVE GRADE: 5 BELOW GRADE: 0		A 1.4.1.2, 3.2.1.1. (1)		
	HEIGHT OF BUILDING (m)		14.25m (FROM GROUND FLOOR TO 5TH FLOOR)		B 3.2.6.1		
3.08	HIGH BUILDING SAFETY MEASURE APPLIED ☐ YES ☒ NO				B3.2.6		
3.09	NUMBER OF STREETS/ ACCESS ROUTE ONE				B 3.2.2.10, B 3.2.2.5		
3.10	BUILDING CLASSIFICATION GROUP C, UP TO 6 STOREYS, SPRINKLERED, NON COMBUSTIBLE GROUP D, UP TO 6 STOREYS, SPRINKLERED, NON COMBUSTIBLE				B 3.2.2.43 B 3.2.2.51		
3.11	SPRINKLER SYSTEM REQUIREMENT ☐ NOT REQUIRED				B 3.2.2.43		
	☒ ENTIRE BUILDING				B 3.2.5.13		
	☐ BASEMENT ONLY						
3.12	STANDPIPE REQUIREMENT ☒ REQUIRED ☐ NOT REQUIRED				B 3.2.9.1		
3.13	FIRE ALARM REQUIREMENT ☒ REQUIRED ☐ NOT REQUIRED					B9.10.6	
	PROPOSED ☒ SINGLE STAGE ☐ TWO STAGE ☐ NONE				B 3.2.4.1		
3.14	WATER SERVICE/SUPPLY IS ADEQUATE ☒ YES ☐ NO						
3.15	CONSTRUCTION TYPE: RESTRICTION: ☐ COMBUSTIBLE ☒ NON COMBUSTIBLE ☐ BOTH					B9.10.6	
	ACTUAL CONSTRUCTION: ☐ COMBUSTIBLE ☒ NON COMBUSTIBLE ☐ BOTH						
	HEAVY TIMBER CONSTRUCTION: ☐ YES ☒ NO						
3.16	IMPORTANCE CATEGORY: ☐ LOW ☐ LOW HUMAN OCCUPANCY ☐ POST-DISASTER SHELTER				4.1.2.1(3) & T4.1.2.1.B		
	☒ NORMAL						
	☐ HIGH ☐ MINOR STORAGE BUILDING ☐ EXPLOSIVE OR HAZARDOUS SUBSTANCE						
3.17	SEISMIC HAZARD INDEX: (Ie Fa Sa(0.2))= 0.16				4.1.2.1(3) & 4.1.8.18.(2)		
	SEISMIC DESIGN REQUIRED FOR TABLE 4.1.8.15. ITEMS 6-12: (Ie Fa Sa(0.2)) ≥ 0.35 OR POST-DIASTER) ☒ NO ☐ YES						
3.18	OCCUPANT LOAD: ☒ BASED ON SLEEPING ROOMS ☒ BASED ON AREA				B 3.1.17 B.3.2.2.7	B 9.9.1.3	
	☐ BASED ON DESIGN FOR ANCILLARY OCCUPANCIES						
	FLOOR	GROUP	AREA OR COUNT	RATIO	NO. OF PERSONS		
	1ST-5TH FLOOR UNITS	GROUP 'C'	90 SLEEPING ROOMS	2 PER/SLEEPING ROOM	180 PERSONS		
	AMENITIES 1ST FLR	GROUP 'C'	78.9M²	BY DESIGN	10 PERSONS		
OFFICES GROUND FLOOR	GROUP 'D'	486.72 M²	9.30M²/PERSON	53 PERSONS			
	TOTAL				243 PERSONS		
3.19	BARRIER FREE DESIGN ☒ YES ☐ NO (EXPLAIN)				B 3.8	B 9.5.2	
3.20	HAZARDOUS SUBSTANCES ☐ YES ☒ NO				B 3.3.1.2 (1) & B3.3.1.19(1), PART 3	B 9.10.1.3 DIVISION B, PART 9	
3.21	REQUIRED FIRE RESISTANCE RATING (FRR) - HOIZONTAL ASSEMBLIES AND SUPPORTS				GROUP C, UP TO 6 STOREYS, SPRINKLERED, NON COMBUSTIBLE	MOST STRINGENT APPLIES PER B3.2.2.5 THRU B3.2.2.8	LISTED DESIGN NO. OR DESCRIPTION (SB-2)
	FLOORS		1 HR		B3.2.2.43	SB-2 2.2	
	ROOF		NIL		B3.2.2.43	SB-2 2.2	
	MEZZANINE		N/A		--	--	
	FRR OF SUPPORTING ASSEMBLIES						
	FLOOR SUPPORTS		1 HR		B3.2.2.43	SB-2 2.8	
	ROOF SUPPORTS		NIL		B3.2.2.43	SB-2 2.8	
	MEZZANINE SUPPORTS		N/A		--	--	

ITEM	ONTARIO BUILDING CODE DATA MATRIX CONTINUED										O.B.C. REFERENCE	
3.21	REQUIRED FIRE RESISTANCE RATING (FRR) - HOIZONTAL ASSEMBLIES AND SUPPORTS		GROUP D, UP TO 6 STOREYS, SPRINKLERED, NON COMBUSTIBLE						FRR OF HORIZONTAL ASSEMBLIES		MOST STRINGENT APPLIES PER B3.2.2.5 THRU B3.2.2.8	LISTED DESIGN NO. OR DESCRIPTION (SB-2)
			FLOORS		1 HR				B3.2.2.51	SB-2 2.2		
			ROOF		NIL				B3.2.2.51	SB-2 2.2		
			MEZZANINE		N/A				--	--		
			FRR OF SUPPORTING ASSEMBLIES									
			FLOOR SUPPORTS		1 HR				B3.2.2.51	SB-2 2.8		
			ROOF SUPPORTS		NIL				B3.2.2.51	SB-2 2.8		
			MEZZANINE SUPPORTS		N/A				--	--		
3.22	SPATIAL SEPERATION										B3.2.3.1.D, B3.2.3.2(1), B3.2.3.7	
	WALL	AERA OF EBF m²	L.D	PERMITTED MAX. % OF OPENING	PROPOSED % OF OPENINGS	FRR HOURS	CONSTRUCTION OF WALL (REQUIRED)	CONSTRUCTION OF WALL (PROVIDED)	CONSTRUCTION OF CLADDING (REQUIRED)	CONSTRUCTION OF CLADDING (PROVIDED)		
GROUP C	NORTH	33.79m² NE CORNER-GND	14.09 m PROP. LINE	UNLIMITED	26.5%	NIL	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	NON. COMBUSTIBLE	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	COMBUSTIBLE		
	EAST	31.02 m² SE CORNER-2ND	50.52 m PROP. LINE	UNLIMITED	27.3%	NIL	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	NON. COMBUSTIBLE	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	COMBUSTIBLE		
	SOUTH	15.71m² SE CORNER-2ND	18.59 m TO 4 ROAD	UNLIMITED	36.7%	NIL	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	NON. COMBUSTIBLE	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	COMBUSTIBLE		
	SOUTH	33.82m² SW CORNER-GND	18.59 m TO 4 ROAD	UNLIMITED	27.4%	NIL	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	NON. COMBUSTIBLE	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	COMBUSTIBLE		
	WEST	34.67 m² NW CORNER-GND	2.75 m PROP. LINE	37.50% T3.2.3.1.D	11.6%	3/4HR	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	NON. COMBUSTIBLE	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	NON. COMBUSTIBLE		
GROUP D	EAST	39.59 m² OFFICE #4	50.52 m PROP. LINE	UNLIMITED	39.7%	NIL	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	NON. COMBUSTIBLE	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	COMBUSTIBLE		
	SOUTH	45.78m² OFFICE #1	18.59 m TO 4 ROAD	UNLIMITED	61.2%	NIL	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	NON. COMBUSTIBLE	COMBUSTIBLE OR NON. COMBUSTIBLE PERMITTED	COMBUSTIBLE		
3.23	PLUMBING FIXTURE REQUIREMENTS:		RATIO: MALE:FEMALE= 50/50 EXCEPT AS NOTED OTHERWISE				3.7.4.					
FLR LEVEL/AREA:			OCCUPANT LOAD	OBC REF.	FIXTURES REQ'D	PROVIDED						
3.24	ENERGY EFFICIENCY:		GROUND		10 PERSONS	T3.7.4.3.A	1 FIXTURES	1 FIXTURES				
			COMPLIANCE PATH:		BUILDING ENERGY PERFORMANCE COMPLIANCE PATH							
			CLIMATE ZONE:		ZONE 1 (ASHRAE- 5A)							
3.25	ADDITIONAL INFORMAITON:											
3.25a	REQUIRED FIRE RESISTANCE RATING (FRR) VERTICAL FIRE SEPERATIONS:											
	ADJACENT AREAS						REQ'D FRR (HRS)	O.B.C. PART 3 REF.				
	.1 PUBLIC CORRIDOR / ADJACENT AREA (UNLESS NOTED OTHERWISE)						1 HR	B3.3.1.4.(2) & B3.3.4.2				
	.2 JANITOR'S ROOM / ANY ADJACENT AREA						1 HR	B3.3.1.20.(1)				
	.3 EXITS (STAIRWELLS) / ADJACENT AREA						1 HR	B3.4.4.1.(1)				
	.4 ELEVATOR HOISTWAY & MACHINE RM. / ADJACENT AREA						1 HR	B3.5.3.1 & B3.5.3.3				
	.5 SERVICE ROOM(W/FUEL-FIRED APPLIANCE OR FIRE SAFETY SYSTEMS) / ADJACENT AREA						NIL IN RESIDENTIAL SUITES 1 HR IN OTHER LOCATIONS	B3.6.2.1.(2) B3.6.2.1.(1)				
	.6 SERVICE ROOMS (NO FUEL-FIRED APPLIANCE OR FIRE SAFETY SYSTEMS) / ADJACENT AREA						WAIVED	B3.6.2.1.(8)				
	.7 REFUSE STORAGE / ADJACENT AREA						2 HR	B3.6.2.5				
	.8 BETWEEN GROUP 'D' / ADJACENT AREA						1 HR	B3.1.3.1				
3.25b	MAX. LENGTH OF DEAD END CORRIDOR IN GROUP 'C'						6 M	3.3.1.9.(9)				
3.25c	MAX. TRAVEL DISTANCE TO NEAREST EXIT IN A SPRINKLERED FLOOR AREA						45 M	3.4.2.5(1)(f) 3.4.2.5(c)				
3.25d	FIREFIGHTER ELEVATOR				☐ YES ☒ NO		B 3.2.6.5					
3.25e	CACF ROOM				☐ YES ☒ NO		B 3.2.6.7					



1 SITE PLAN - KEY PLAN

1" = 40'-0"



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3	JUNE 19.23	PERMIT	11		
2	APR. 28.23	FOUNDATION PERMIT	10		
1	FEB. 16.23	SPA	9		
rev.	date	issued for	rev.	date	issued for

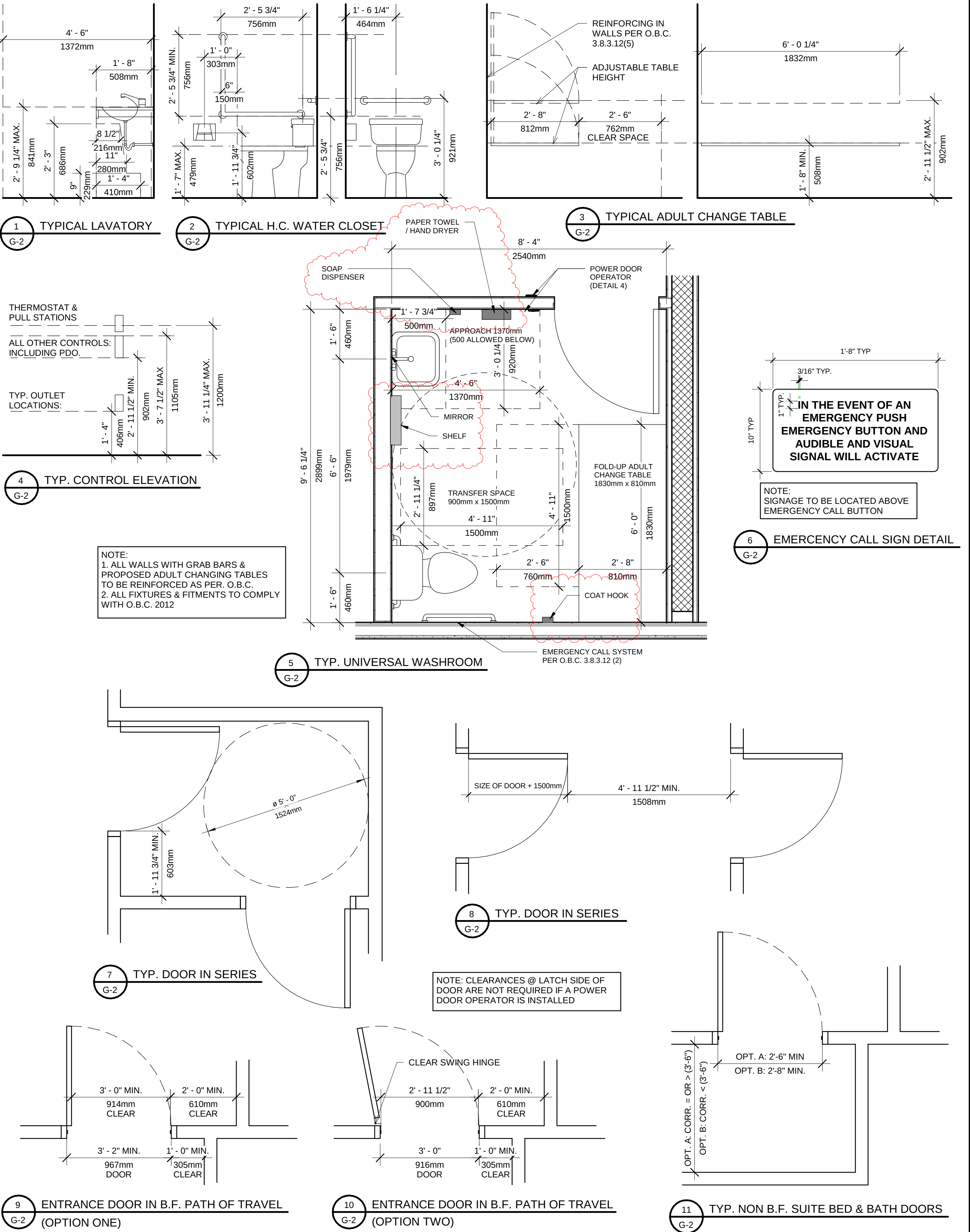
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MILL ST. APARTMENTS
address: 6 MILL STREET., TILBURY ON
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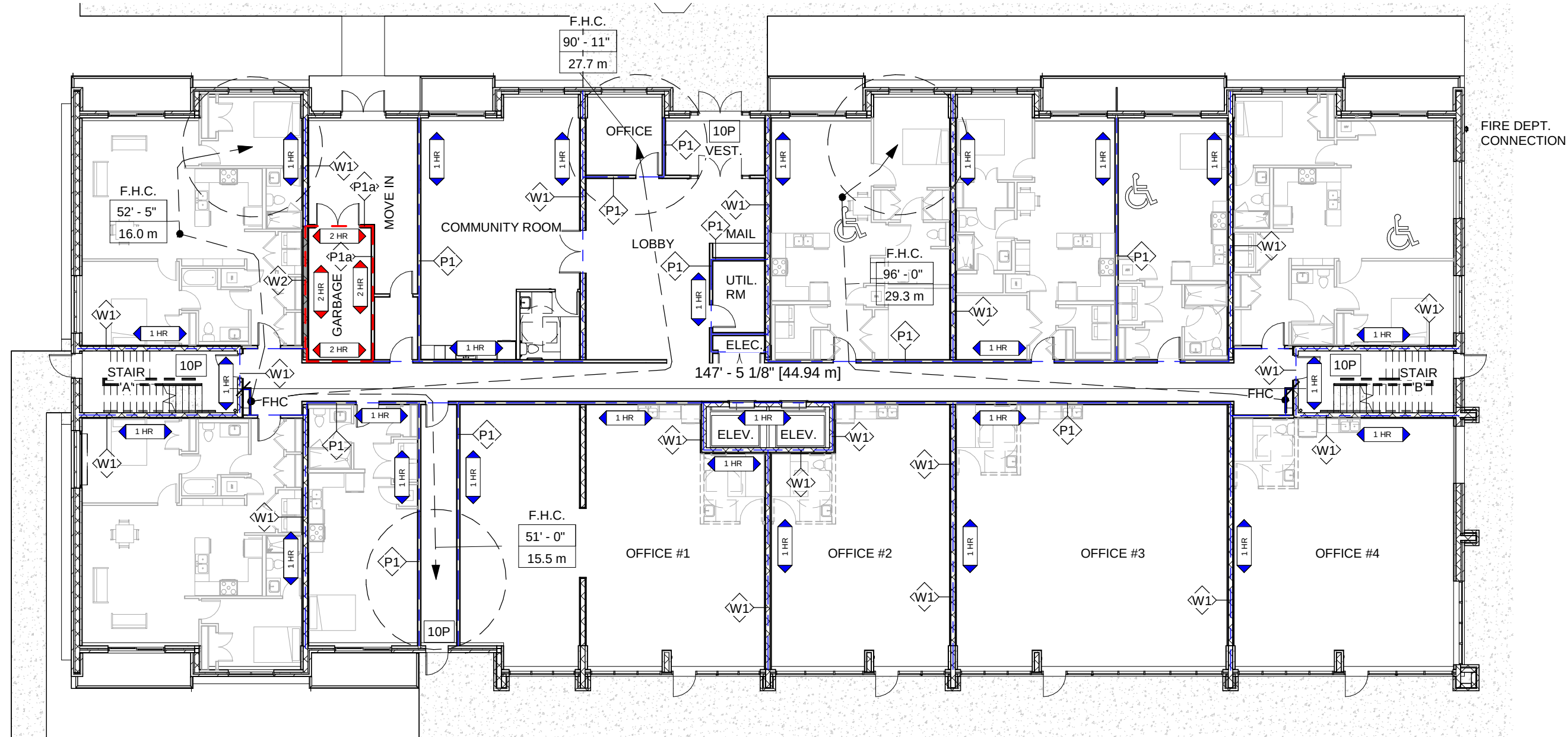
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22-0067
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O.B.C. (2012- REG. 332/12) B.F. REQUIREMENTS - PART 3.8 (TYPICAL REFERENCES)

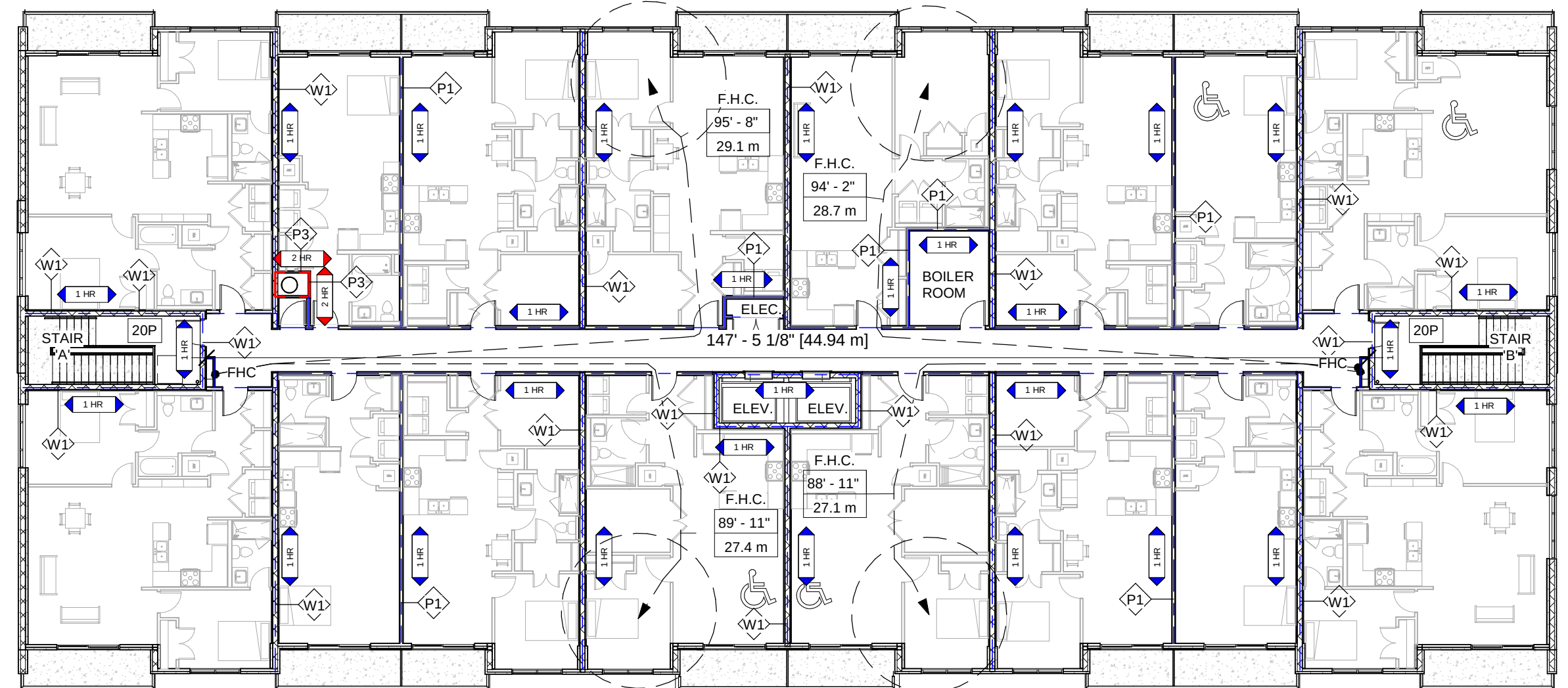
GROUP 'C' MAJOR OCCUPANCY						
		DESCRIPTION	CODE REQUIRED	PROVIDED	CODE REFERENCE	DETAIL REFERENCE (ON THIS SHEET)
1.	# OF B.F. ENTRANCES:		1		3.8.1.2	
	PATH OF TRAVEL:	CORRIDOR WIDTH	1100mm (3'-7 1/4") MIN.		3.8.1.3(1)	
	PROVIDED THROUGHOUT THE ENTRANCE STOREY & ALL NORMALLY OCCUPIED FLOOR AREAS	CORRIDOR WIDTH <1600mm (5'-3")	1800mm (5'-11"0 X 1800mm (5'-11") SPACE EVER 30m (98'-5")		3.8.1.3(4)	
		HEADROOM CLEARANCE	2100mm (6'-11") MIN.			
		< 1980mm (6'-6") GUARDRAIL REQ'D		3.8.1.3(5)		
2.	ACCESSIBLE SIGNS:	PROVIDED	LOCATED @ B.F. ENTRANCE, APPLICABLE RAMPS & LOADING ZONES. WHERE A WASHROOM, ELEVATOR, TELEPHONE OR PARKING AREA IS REQUIRED.		3.8.3.1	
	SIGN INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS SHALL BE INSTALLED WHERE NECESSARY TO INDICATE THE BARRIER FREE MEANS OF EGRESS. 3.8.3.1(4)	WASHROOM SIGN DESIGN	INTERNATIONAL SYMBOL OF ACCESS AND SUCH OTHER GRAPHIC, TACTILE OR WRITTEN DIRECTIONS AS ARE NEEDED INDICATE CLEARLY THE TYPE OF FACILITY.		3.8.3.1(2)	
			IN THE EVENT OF AN EMERGENCY...		3.8.3.12(2b)	DETAIL #6
		LOCATION	NO < 1200mm (3'-11 1/4") & NO > 1500mm (5'-0") A.F.F.		3.8.3.1(5)	
	3.	CONTROLS:	OPERABILITY	SIDE APPROACH		3.8.1.5(1a)
INCLUDING: POWER DOOR OPERATORS, CONTROLS FOR THE OPERATION OF BUILDING SERVICES OR SAFETY DEVICES, ELECTRICAL SWITCHES, THERMOSTATS & INTERCOM SWITCHES, INTENDED TO BE OPERATED BY THE OCCUPANT LOCATED IN A BARRIER-FREE PATH OF TRAVEL.			ONE HANDED & CLOSE FISTED		3.8.1.5(1b)	
		THERMOSTAT & PULL STATION	@ 1200mm (3'-11 1/4") A.F.F.		3.8.1.5(1c)	
		ALL OTHER CONTROLS	NO < 900mm (2'-11 1/2") & NO > 1100 (3'-7 1/4") A.F.F.		3.8.1.5(1c)	
4.	POWER DOOR OPERATOR:	PROVIDED	LOCATED @ ONE ENTRANCE, NORMALLY OCCUPIED FLOOR AREAS & UNIVERSAL WASHROOM IN B.F. PATH OF TRAVEL.		3.8.1.5, 3.8.3.3(4) & 3.8.2.1(1c)	DETAIL #4
		LOCATION OF OPERATOR (FROM FINISHED FLOOR)	LATCH SIDE & OPERABLE FROM EITHER SIDE		3.8.8.3(16)	
		LOCATION OF OPERATOR (FROM DOOR)	NO < 900mm (2'-11 1/2") & NO > 1100mm (3'-7 1/4") A.F.F.		3.8.1.5(1c) & 3.8.3.3(1)	
			IF THE DOOR SWINGS TOWARDS THE CONTROL		3.8.3.3(17c)	
5.	DOORS IN B.F. PATH OF TRAVEL:	W/ CORRIDOR 1100mm (3'-7 1/4") MIN.	860mm (2'-10") MIN.	915mm (3'-0") W/CLEAR SWING HINGE		DETAIL #9&10
	INCLUDING: UNIVERSAL WASHROOMS, AMENITY ROOMS & B.F. SUITE DOORS.			OR 3'-2" DOOR		
		CLEARANCE IN FRONT OF DOOR	1100mm (3'-7 1/4") TO 1500mm (4'-11")			
		CLEARANCE @ PUSH SIDE	300mm (12") MIN.		3.8.3.3(10a)	DETAIL #9&10
		CLEARANCE @ PULL SIDE	600mm (24") MIN.		3.8.3.3(10a)	
		CLEARANCE @ SLIDING DOOR	300mm (12") MIN.		3.8.3.3(10a)	
		DOOR OPENING DEVICE (HANDLE)	OPERABLE W. CLOSED FIST		3.8.3.3(3)	
			NO < 900mm (2'-11 1/2") & NO > 1100mm (3'-7 1/4") A.F.F.			
6.	UNIVERSAL WASHROOMS:	DOORS CONFORMING W/SECTION (5) ABOVE	& LOCKABLE FROM INSIDE, RELEASABLE FROM OUTSIDE		3.8.3.12(1b)	
		INTERIOR DIMENSIONS	NO < 1700mm (5'-6")		3.8.3.12(1f)	
		TURNING SPACE	NO < 1700mm (5'-6") DIA.		3.8.3.12(1h)	DETAIL #5
	ADULT SIZE CHANGE TABLE		SURFACE OF 810mm (2'-8") X 1830mm (6'-0")		3.8.3.12(3)	DETAIL #3
			CLEAR SPACE PARALLEL 760mm (2'-6") X 1500mm (5'-0")		3.8.3.12(5c)	
			ADJUSTABLE FROM 500mm (1'-8") TO 900mm (2'-11 1/2") A.F.F.		3.8.3.12(5a)	
			W. REINFORCING IN WALLS FOR MIN. LOAD OF 1.33kN		3.8.3.12(5)	
	LAVATORY		460mm (18 1/4") FROM C.L. TO WALL MIN.		3.8.3.11(1a)	DETAIL #1
			MOUNTED NO > 840mm (2'-9 1/4") A.F.F.		3.8.3.11(1b)	
			1370mm (4'-6") CLEAR APPROACH 500mm (1'-8") ALLOWED UNDER		3.8.3.11(1f)	
		HAND OPERATED ACCESSORIES				DETAIL #4
		INCLUDING: SOAP DISPENSERS & TOWEL DISPENSERS.	NO > 1200mm (3'-11 1/4") A.F.F.		3.8.3.11(1g) & (1h)	
		INCLUDING: ALL OTHER DISPENSERS & CONTROL OR OPERATING MECHANISMS	NO < 900mm (2'-11 1/2") & NO > 1200mm (3'-11 1/4") A.F.F.		3.8.3.11(3)	
		COAT HOOK	NOT MORE THAN 1200mm ABOVE THE FLOOR AND NOT PROJECTING MORE THAN 50mm FROM WALL		3.8.3.8(1e)	
		SHELF	NOT MORE THAN 1100mm ABOVE THE FLOOR AND NOT PROJECTING MORE THAN 100mm FROM WALL		3.8.3.12(1g)	
		WATER CLOSET	NO < 430mm (1'-4") & NO > 485mm (1'-7") A.F.F.		3.8.3.9	DETAIL #2
		GRAB BARS	900mm (2'-11 1/2") X 1500mm (5'-0") TRANSFER SPACE BESIDE W.C.			
			NO < 35mm (1 1/4") & NO > 40mm (1 1/2") IN DIA.		3.8.3.8(7b) & (7c)	DETAIL #2
			38mm (1 1/2") CLEAR FROM WALL			
		LOCATED BESIDE THE WATER CLOSET BE CONTINUOUS L-SHAPED	750mm (2'-5 3/4") LONG MIN.		3.8.3.8(5a)	
		HORIZ. COMPONENT 750mm (2'-6") A.F.F.		3.8.3.8(5b)		
		VERT. COMPONENT 150mm (6") IN FRONT OF W.C.		3.8.3.8(5b)		
	LOCATED BEHIND THE WATER CLOSET	600mm (2'-0") LONG MIN.		3.8.3.8(6a)		
		& 840mm (2'-9") TO 920mm (3'-0 1/4") A.F.F.		3.8.3.8(6b)		
	EMERGENCY CALL SYSTEM	REQUIRED INSIDE & OUTSIDE OF WASHROOM; WITH CONTROL DEVICE INSIDE		3.8.3.12(2a)	DETAIL #4&6	
		SIGN REQUIRED REF. SECTION (2) ABOVE				
7.	RESIDENTIAL SUITES (15%):				3.8.3.1(5)	
	AT LEAST ONE BEDROOM, BATHROOM 3.8.2.1(6), A KITCHEN, A LIVING ROOM SPACE.	STUDIO	15% (18 UNITS)= 2.7	5 UNITS MIN.		
		ONE BEDROOM UNITS	15% (34 UNITS)= 5.1	9 UNITS MIN.		
		TWO BEDROOM UNITS	15% (19 UNITS)= 2.85	5 UNITS MIN.		
		TOTAL	15% (71 UNITS)= 10.65	19 UNITS MIN.		
8.	B.F. SUITE DOOR (MAIN):	CLEARANCES SAME AS SECTION (5) ABOVE				DETAIL #9&10
		VIEWER (PEEPSIGHT)	NO > 1100mm (3'-7 1/4") A.F.F.			
9.	B.F. SUITE DOOR (INTERIOR):	ONE BATH & ONE BEDROOM (CLEARANCES SAME AS SECTION 5 ABOVE)	A. > 1060mm (3'-6") COORIDOR = DOOR 760mm (2'-6") MIN.	915mm (3'-0")	3.8.3.3(2)	DETAIL #11
			B. > 1060mm (3'-6") COORIDOR = DOOR 810mm (2'-8") MIN.	915mm (3'-0")	3.8.3.3(2)	
10.	B.F. SUITE WASHROOM:		NO < 1500mm (5'-0") DIA. TURNING SPACE		3.8.2.1(6e)	
			WALL REINFORCING FOR FUTURE INSTALLATION OF GRAB BARS		3.8.2.1(6d) & 3.3.4.9(1)	
11.	TACTILE ATTENTION INDICATORS:	LOCATION	> 250mm (10") A.F.F. OR SLOPED STEEPER THAN 1 IN 3		3.8.3.17(1b)	

TYPICAL ACCESSIBILITY DETAILS

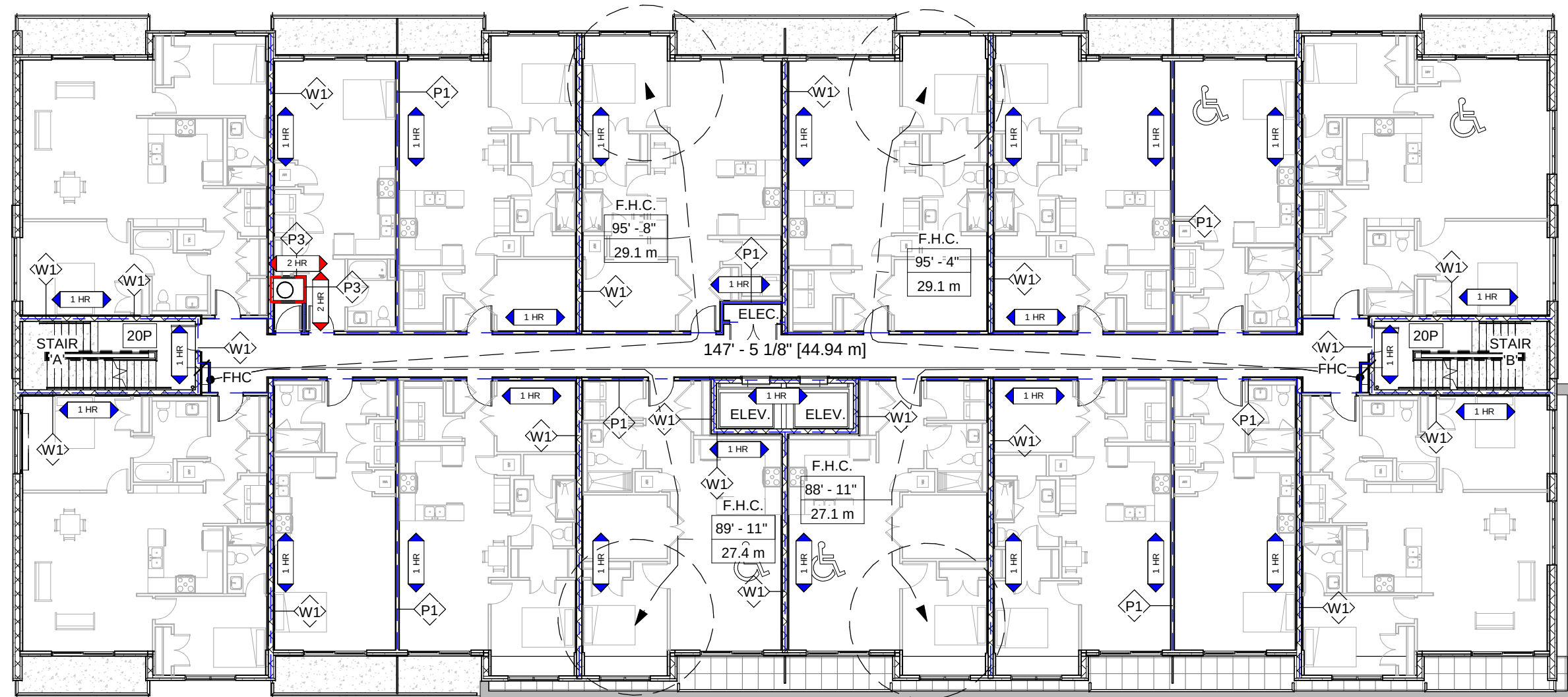




1 1ST FLOOR LS PLAN
1/16" = 1'-0"



3 5TH FLOOR LS PLAN
1/16" = 1'-0"



2 2ND - 4TH FLOOR LS PLANS
1/16" = 1'-0"

LEGEND	
147.6' [45.0m]	TRAVEL DISTANCE (MAX. = 147.6' [45.0m])
98.4' [30.0m]	FIRE HOSE DISTANCE (F.H.) + 3m COVERAGE (MAX. = 98.4' [30.0m])
SOP	OCCUPANT LOAD PER EXIT
F.H.C.	FIRE HOSE CABINET (F.H.C.) (REFER TO MECHANICAL DRAWINGS)
F.D.C.	FIRE DEPART CONNECTION (F.D.C.) (REFER TO MECHANICAL DRAWINGS)
W1	WALL TYPE (REFER TO WALL SCHEDULE)
---	1 HOUR FIRE RATED WALLS
---	2 HOUR FIRE RATED WALLS

FIRE SEPARATION SCHEDULE	
WALLS BETWEEN UNITS.....	1 HOUR
WALLS BETWEEN UNITS AND CORRIDORS.....	1 HOUR
WALLS AROUND ELEC. CLOSET.....	1 HOUR
WALLS AROUND CAF ROOM AND OFFICE.....	1 HOUR
WALLS AROUND STORAGE ROOMS.....	1 HOUR
WALLS AROUND ELEC. ROOM.....	1 HOUR
WALLS AROUND STAIRS.....	1 HOUR
WALLS AROUND EXIT CORRIDORS.....	1 HOUR
WALLS BETWEEN OFFICES AND RESIDENTIAL.....	1 HOUR
WALLS AROUND ELEVATOR ELEV. LOBBY.....	1 HOUR
WALLS AROUND GARBAGE/RECYCLE ROOMS.....	2 HOURS

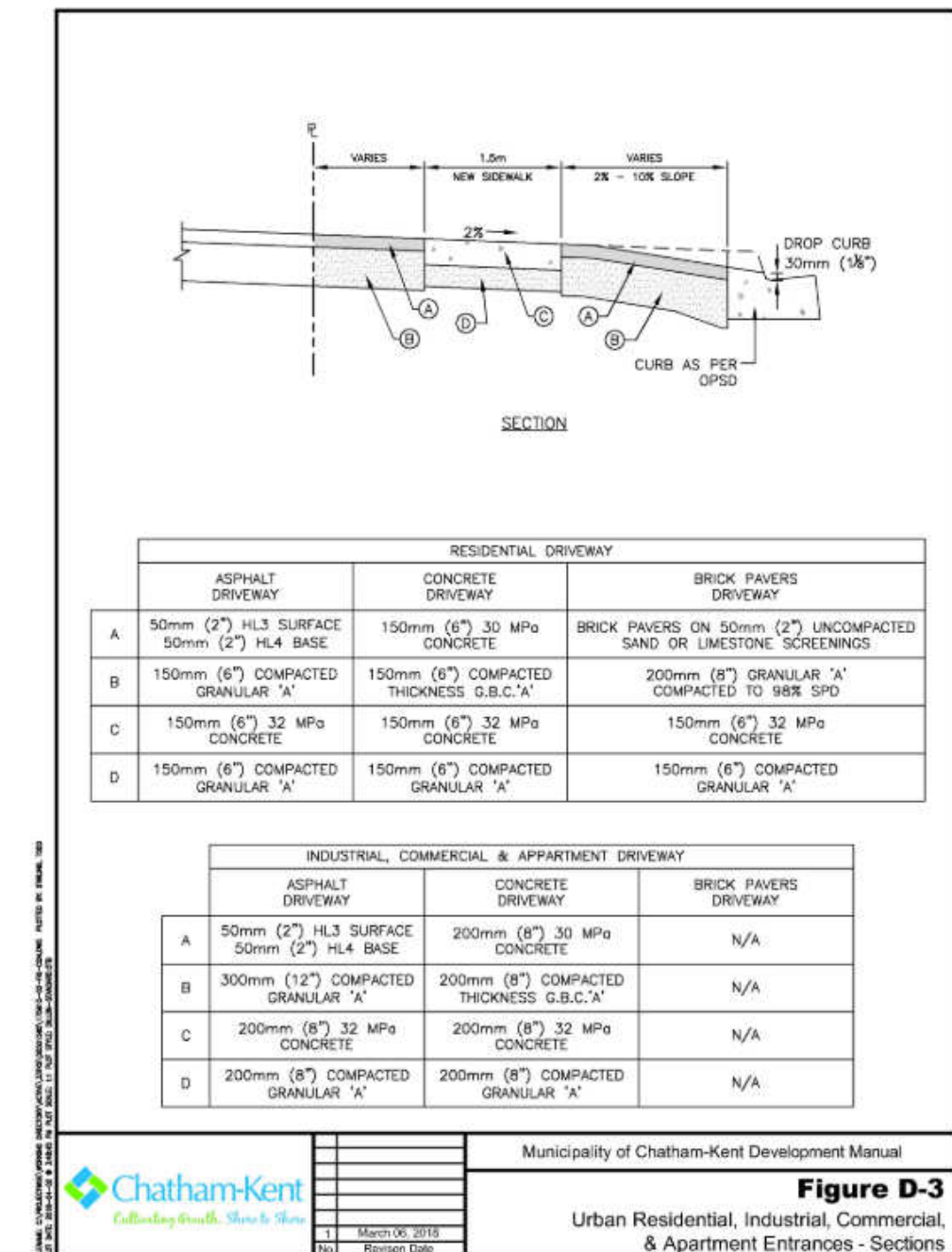
FIRE RATED WALL TYPES (REFER TO SHEET A601 FOR WALL TAGS & FIRE STOP DETAILS)		
 MASONRY WALL 6" OR 8" STANDARD CONCRETE BLOCK WITH GROUTED CORES AND MASONRY REINF. EVERY SECOND COURSE 1.5 HR FIRE RATING (MAX.) OBC SB- T 2 2.1 TYPE 'N' CONCRETE, EQUIVALENT THICKNESS = 95mm (MIN.) STC RATING: 50 STC TEST: OBC SB-3 B1b	 MASONRY WALL 8" LIGHTWEIGHT CONCRETE BLOCK WITH GROUTED CORES AND MASONRY REINF. EVERY SECOND COURSE 2 HR FIRE RATING (MAX.) OBC SB- T 2 2.1 TYPE 'N' CONCRETE, EQUIVALENT THICKNESS = 193mm (MIN.) STC RATING: 50 STC TEST: OBC SB-3 B1b	 STUD DEMISING & CORRIDOR WALL • 1 LAYERS OF 5/8" TYPE 'X' GYP. BRD • 3-5/8" STEEL STUDS @ 24" O.C. • GLASS FIBRE FRICTION FIT IN STUD SPACE • 1/2" RESILIENT CHANNELS @ 24" O.C. • 2 LAYERS OF 5/8" TYPE 'X' GYP. BRD 1 HR FIRE RATING FIRE TEST: ULC DESIGN W453 STC RATING: 52 STC TEST: O.B.C. SB-3 S12b
 STUD DEMISING @ GARBAGE ROOM • 2 LAYERS OF 5/8" TYPE 'X' GYP. BRD • 3-5/8" STEEL STUDS @ 24" O.C. • GLASS FIBRE FRICTION FIT IN STUD SPACE • 2 LAYERS OF 5/8" TYPE 'X' GYP. BRD 2 HR FIRE RATING FIRE TEST: ULC DESIGN U411 STC RATING: 55 CERTAINTED SYSTEM WPB255	 SHAFT WALL • 2 LAYERS OF 5/8" TYPE 'X' GYP. BRD • 2 1/2" C-T STEEL STUDS @ 24" O.C. • ROCKWOOL SOUND BATT. INSUL. • 1" GLASROC LINER PANEL 1 HR FIRE RATING FIRE TEST: ULC DESIGN U417 STC RATING: 55 CERTAINTED WDS255	

8	APR. 10.24	SSI-010	16		
7	MAR. 13.24	SSI-009	15		
6	MAR. 04.24	SSI-008	14		
5	FEB. 20.24	SSI-007	13		
4	SEPT. 6.23	SSI-004	12		
3	AUG. 9.23	SSI-001	11		
2	JUNE 19.23	PERMIT	10		
1	APR. 28.23	FOUNDATION PERMIT	9		
rev.	date	issued for	rev.	date	issued for

BUILDING:
64 - 16 UNITS PER FLR (2-5 FLRS)
7 - 1ST FLOOR UNITS
 $71 \times 1.25 = 89$ SPACES REQ'D

17 - OFFICES
106 - TOTAL REQ'D

PARKING:
LOT A&B: 70 SPACES
LOT C: 41 SPACES
111 SPACES TOTAL PROVIDED

[illegible]

project:
MILL ST. APARTMENTS

address: 6 MILL STREET., TILBURY ON

sheet name:
SITE PLAN

project no.:
22-0067

sheet no.:
A001

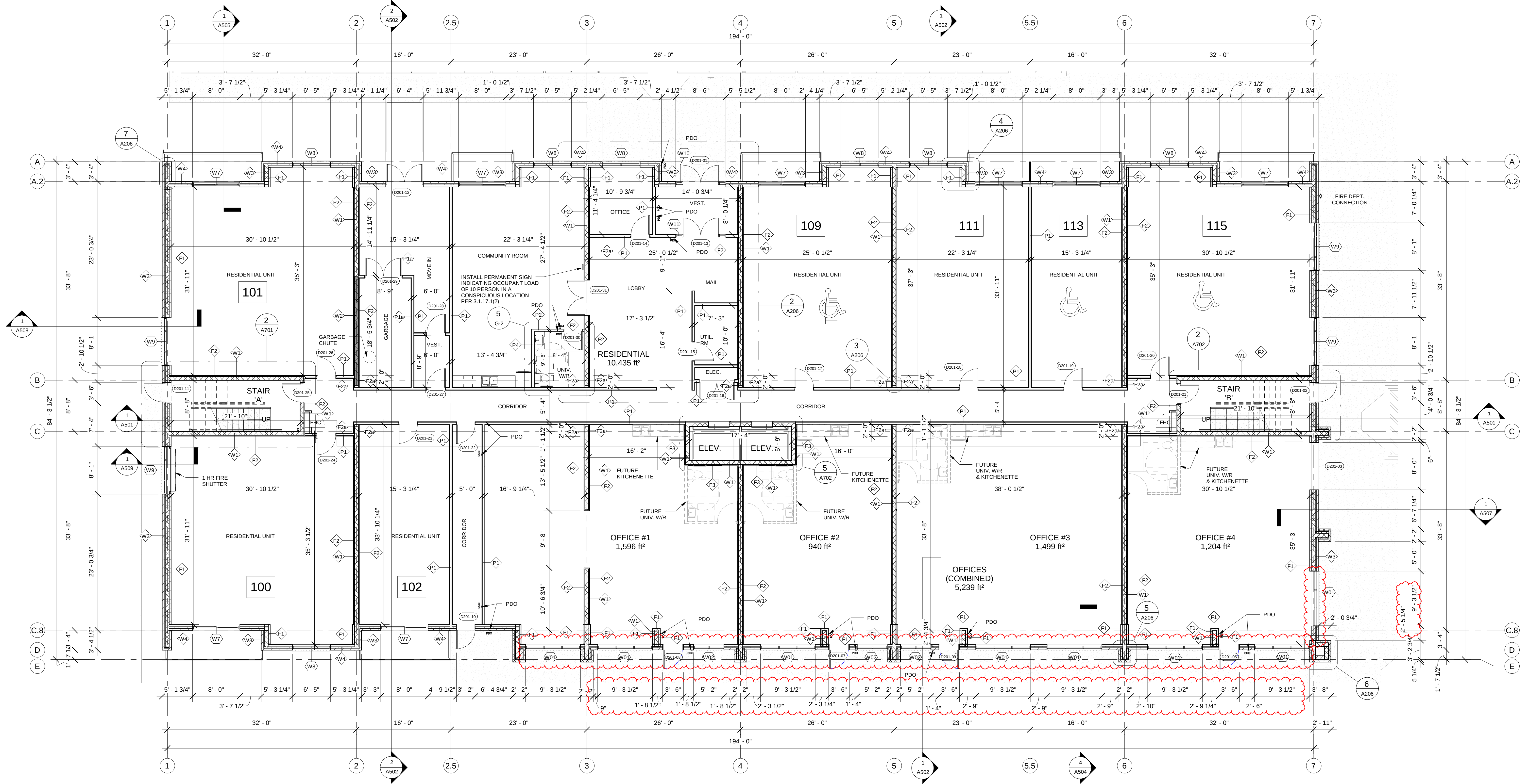
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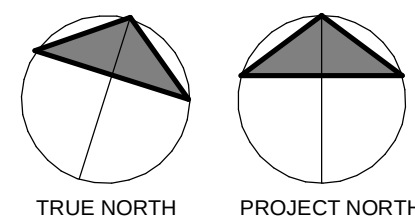
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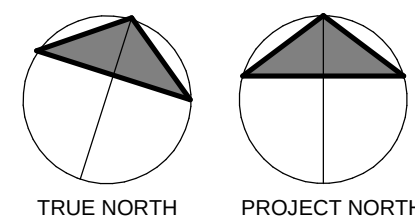
1 1ST FLOOR PLAN
1/8" = 1'-0"



8	SEPT. 6.23	SSI-004	16		
7	AUG. 30.23	SSI-003	15		
6	AUG. 9.23	SSI-001	14		
5	JUNE 19.23	PERMIT	13		
4	APR. 28.23	FOUNDATION PERMIT	12	JUNE 24.24	SSI-012
3	MAR. 20.23	SPA	11	MAR. 13.24	SSI-009
2	FEB. 16.23	SPA	10	FEB. 20.24	SSI-007
1	MAY 04.22	SPA	9	NOV. 10.23	SSI-005
rev.	date	issued for	rev.	date	issued for



1 1ST FLOOR W/ UNIT LAYOUTS
1/8" = 1'-0"



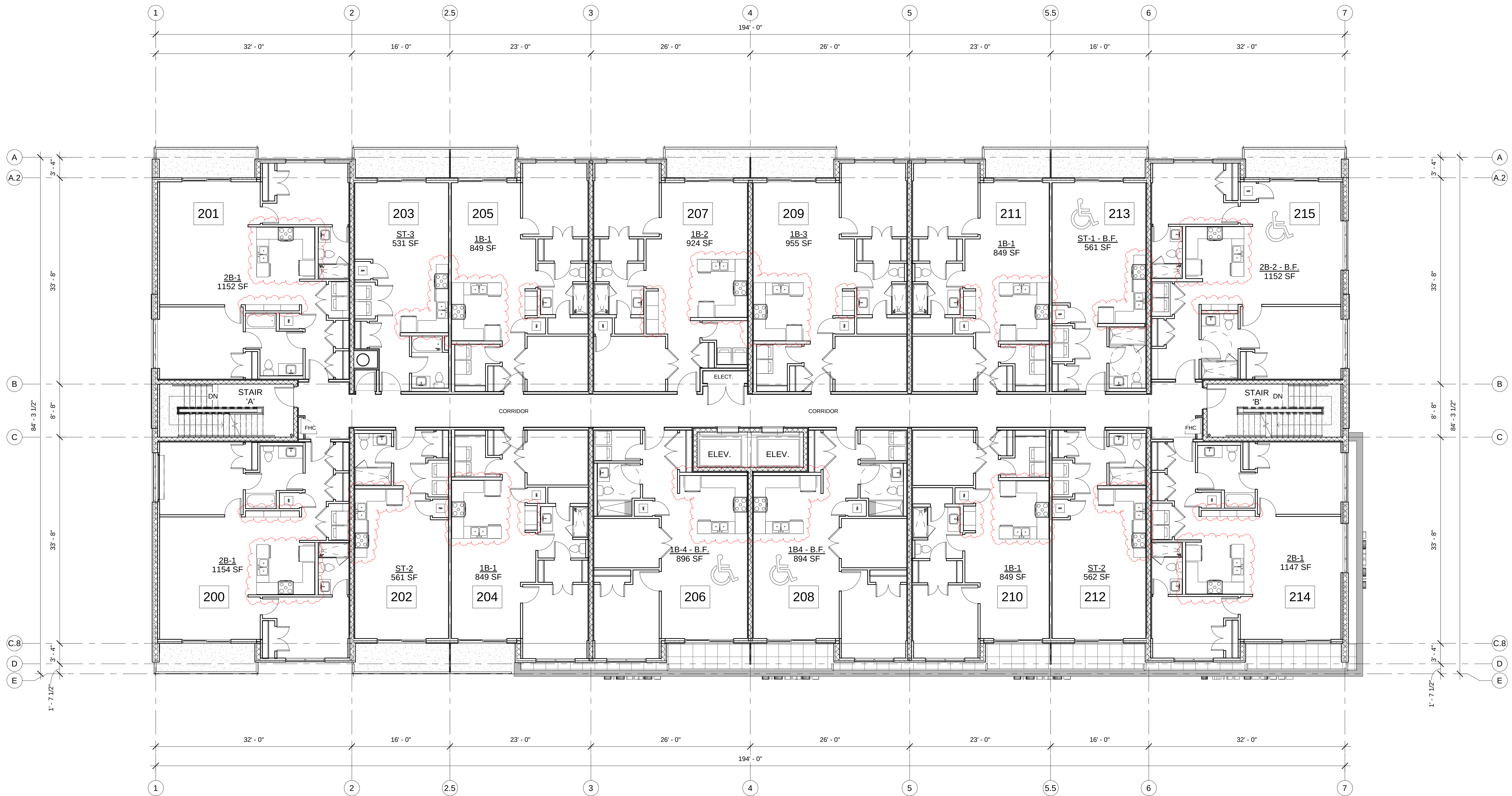
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7	NOV. 24.23	SSI-006	15		
6	SEPT. 6.23	SSI-004	14		
5	AUG. 30.23	SSI-003	13		
4	AUG. 9.23	SSI-001	12	MAY 9.24	SSI-011
3	JUNE 19.23	PERMIT	11	APR. 10.24	SSI-010
2	APR. 28.23	FOUNDATION PERMIT	10	MAR. 13.24	SSI-009
1	MAR. 20.23	SPA	9	MAR. 04.24	SSI-008
rev.	date	issued for	rev.	date	issued for



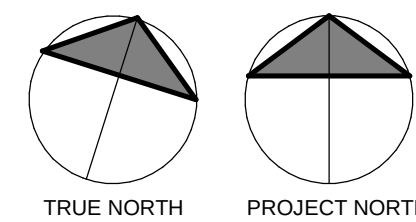
1 2ND FLOOR PLAN
1/8" = 1'-0"

TRUE NORTH PROJECT NORTH

8	NOV. 10.23	SSI-005	16		
7	AUG. 30.23	SSI-003	15		
6	AUG. 9.23	SSI-001	14		
5	JUNE 19.23	PERMIT	13		
4	APR. 28.23	FOUNDATION PERMIT	12		
3	MAR. 20.23	SPA	11		
2	FEB. 16.23	SPA	10	MAR. 13.24	SSI-009
1	MAY 04.22	SPA	9	FEB. 20.24	SSI-007
rev.	date	issued for	rev.	date	issued for



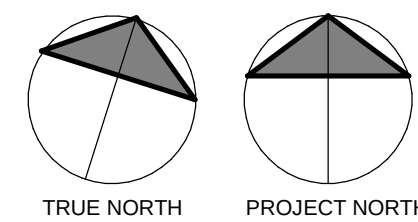
1 2ND FLOOR W/ UNIT LAYOUTS
1/8" = 1'-0"



8	MAR. 04.24	SSI-008	16		
7	FEB. 20.24	SSI-007	15		
6	NOV. 24.23	SSI-006	14		
5	AUG. 30.23	SSI-003	13		
4	AUG. 9.23	SSI-001	12		
3	JUNE 19.23	PERMIT	11	MAY 9.24	SSI-011
2	APR. 28.23	FOUNDATION PERMIT	10	APR. 10.24	SSI-010
1	MAR. 20.23	SPA	9	MAR. 13.24	SSI-009
rev.	date	issued for	rev.	date	issued for



1 3RD & 4TH FLOOR PLAN
1/8" = 1'-0"



8	MAR. 13.24	SSI-009	16		
7	FEB. 20.24	SSI-007	15		
6	NOV. 10.23	SSI-005	14		
5	AUG. 30.23	SSI-003	13		
4	AUG. 9.23	SSI-001	12		
3	JUNE 19.23	PERMIT	11		
2	APR. 28.23	FOUNDATION PERMIT	10		
1	MAR. 20.23	SPA	9		
rev.	date	issued for	rev.	date	issued for