

165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY



FOR BID  
PURPOSES  
ONLY

NOT FOR  
INSTRUCTION OR APPROVAL

COMMUNITY CENTER  
165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

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TITLE PAGE

**DUNDEE**  
VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430

FOR BID ONLY	ITEM	DATE ISSUED	BY
		11/17/25	KI
DRAWN BY ETH/KI		REVIEWED BY ARJ	

DATE	11/17/25
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NO.	306001
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SHEET NO.

T1.00



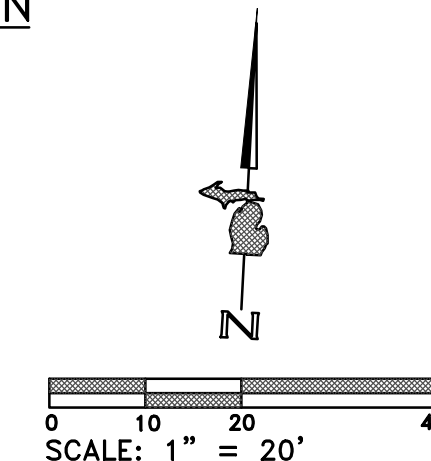
AB	ANCHOR BOLT	CMU	CONCRETE MASONRY UNIT	F.D.	FLOOR DRAIN
ACI	AMERICAN CONCRETE INSTITUTE	C.O.	CLEAN OUT	FIN	FINISH
ACT	ACOUSTICAL CEILING TILE	CONC.	CONCRETE	FL	FLOOR
ADA	AMERICANS WITH DISABILITIES ACT	CONT.	CONTINUOUS	FND	FOUNDATION
A.F.F.	ABOVE FINISH FLOOR	CW	COLD WATER	FT	FOOT
A.F.G.	ABOVE FINISH GRADE	D	DRAIN	FTG	FOOTING
A.H.J.	AUTHORITY HAVING JURISDICTION	DBL	DOUBLE	FUR.	FURNACE
A.I.A.	AMERICAN INSTITUTE OF ARCHITECTS	DCW	DOMESTIC COLD WATER	G	GAS
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	DEMO.	DEMOLITION	GA	GAUGE
AISI	AMERICAN IRON AND STEEL INSTITUTE	DHW	DOMESTIC HOT WATER	GALV	GALVANIZED
ALUM.	ALUMINUM	DIA.	DIAMETER	GC	GENERAL CONTRACTOR
ANOD.	ANODIZED	DN	DOWN	HM	HOLLOW METAL
ASD	ALTERNATE STRESS DESIGN	DWG	DRAWING	HOR	HORIZONTAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	EA.	EACH	HP	HIGH POINT
AWS	AMERICAN WELDING SOCIETY	EC	ELECTRICAL CONTRACTOR	HR	HOOR
BF	BARRIER FREE	ECO	EXTERIOR CLEANOUT	HSS	HIGH STRENGTH STEEL
B.F.F.	BELOW FINISH FLOOR	ELEC.	ELECTRICAL	HT	HEIGHT
B.F.G.	BELOW FINISH GRADE	ELEV.	ELEVATION	HVAC	HEATING, VENTILATING, AIR CONDITIONING
BTG	BOTTOM	EJ	EXPANSION JOINT	HW	HOT WATER
BRT	BEARING	EQ	EQUAL	INT	INTERIOR
CJ	CONTROL JOINT	EXIST.	EXISTING	INV.	INVERT
CLG	CEILING	EXT.	EXTERIOR	K	KIP


LAV.	LAVATORY
LP	LOW POINT
LRFD	LOAD AND RESISTANCE FACTOR DESIGN
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MECH	MECHANICAL
MIN.	MINIMUM
M.O.	MASONRY OPENING
MTL	METAL
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
NTS	NOT TO SCALE
O.C.	ON CENTER
OPP	OPPOSITE
OH	OVERHEAD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
R	RADIUS
RM	ROOM
SAN.	SANITARY
SIM	SIMILAR


SPEC	SPECIFICATIONS
S.S.	SERVICE SINK
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STL	STEEL
T&B	TOP & BOTTOM
T&G	TONGUE & GROOVE
TYP.	TYPICAL
U.G.	UNDER GROUND
U.N.O.	UNLESS NOTED OTHERWISE
V	VENT
VIF	VERIFY-IN-FIELD
VTR	VENT THRU ROOF
WC	WATER CLOSET
WD	WOOD
WH	WATER HEATER
WP	WEATHER PROOF
WWF	WELDED WIRE FABRIC

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WWF	WELDED WIRE FABRIC

OVERALL SITE PLAN  
SCALE: 1" = 20'-0"



DOOR NO. 

WINDOW NO. 

ROOM NAME

ROOM NUMBER

BUILDING SECTION  
SHEET NUMBER

DETAIL SECTION  
SHEET NUMBER

NORTH ARROW

DETAIL SHEET NUMBER

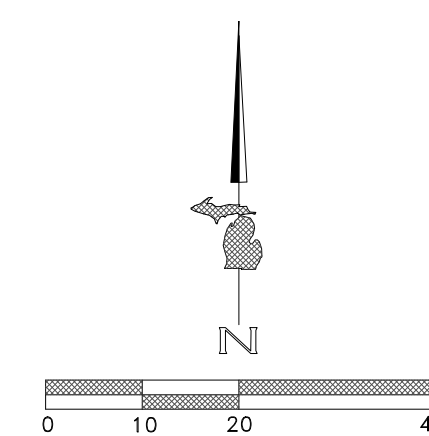
INTERIOR ELEVATION  
SHEET NUMBER

ADDENDUM

CHANGE ORDER

**NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER. THIS DRAWING SHALL NOT BE DUPLICATED, MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2025.**



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NOT FOR  
CONSTRUCTION OR APPROVAL



1. ALL WORK TO BE IN ACCORDANCE WITH ALL CURRENT CODES IN AFFECT AN IN ACCORDANCE WITH AGENCIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND WITHIN THESE PLANS OR WITH CURRENT SITE CONDITIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL SITE SAFETY MEASURES AND GUIDELINES.
4. THE ARCHITECT/ENGINEER IS NOT RESPONSIBLE FOR EXISTING CONDITIONS, CONDITIONS DURING DEMOLITION OR ANY OTHER PART OF THE PROJECT.
5. PEDESTRIANS, PUBLIC AND ANY OTHER PERSONS NEAR THE CONSTRUCTION SHALL BE PROTECTED FROM THE CONSTRUCTION AREA THROUGH USE OF CONSTRUCTION BARRIERS. BARRIERS AND OTHER PROTECTION MEASURES SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH WBC AND IN ACCORDANCE WITH ALL GOVERNING AGENCY REQUIREMENTS. THE EXACT LOCATION OF THE PROTECTION FENCING/MEASURES TO BE PLACED AT THE EDGE OF CONSTRUCTION AND ADJUSTED AS CONSTRUCTION REQUIRES.
6. PORTABLE FIRE EXTINGUISHER(S), SURFACE MOUNTED MIN. 5# ABC TYPE, SHALL BE PROVIDED ON SITE DURING DEMOLITION & CONSTRUCTION IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE SECTION 3315.1. MINIMUM OF ONE TO BE PROVIDED AT EACH STAIRWAY ON EACH FLOOR, IN STORAGE AND CONSTRUCTION SHEDS, ANY SPECIAL HAZARD AREAS. EXACT LOCATION AND QUANTITY SHALL BE COORDINATED WITH THE BUILDING OFFICIAL PRIOR AND DURING DEMOLITION AND CONSTRUCTION.
7. CONTRACTOR TO BE RESPONSIBLE FOR PROTECTING REMAINING SURFACES FROM PORTIONS TO BE DEMOLISHED. IT IS THE CONTRACTORS RESPONSIBILITY TO REPAIR ANY ADDITIONAL DEMOLITION DONE BEYOND WHAT IS REQUIRED AND TO MATCH THE EXISTING CONDITIONS.
8. WHERE COMPONENTS ARE REMOVED, ALL RESIDUAL GLUE, ADHESIVES, FASTENERS, ETC. TO BE REMOVED WITH MAJOR COMPONENTS.
9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL DEMOLITION ENGINEERING, INCLUDING TEMPORARY SUPPORTS/SHORING, AS REQUIRED FOR SITE AND PROJECT CONDITIONS.
10. REMOVE AND DISPOSE OF ALL MATERIALS LEGALLY OFF-SITE.

11. WHERE MATERIALS ARE UNCOVERED THAT ARE SUSPECTED OF BEING ASBESTOS CONTAINING MATERIALS, ALL WORK SHOULD STOP IMMEDIATELY. THE OWNER SHALL SECURE AN ENVIRONMENTAL ENGINEER/CONSULTANT TO PERFORM THE NECESSARY INVESTIGATION AND ISSUE A REPORT INDICATING ANY SUSPECTED ACM ON SITE. WHERE ACM ARE FOUND, THEY SHALL BE REMOVED IN ACCORDANCE WITH CURRENT RULES AND REGULATIONS.

12. DEMOLITION OF ANY ELECTRICAL SHALL INCLUDE REMOVAL OF ANY AND ALL ITEMS BACK TO THE NEAREST JUNCTION BOX OR PANEL BOARD.

13. THE OWNER SHALL HAVE THE FIRST RIGHT OF REFUSAL FOR ANY SALVAGEABLE, RECYCLABLE OR HISTORICALLY SIGNIFICANT MATERIALS. CONTRACTOR SHALL COORDINATE WITH OWNER ALL SUCH MATERIALS.

14. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A PROPOSAL TO INSPECT AND FAMILIARIZE THEMSELVES WITH THE SITE AND UNDERSTAND THE EXISTING CONDITIONS AND OVERALL SCOPE OF WORK REQUIRED TO COMPLETE THE SCOPE OF WORK TO MEET THE PROJECT OBJECTIVE. ANY AND ALL DISCREPANCIES AND CONCERNS ARE TO BE PRESENTED TO THE OWNER PRIOR TO SUBMITTING A PROPOSAL AND PROCEEDING WITH ANY WORK.

15. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, SERVICES, CONDUITS, DRAINS, ETC.; UNDERGROUND, OVERHEAD LINES OR BURIED, PRIOR TO THE START OF ANY WORK.

16. AN ATTEMPT HAS BEEN MADE TO SHOW AS MUCH INFORMATION AS POSSIBLE REGARDING EXISTING CONDITIONS. THESE DRAWINGS ARE NOT AS-BUILT DRAWINGS AND DO NOT SHOW EVERY DETAIL OF THE EXISTING BUILDING. IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE THE EXISTING BUILDING PRIOR TO SUBMITTING A PROPOSAL. ADDITIONAL ITEMS, NOT SHOWN ON THE DRAWINGS OR NOTED TO BE REMOVED, INTERFERING WITH THE COMPLETE REMOVAL OF THE PRIMARY REMOVAL ITEMS NOTED, SHALL BE REMOVED WITHOUT ADDITIONAL COST TO THE OWNER.

17. WHERE NEW FINISHES ARE TO BE INSTALLED ON REMAINING ITEMS, REMOVE ALL EXISTING FINISHES TO SUBSTRATE BELOW. PATCH, OR RESTORE THE SUBSTRATE TO THE CONDITION REQUIRED BY THE NEW MATERIAL MANUFACTURERS SPECIFICATION AND BEST PRACTICE RECOMMENDATIONS.

18. EXISTING STRUCTURAL ELEMENTS ARE NOT TO BE REMOVED UNTIL PERMANENT OR TEMPORARY MEASURES ARE IN PLACE.

19. REMOVAL OF FOUNDATION OR FOOTINGS TO INCLUDE REMOVAL OF THE ENTIRE FOUNDATION OR FOOTING BELOW GRADE. LEAVING OF ANY UNDERGROUND COMPONENT IS NOT PERMITTED.

20. ALL CUTTING AND REMOVAL OF EXISTING BUILDING COMPONENTS SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. ANY ADDITIONAL REMOVAL OVER WHAT IS NOTED OR REQUIRED TO MEET THE SCOPE OF WORK, SHALL BE REPLACED, TO MATCH EXISTING/REMAINING CONDITIONS, AT THE CONTRACTORS EXPENSE.

21. EXISTING COMPONENTS NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED TO MAXIMUM PRACTICAL EXTENT BASED ON EXISTING CONDITIONS. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR FLOOR SO THAT THEY ARE COMPLETELY CONCEALED. OPENINGS LEFT IN WALLS, CEILING, ETC. WHERE EQUIPMENT AND PIPING, CONDUIT, ETC. ARE REMOVE AND NOT REPLACED SHALL BE PATCHED NEATLY WITH SIMILAR MATERIALS TO ADJACENT CONSTRUCTION.

22. CONTRACTOR RESPONSIBLE TO ENSURE ANY DEMOLITION ON THE EXTERIOR OF THE BUILDING, OR WHAT IS TO BE THE EXTERIOR OF THE BUILDING, IS PATCHED, FILLED IN AND LEFT IN A WEATHERPROOF CONDITION, INCLUDING PATCHING AND FILLING ALL RESULTING HOLES WITH SIMILAR MATERIAL. ANY DAMAGE TO THE REMAINING BUILDING SHALL BE REPAIRED/REPLACED AT THE CONTRACTORS EXPENSE.

23. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER WHERE UTILITY SERVICES NEED TO BE TEMPORARILY TURNED OFF DURING DEMOLITION. THE CONTRACTOR SHALL ENSURE ANY UTILITY, PLUMBING, GAS, ELECTRICAL, ETC. ARE TURNED OFF BACK TO A VALVE, SHUT-OFF, BREAKER, ETC. IN THE PORTION OF THE BUILDING WHICH IS TO REMAIN OR BACK TO THE MAIN SERVICE DISCONNECT POINT. WHERE THE SERVICE NEEDS TO BE SHUT DOWN, THE CONTRACTOR SHALL NOTIFY THE OWNER TO HAVE THE NECESSARY SERVICE SHUT DOWN PRIOR TO THE START OF ANY DEMOLITION.

24. REMOVAL OF WALLS SHALL INCLUDE ALL MECHANICAL, ELECTRICAL AND PLUMBING. ALL ELECTRICAL SHALL BE REMOVED BACK TO THE NEAREST JUNCTION BOX, PANEL OR DISCONNECT. ALL PLUMBING SHALL BE REMOVED AND CAPPED OFF BEYOND AREA OF DEMOLITION. REMOVAL SHALL ALSO INCLUDE ALL PLATES, FINISHES, ADHESIVES, ETC. DOWN TO BARE SUBSTRATE TO REMAIN.

25. REMOVAL OF ANY WALL PENETRATIONS TO INCLUDE REPAIR AND FILLING OF EXISTING WALL TO MATCH ADJACENT MATERIALS AND FINISH. ALL PENETRATIONS IN EXTERIOR WALLS TO ALSO ENSURE FULL WATER TIGHT FINISH.

- (A) REMOVE EXISTING WINDOW, CONCRETE SILL, FRAME AND ACCESSORIES TO MASONRY OPENING
- (B) SAWCUT AND REMOVE EXISTING MASONRY WALL TO NOTED NEW OPENING DIMENSIONS
- (C) REMOVE EXISTING STUD WALL TO DIMENSIONS & CONFIGURATION NOTED ON PROPOSED FLOOR PLAN
- (D) REMOVE EXISTING DOOR, FRAME AND ACCESSORIES TO MASONRY OPENING
- (E) REMOVE EXISTING WALL TO NEW OPENING DIMENSION
- (F) REMOVE EXISTING STUD WALL
- (G) REMOVE EXISTING STUD WALL TO ROOF
- (H) REMOVE EXISTING BRICK VENEER
- (I) REMOVE EXISTING CONCRETE SIDEWALK
- (J) REMOVE EXISTING ROOFING TO ROOF DECKING
- (K) REMOVE EXISTING FASCIA, SOFFIT, GUTTERS
- (L) REMOVE EXISTING GAS METER PIPING & SERVICE TO OUTSIDE PROPOSED ADDITION. CAP AND ABANDON EXISTING SERVICE LINE IN ACCORDANCE WITH UTILITY REQUIREMENTS.
- (M) REMOVE EXISTING ELECTRIC METER AND SERVICE
- (N) REMOVE EXISTING MILLWORK
- (O) REMOVE EXISTING EXHAUST DUCT THROUGH ROOF STACK
- (P) REMOVE EXISTING PVC VENT
- (Q) REMOVE EXISTING EXTERIOR LIGHT FIXTURE, REPAIR RESULTING HOLE(S) WITH SIMILAR WALL MATERIAL
- (R) REMOVE EXISTING WINDOW IN GABLE WALL, FILL-IN EXISTING OPENING WITH SIMILAR WALL MATERIAL
- (S) REMOVE EXISTING WOOD FRAMED GABLE WALL, WINDOW. REINSTALL NEW FRAMED WALL ON EXISTING BLOCK WALL
- (T) REMOVE EXISTING PLANTER, TIMBERS & LANDSCAPING, & SOIL
- (U) CEILING/ATTIC: REMOVE ALL EXISTING CEILING LIGHTS, CONDUIT, WIRING, FIXTURES & DEVICES, EXIST SIGNS, CROWN MOULDING
- (V) REMOVE EXISTING FURNACE, DUCTWORK, ELECTRICAL CONNECTIONS, GAS PIPING
- (W) REMOVE EXISTING WATER SERVICE AND PIPING TO BELOW SLAB
- (X) REMOVE EXISTING PLUMBING FIXTURES, ACCESSORIES, DRAIN AND SUPPLY PIPING
- (Y) REMOVE EXISTING WOOD FRAMED STAIRS & STAIR ENCLOSURE
- (Z) REMOVE EXISTING COAT RACK
- (a) EXISTING MASONRY WALL TO HAVE BROKEN BLOCKS REMOVED AND REPLACED, CRACKED MORTAR JOINTS TO BE TUCK POINTED. REPLACE WITH SOLID BLOCK UNLESS REBAR IS PRESENT, FULL GROUT. NUMBER OF BLOCKS AND LENGTH OF TUCK POINTING LISTED
- (b) REMOVE EXISTING PLUMBING PIPING
- (d) REMOVE GYPSUM BOARD, BOTH SIDES OF WALL
- (e) REMOVE AND REPLACE FOUNDATION BLOCKS, QUANTITY NOTED AT EACH LOCATION. REPLACE WITH SOLID BLOCK UNLESS REBAR IS PRESENT, FULL GROUT.
- (f) REMOVE EXISTING CONCRETE SLAB AT DOOR AND 1 BLOCK EACH SIDE OF OPENING. REPLACE WITH CONCRETE WHERE DOOR TO REMAIN OR WITH MASONRY WHERE DOOR IS TO BE REMOVED.
- (g) REMOVE EXISTING INSULATION AND DEBRIS IN FLOOR OF ATTIC
- (h) REMOVE EXISTING BLOCK TO 8" BELOW FLOOR LEVEL, REPLACE WITH CONCRETE, FLUSH WITH FLOORING, AS NOTED
- (j) REMOVE EXISTING OPENING HEADER AND BLOCK TO PROPOSED ROUGH OPENING



FOR BID  
PURPOSES  
ONLY

DUNDEE CIVIC  
COMMUNITY CENTER  
165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

DEMOLITION PLAN

DEVELOPER/OWNER:

**VILLAGE OF DUNDEE**  
**MICHAEL HOFFMEISTER, VILLAGE MANAGER**  
**350 WEST MONROE ST.**  
**DUNDEE, MI 48131**  
**(734) 529-3430**

[illegible]

SCALE\* AS NOTED

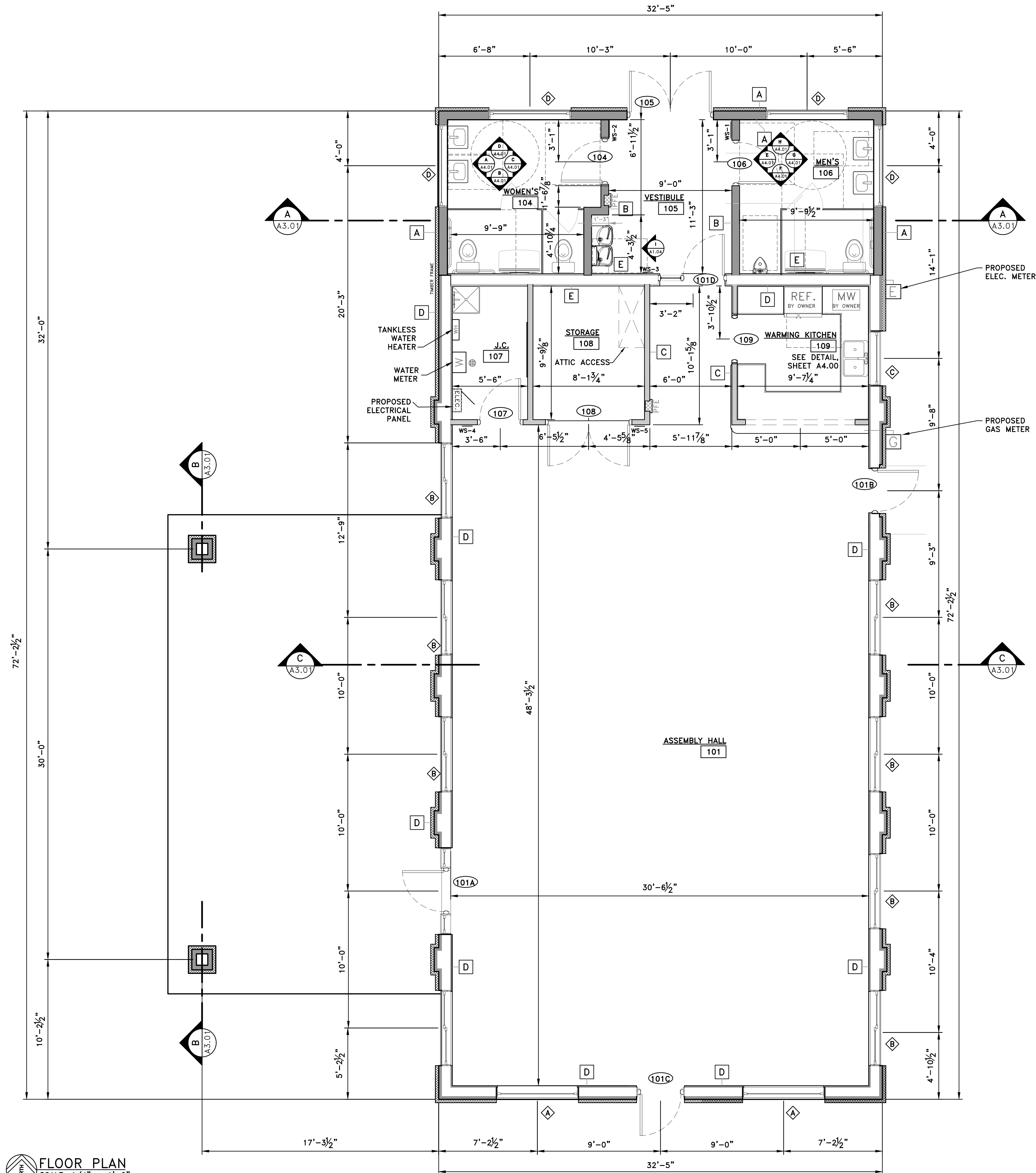
PLOT DATE	11/17/25
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JOB NO. 306001

**SHEET NO.**

D1.00





GRAPHIC SYMBOLS

WALL NO.	D
DOOR NO.	104
WINDOW NO.	A
ROOM NAME	ASSEMBLY HALL
ROOM NUMBER	101
BUILDING SECTION	
SHEET NUMBER	
INTERIOR ELEVATION	
SHEET NUMBER	

WALL LEGEND

A	EXTERIOR WALL: 5/8" GYPSUM BOARD INTERIOR, 2x6 WOOD STUDS @ 16" O.C., MIN. R-21 INSULATION, 7/16" OSB SHEATHING, 1" POLYISO INSULATION (R6.5), TYVEK MOISTURE BARRIER, DRAIN SCREEN BEHIND CULTURED STONE, SIDING AS NOTED ON ELEVATIONS TOTAL WIDTH: 6 5/8"
B	INTERIOR WALL: 2x6 WOOD STUDS @ 16" O.C., SOUND INSULATION, 5/8" GYPSUM BOARD BOTH SIDES, FINISH PER OWNER OR AS NOTED (MOISTURE RESISTANT GYPSUM ADJACENT TO PLUMBING FIXTURES). TOTAL WIDTH: 6 3/4"
C	INTERIOR WALL: 2x4 WOOD STUDS @ 16" O.C., SOUND INSULATION, 5/8" GYPSUM BOARD BOTH SIDES, FINISH PER OWNER OR AS NOTED (MOISTURE RESISTANT GYPSUM ADJACENT TO PLUMBING FIXTURES). TOTAL WIDTH: 4 3/4"
D	EXTERIOR WALL: 5/8" GYPSUM BOARD INTERIOR, 3/4" HAT CHANNELS & 16" O.C., 3/4" RIGID INSULATION, EXISTING CONCRETE MASONRY UNITS (ASSUME 8" NOMINAL) 2.5" ZIP SYSTEM INSULATED SHEATHING, (2" RIGID INSULATION WITH 7/16" OSB), TYVEK MOISTURE BARRIER, SIDING AS NOTED ON ELEVATIONS TOTAL WIDTH: 11 1/2"
E	INTERIOR WALL: 5/8" GYPSUM BOARD, 3/4" HAT CHANNELS & 16" O.C., EXISTING CONCRETE MASONRY UNITS (ASSUME 8" NOMINAL), 3/4" HAT CHANNELS & 16" O.C., 5/8" GYPSUM BOARD TOTAL WIDTH: 10 3/4"
	EXISTING WALL TO REMAIN
	IN-FILL WALL - MATCH EXISTING MATERIALS AND OVERALL WIDTH

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CODES AS NOTED IN THE DESIGN CRITERIA.
2. ALL DIMENSIONS ARE TO FINISH FACE OF WALLS.
3. DOOR/WALL SIGNAGE: (WS)
  - A. BRAILLE SIGNS TO BE OF INDUSTRY STANDARD SIZE, GRAPHICS TO BE INTERNATIONAL SYMBOLS FOR INDICATED USE, LETTERING TO BE 5/8" HIGH RAISED 1/32" W/NO. 2 BRAILLE CODING. FRAMES TO BE 1/8" ALUMINUM SATIN FINISH W/ 3/8" RADIUS AT CORNERS, NON-MAGNETIC BACKING.
  - B. ACCESSIBLE ENTRY OR EXIT SIGNS TO BE STANDARD DOOR/WINDOW STICKER WHERE NOT ALL ENTRANCES ARE ADA ACCESSIBLE. ACCESSIBLE ENTRY SIGN TO BE SETON #35839 (OR ACCEPTABLE ALTERNATE) VINYL STICKER, 4"x4" SQUARE, WHITE & BLUE.
  - C. WHERE NOT MATCHING ABOVE, TOILET ROOM SIGNS TO BE SETON #84578/84579 (OR ACCEPTABLE ALTERNATE)
  - D. EMERGENCY NOTIFICATION SIGNS TO BE PROVIDED AS REQUIRED BY REGULATORY AUTHORITIES HAVING JURISDICTION.
  - E. SIGNS TO BE PROVIDED:
    1. MEN'S WS-1
    2. WOMEN'S WS-2
    3. HALL WS-3
    4. JANITORS CLOSET WS-4
    5. STORAGE WS-5 (x2)
4. ALL WALLS TO BE RUN TIGHT TO ROOF DECK, OR STRUCTURE ABOVE, U.N.O..
5. FRAMING CONTRACTOR FOR INTERIOR WALLS SHALL BE RESPONSIBLE FOR INSTALLATION OF ALL WOOD BLOCKING FOR, BUT NOT LIMITED TO, CABINETY, MILLWORK, COUNTERS AND SUPPORTS, TOILET ROOM ACCESSORIES, ADA EQUIPMENT, PLUMBING FIXTURES. FRAMING CONTRACTOR TO COORDINATE WITH OTHER TRADES TO ENSURE ALL BLOCKING IS INSTALLED PRIOR TO INSTALLATION OF INSULATION AND GYPSUM BOARD.
6. ASBESTOS-FREE PRODUCT INSTALLATION NOTES:
  - A. IT IS HEREBY UNDERSTOOD AND AGREED THAT NO PRODUCT AND/OR MATERIAL CONTAINING ASBESTOS, INCLUDING CHRYSOLITE, AMOSTITE, CROCIDOLITE, TEMOLITE ASBESTOS, ANTHOPHYLITE ASBESTOS, ACTINOLITE ASBESTOS AND ANY COMBINATION OF THESE MATERIALS THAT HAVE BEEN CHEMICALLY TREATED AND/OR ALTERED SHALL BE INSTALLED OR INTRODUCED INTO THE WORK BY THE CONTRACTOR OR HIS EMPLOYEES, AGENTS, SUBCONTRACTORS OR OTHER INDIVIDUALS OR ENTITIES OVER WHOM THE CONTRACTOR HAS CONTROL. THE CONTRACTOR MAY BE REQUIRED TO SIGN A CERTIFICATION STATEMENT ENSURING THAT ALL PRODUCTS OR MATERIALS INSTALLED OR INTRODUCED INTO THE WORK WILL BE ASBESTOS-FREE.
  - B. THE CONTRACTOR SHALL ALSO BE REQUIRED TO FURNISH CERTIFIED STATEMENTS FROM THE MANUFACTURERS OF SUPPLIED MATERIALS USED DURING THE CONSTRUCTION VERIFYING THEIR PRODUCTS TO BE ASBESTOS-FREE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 8.4.3.1.
  - C. THE CONTRACTOR MAY BE REQUIRED TO COMPLETE AND SUBMIT TO THE OWNER A CERTIFICATION EVIDENCING ASBESTOS-FREE PRODUCT INSTALLATION PRIOR TO ISSUANCE OF THE FINAL CERTIFICATION FOR PAYMENT IN A FORM ACCEPTABLE TO OWNER AND ARCHITECT.
7. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND WITHIN THESE PLANS, WITH CURRENT SITE CONDITIONS, OR WITH ANY MANUFACTURER RECOMMENDED INSTALLATION DETAILS OR INFORMATION. CONSTRUCTION SHALL NOT PROCEED UNLESS A DETERMINATION IS GIVEN TO WHICH DIRECTION IS INTENDED.
8. WHERE THESE DRAWINGS ARE IN CONFLICT WITH MANUFACTURER STANDARD SPECIFICATIONS, DETAILS OR INSTALLATION RECOMMENDATIONS, OR MAY AFFECT ANY WARRANTY OR GUARANTEE FROM THE MANUFACTURER, THE CONTRACTOR SHALL PROVIDE CHANGES TO THE ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL. WORK SHALL NOT CONTINUE ON SUCH ITEMS UNTIL APPROVAL IS GIVEN BY THE ARCHITECT/ENGINEER.
9. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SITE SAFETY AND MEANS AND METHODS THROUGHOUT THE PROJECT. PEDESTRIANS, PUBLIC AND ANY OTHER PERSONS NEAR THE CONSTRUCTION SHALL BE PROTECTED FROM THE CONSTRUCTION AREA THROUGH USE OF CONSTRUCTION BARRIERS. BARRIERS AND OTHER PROTECTION MEASURES SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH MBC SECTION 33. IF THE EXACT LOCATION OF THE PROTECTION FENCING IS NOT NOTED WITHIN THE CONSTRUCTION DOCUMENTS, THE FENCE SHALL BE PLACED AT THE EDGE OF THE CONSTRUCTION AREA.
10. OPENINGS IN ANY FLOOR OR ROOF SHALL BE PROTECTED AROUND THE PERIMETER OF THE OPENING TO PREVENT ACCESS BY ANY PERSON IN THE AREA OF SUCH OPENING.
11. PORTABLE FIRE EXTINGUISHER(S), SURFACE MOUNTED, MIN. 5# ABC TYPE, SHALL BE PROVIDED ON SITE DURING CONSTRUCTION. EXACT LOCATION SHALL BE COORDINATED WITH THE BUILDING OFFICIAL.
12. PAINT ANY GAS PIPING EXPOSED TO VIEW WITH RUSTOLEUM PRIMER AND TWO FINISH COATS WITH COLOR AS SELECTED BY OWNER.
13. PAINT ANY AND ALL PLUMBING PIPES & ELECTRICAL CONDUITS AND DEVICES EXPOSED TO VIEW, INTERIOR OR EXTERIOR, INCLUDING VENTS THROUGH THE ROOF. COLOR TO TYPICALLY MATCH ADJACENT SURFACE, AND TO BE APPROVED BY OWNER AND/OR ARCHITECT/ENGINEER PRIOR TO APPLICATION.
14. NO HAZARDOUS MATERIALS ARE TO BE STORED WITHIN OR AROUND THE BUILDING. PER THE OWNER, THERE WILL BE NO HIGH-PILED COMBUSTIBLE STORAGE (COMBUSTIBLE MATERIALS STORED 12' ABOVE FINISH FLOOR).
15. MASONRY UNITS TO BE SET IN A STANDARD RUNNING BOND PATTERN, 1500 PSI MIN. BLOCK STRENGTH. MORTAR TO BE TYPE M OR S.
16. DEFERRED SUBMITTAL TO INCLUDE:
  - TRUSS DESIGN DRAWINGS
17. CONCRETE PAD LOCATION AND SIZE SHALL BE COORDINATED WITH EACH SPECIFIC TRADE. VERIFY ALL REQUIRED CLEARANCES AND ACCESS POINTS ARE PROVIDED. CONTRACTOR SETTING PAD SHALL BE RESPONSIBLE FOR EXACT SIZE AND LOCATION.
18. IN ACCORDANCE WITH MBC CHAPTER 17, BELOW ARE THE REQUIRED SPECIAL INSPECTIONS AND TEST(S) REQUIRED FOR THIS PROJECT:
  - NONE
19. DRAWING DIMENSIONS GOVERN OVER SCALE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO ORDERING ANY MATERIALS OR BEGINNING CONSTRUCTION. EXTERIOR WALLS ARE DIMENSIONED TO THE EXTERIOR, INTERIOR WALLS DIMENSIONED TO THE CENTER OF THE WALL, AND OPENINGS DIMENSIONED TO THE CENTER OF THE OPENING.
20. INSTALL RAINDRIVEN, WITH GRAVITY CAVITY, OR EQUIVALENT, AT ALL STONE.
21. SNOW BRACKES TO BE PROVIDED AT ALL METAL ROOF OVERHANGS OVER SIDEWALKS AND DOORS.

FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DAVID ARTHUR CONSULTANTS, INC.

110 MAIN STREET, DUNDEE, MI 48131  
PHONE: (734) 823-5080

FOR BID PURPOSES ONLY  
NOT FOR CONSTRUCTION OF APPROVAL

DUNDEE CIVIC COMMUNITY CENTER

165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

FLOOR PLAN

DEVELOPER/OWNER:

VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430

ISSUE	DATE	BY
FOR BID ONLY	11/17/23	KI

REVIEWED BY	DATE
ARJ	

SCALE\*

AS NOTED

PLOT DATE

11/17/23

JOB NO.

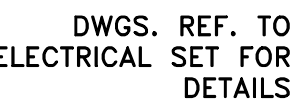
306001

SHEET NO.

A1.00

NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER.  
THIS DRAWING SHALL NOT BE DUPLICATED, MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2025.






14'-6"x2'-0"x2" ROUTED AND SANDBLASTED  
HDU SIGN PANEL, ALUMINUM BACKED, BLIND  
STUD MOUNT, 4 COLOR. FINAL SIGN DESIGN  
SHALL BE SUBMITTED TO VILLAGE FOR  
SEPARATE SIGN PERMIT.

STANDING SEAM METAL ROOFING  
PREMIUM UNDERLAYMENT  
5/8" OSB SHEATHING


107'-0"   
TOP OF W/D


100'-0"   
TOP OF SLAB


**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



118'-6" PEAK

113'-1" BEARING HT. 

108'-6"   
TOP OF WINDOWS

107'-0"   
TOP OF DOOR

100'-0"   
TOP OF SLAB

**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

[illegible]

SCALE\* AS NOTED

PLOT DATE	11/17/25
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JOB NO. 306001

SHEET NO.

A2.00



DAVID  
ARTHUR  
CONSULTANTS, INC.

110 MAIN STREET, DUNDEE, MI 48131  
PHONE (734) 823-5080

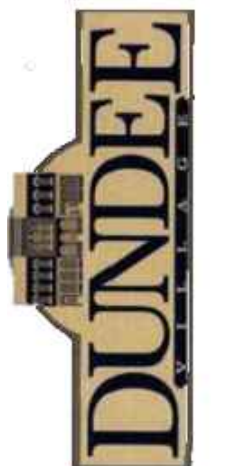
FOR BID  
PURPOSES  
ONLY

DUNDEE CIVIC  
COMMUNITY CENTER  
165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

NORTH & SOUTH  
ELEVATIONS

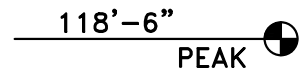
**DEVELOPER/OWNER:**  
VILLAGE OF RUNDIEE

**VILLAGE OF DUNDEE**  
**MICHAEL HOFFMEISTER, VILLAGE MANAGER**  
**350 WEST MONROE ST.**  
**DUNDEE, MI 48131**  
**(734) 529-3430**



**NOTE:** DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER. THIS DRAWING SHALL NOT BE DUPLICATED, MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2025.

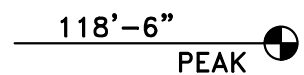






107'-0"  
TOP OF WDWS


100'-0"  
TOP OF SLAB


SCALE: 1/4" = 1'-0"



113'-1"   
BEARING HT.

108'-6"   
TOP OF WDWS

107'-0"   
TOP OF W/D

100'-0"   
TOP OF SLAB

SCALE: 1/4" = 1'-0"



MAIN STREET, DUNDEE, MI 48131  
PHONE: (734) 823-5080

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PURPOSES  
ONLY

NOT FOR CONSTRUCTION OR APPROVAL

DUNDEE CIVIC  
COMMUNITY CENTER

165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

## EAST & WEST ELEVATIONS

DEVELOPER/OWNER:

**DEVELOPMENT DIV/ CHIEF:**  
VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.

DUNDEE, MI 48131  
(734) 529-3430

**DOONDEE, MI 40131**  
**(734) 529-3430**

[illegible]

SCALE\* AS NOTED

PLOT DATE	11/17/25
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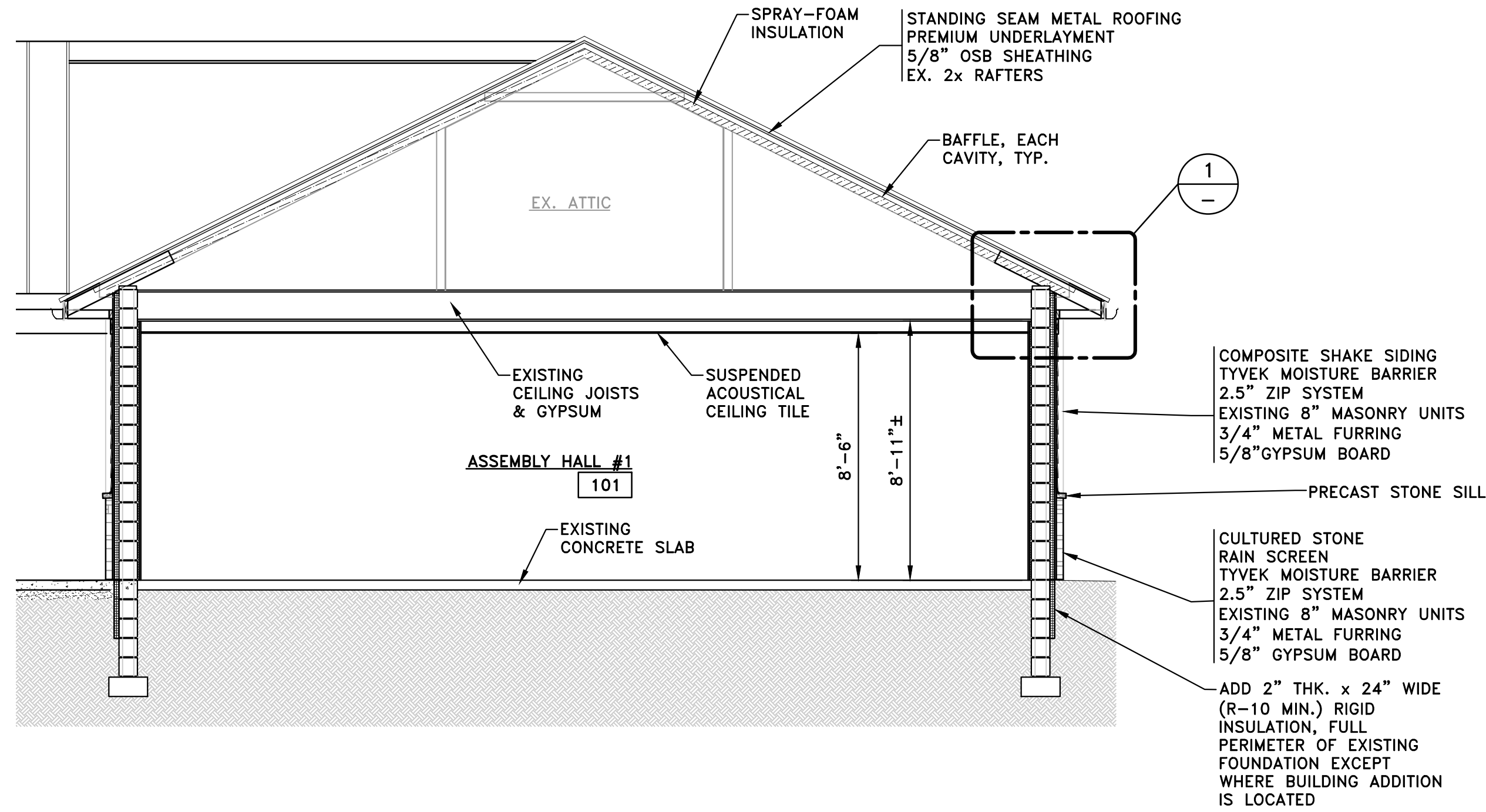
JOB NO.	306001
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**SHEET NO.**

## A2.01

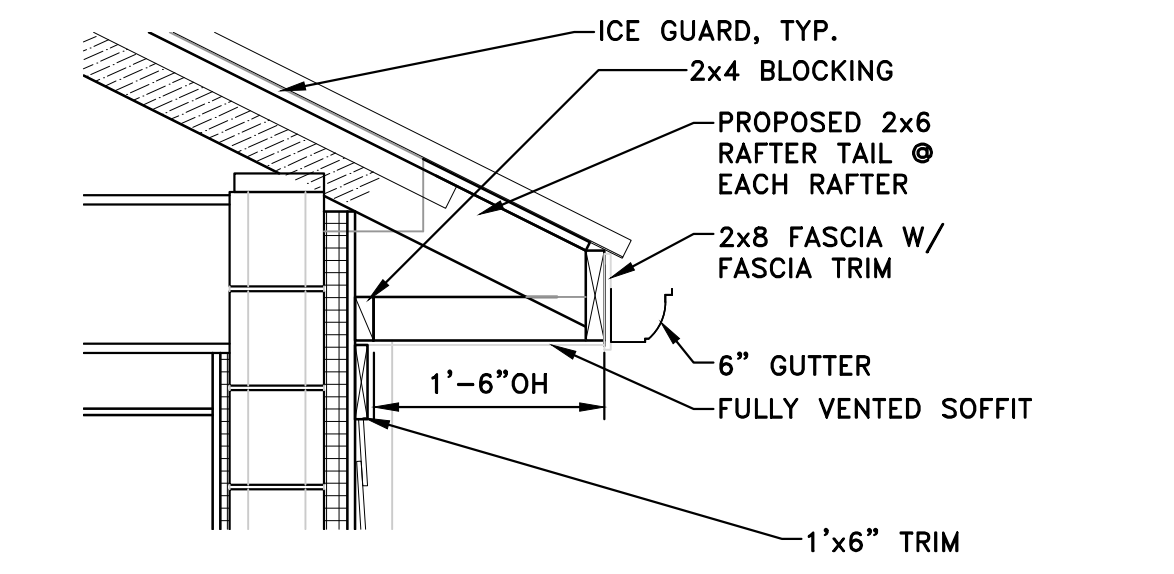
**NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER. THIS DRAWING SHALL NOT BE DUPLICATED, MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2025**



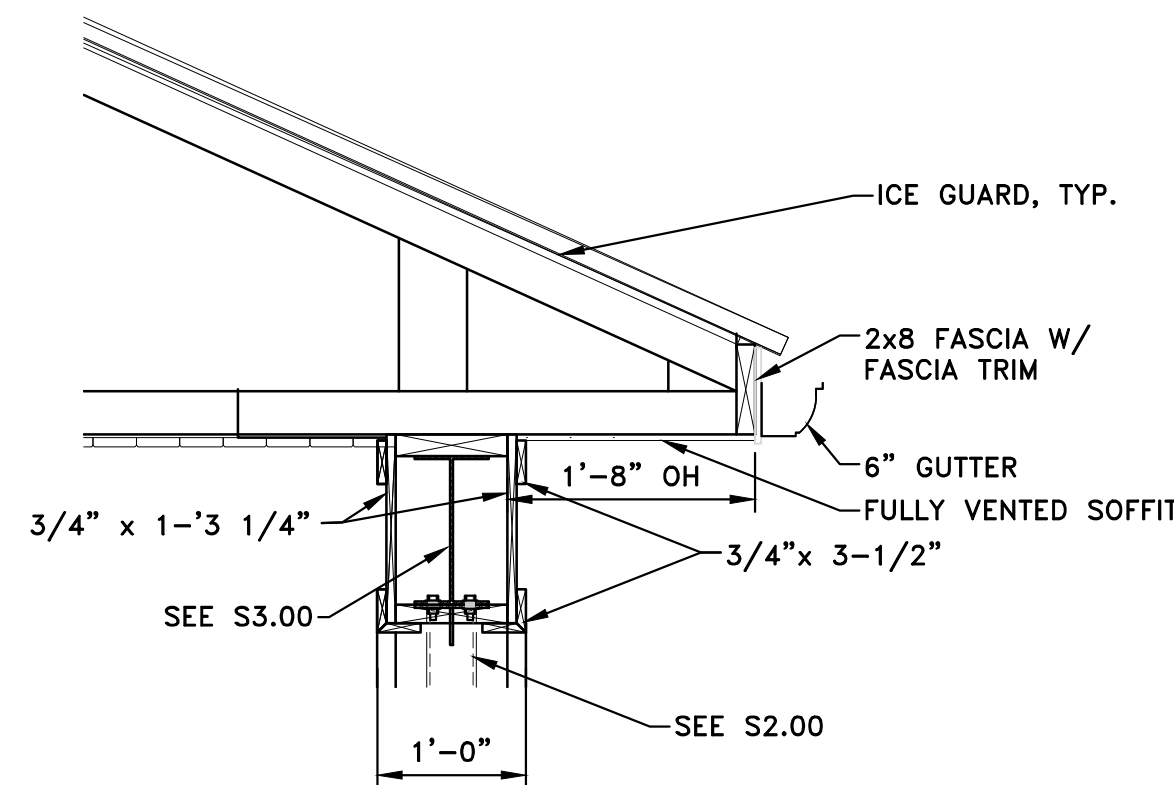


**BUILDING SECTION C-C**  
SCALE: 1/4" = 1'-0"

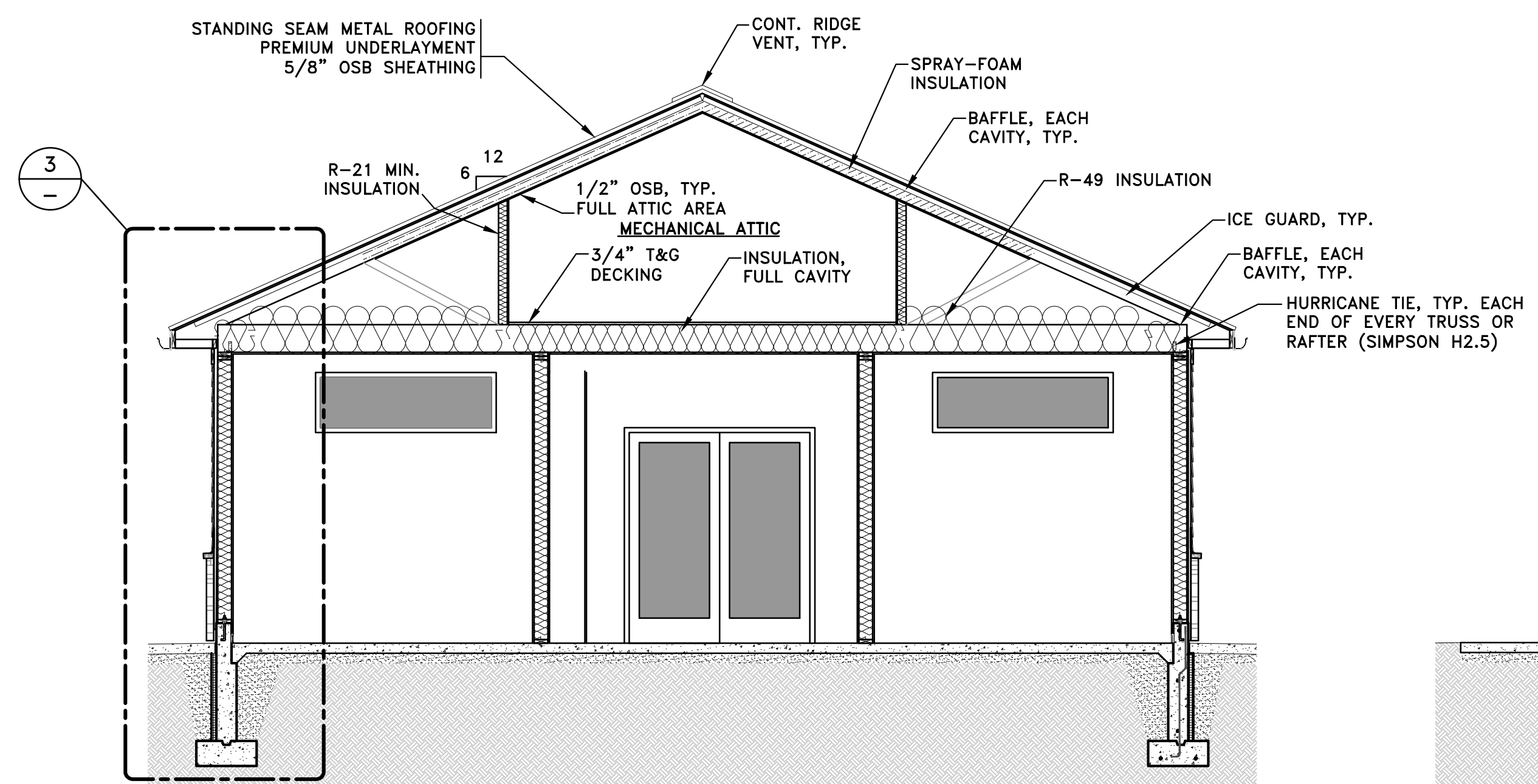
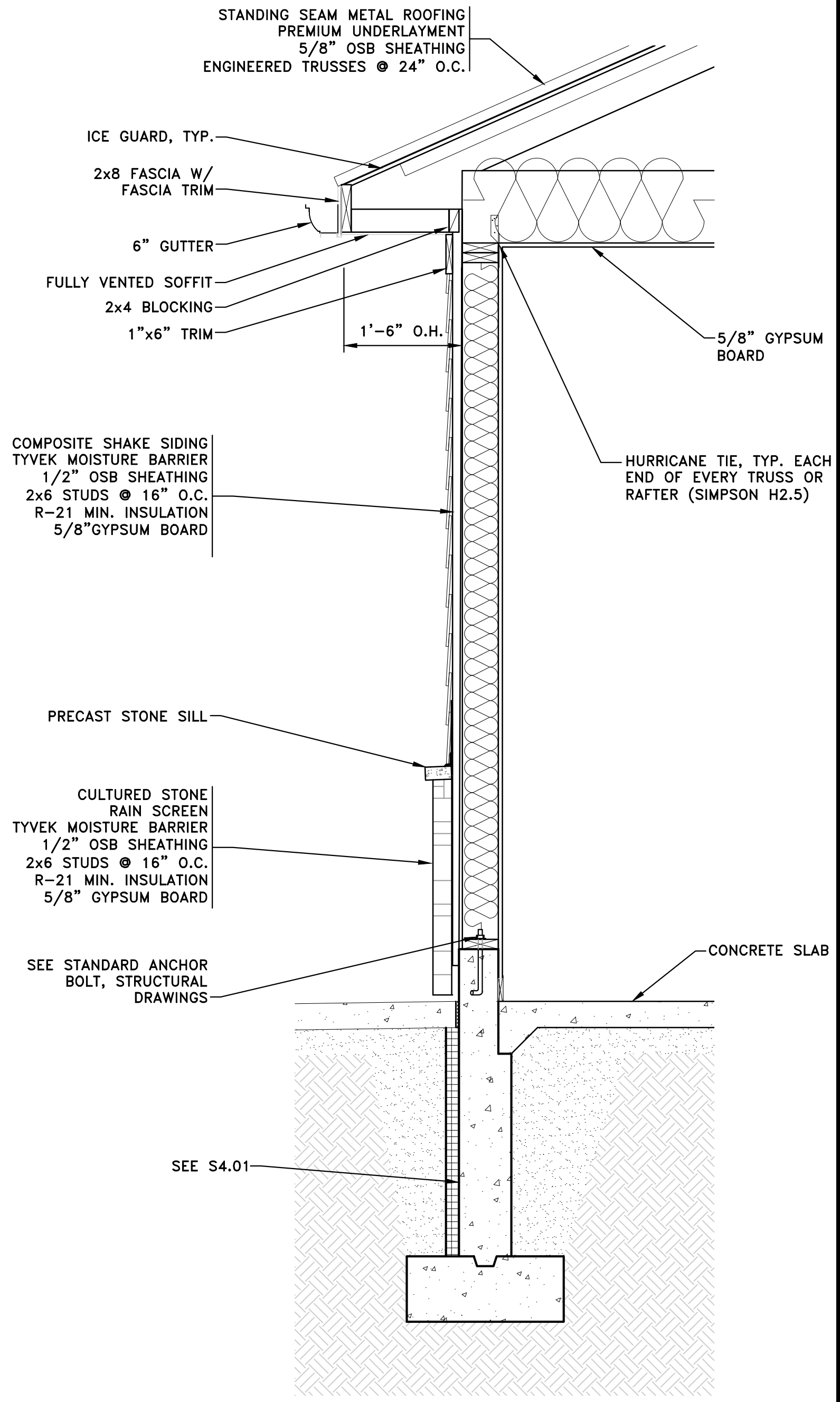
**1 OVERHANG DETAIL - EX. BLDG**  
SCALE: 3/4" = 1'-0"



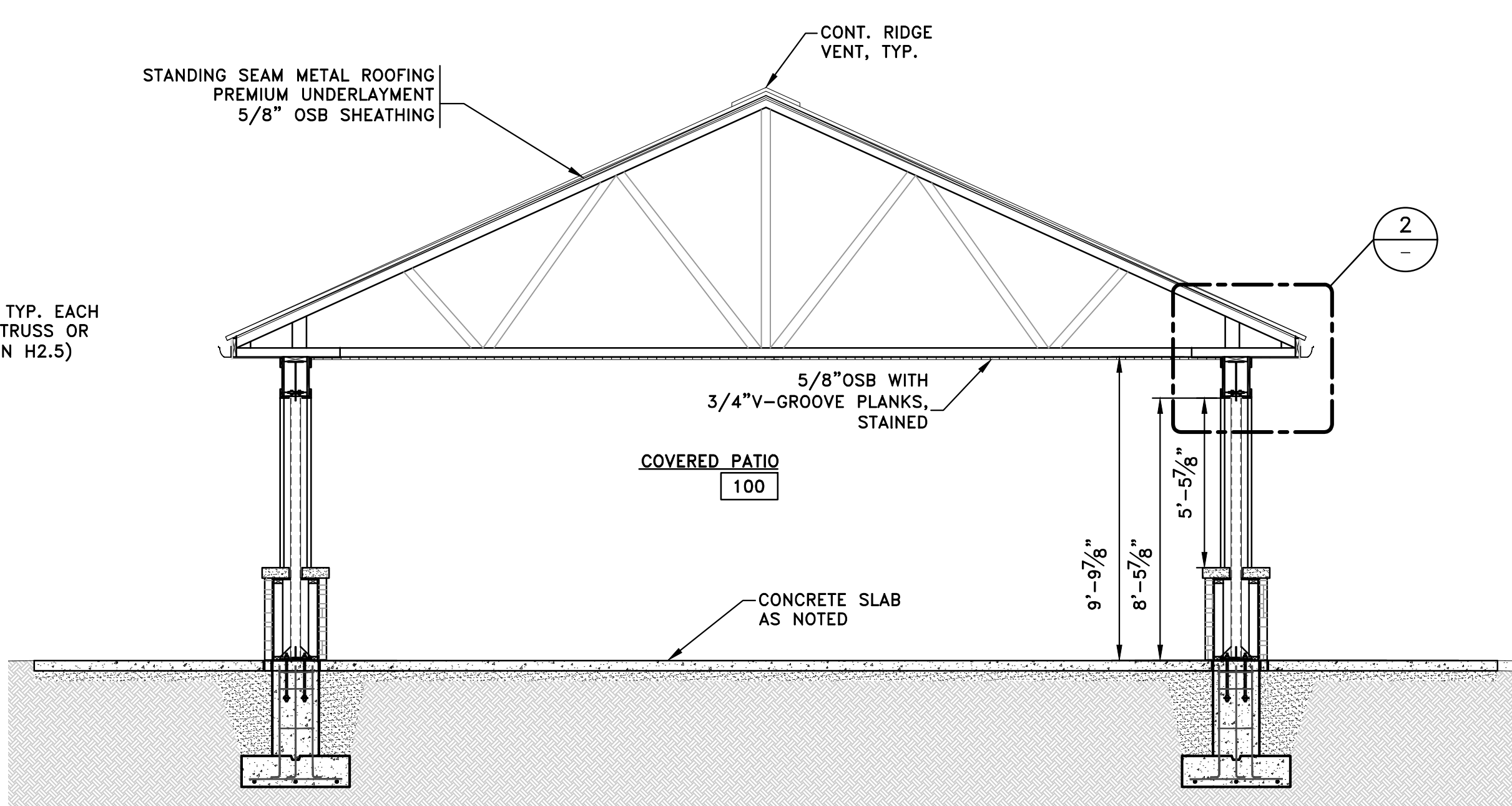
**2 BEAM DETAIL**  
SCALE: 3/4" = 1'-0"



**3 TYPICAL WALL DETAIL**  
SCALE: 3/4" = 1'-0"



**BUILDING SECTION A-A**  
SCALE: 1/4" = 1'-0"



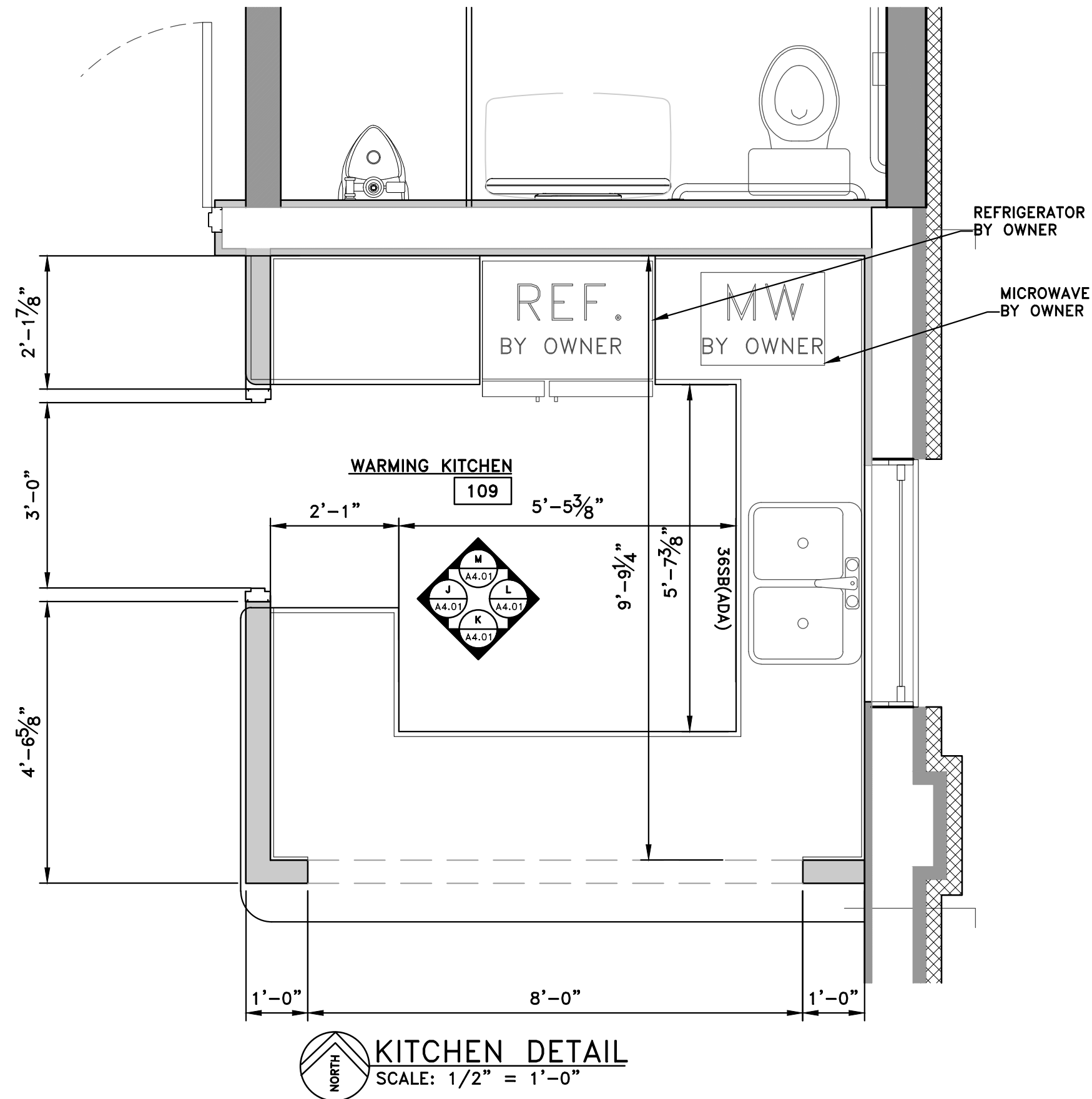
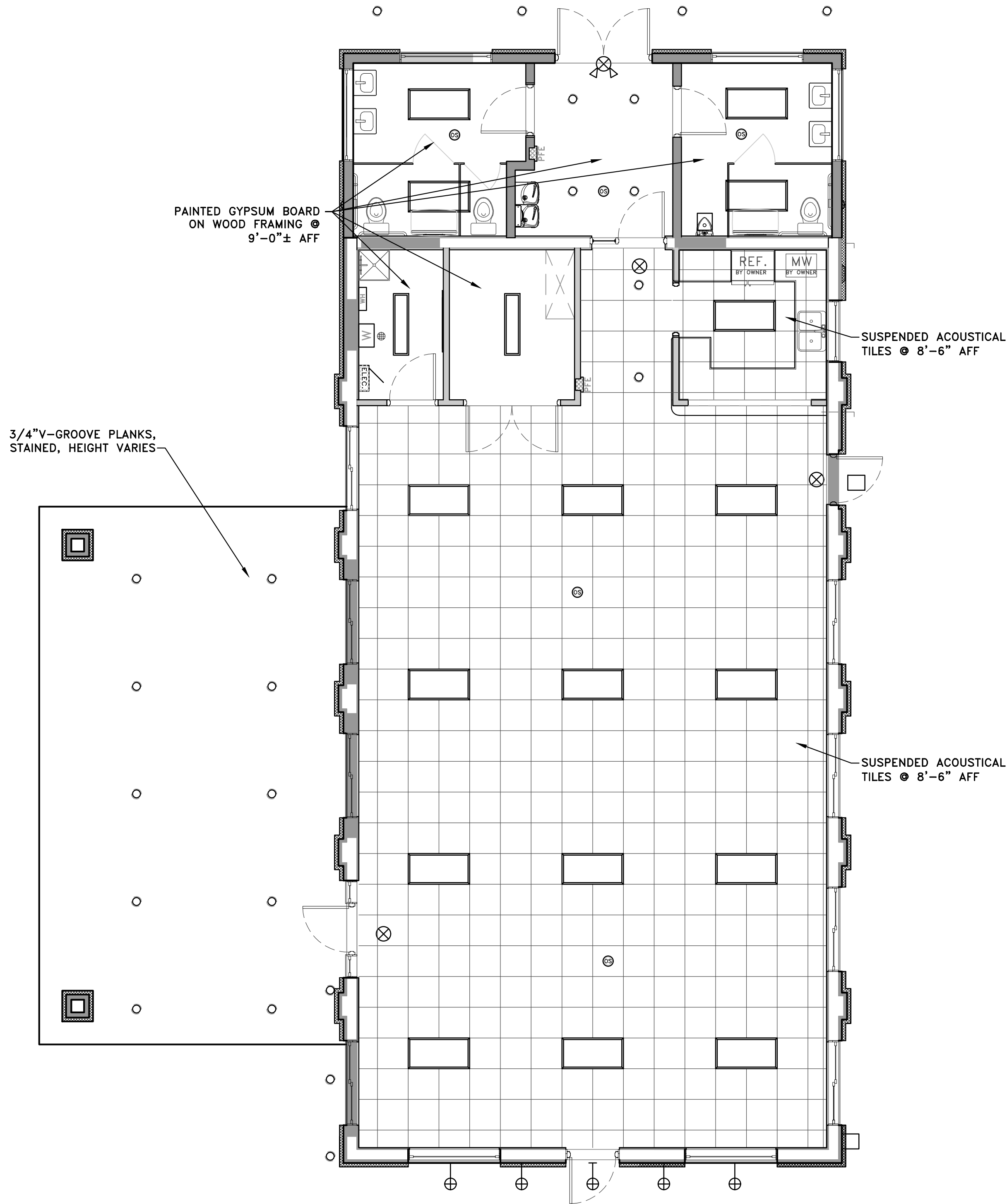
**BUILDING SECTION B-B**  
SCALE: 1/4" = 1'-0"

ISSUE	DATE	BY
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SCALE*	AS NOTED
PLOT DATE	11/17/25
JOB NO.	306001
SHEET NO.	



 REFLECTED CEILING PLAN  
SCALE: 3/16" = 1'-0"



CEILING PLAN LEGEND

SYMBOL	DESCRIPTION
	RECESSED CAN
	2x4 LED FIXTURE
	1x4 LED FIXTURE
	EXHAUST FAN
	HVAC SUPPLY REGISTERS
	HVAC RETURN GRILLES
	2x2 SUSPENDED ACOUSTICAL CEILING TILES

DUNDEE CIVIC  
COMMUNITY CENTER  
165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

REFLECTIVE CEILING  
PLAN & KITCHEN DETAIL

DEVELOPER/OWNER:  
VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430

ISSUE	DATE	BY
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SCALE*	AS NOTED
PLOT DATE	11/17/25
JOB NO.	306001
SHEET NO.	

A4.00

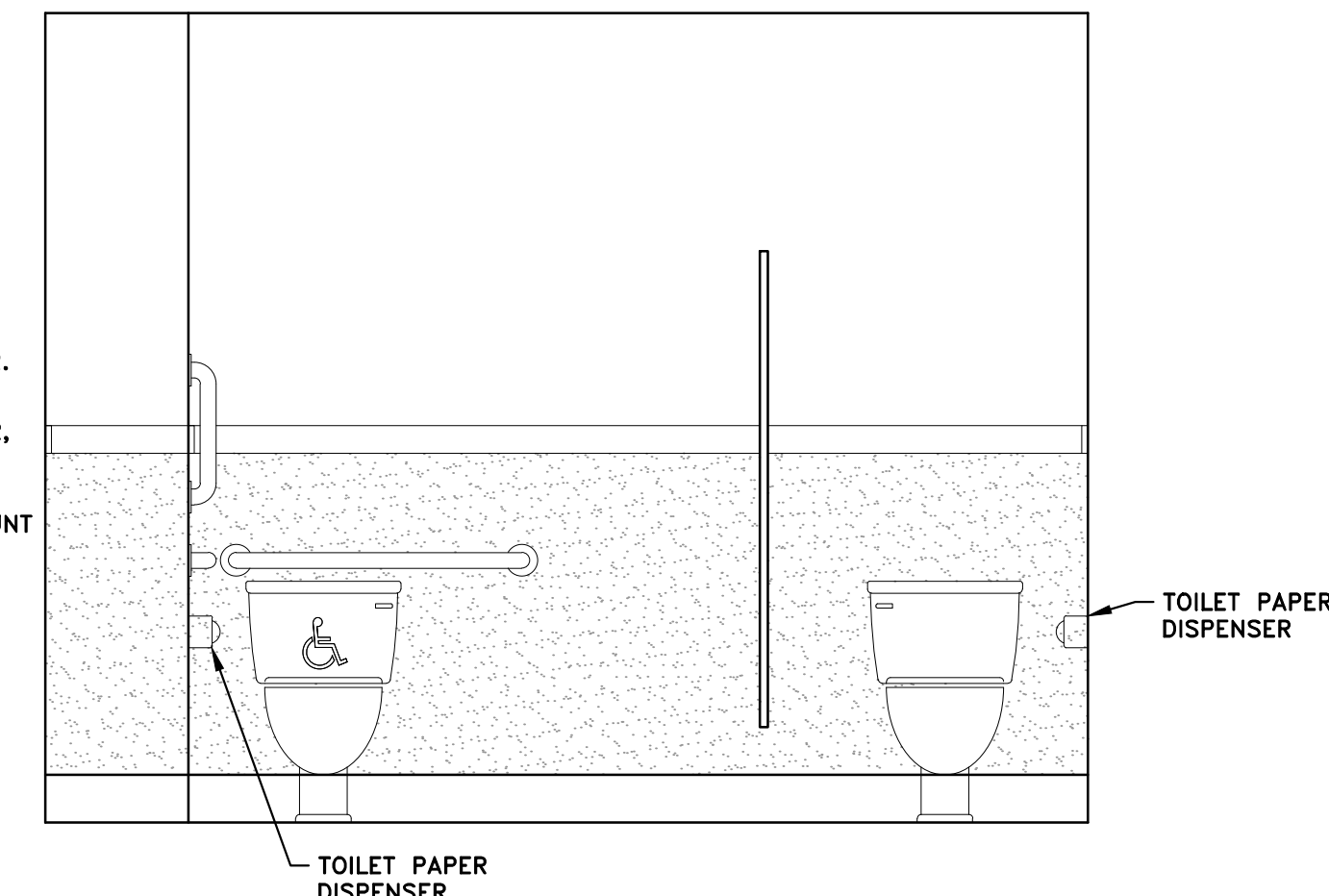
DAVID ARTHUR CONSULTANTS, INC.

110 MAIN STREET, DUNDEE, MI 48131  
PHONE: (734) 823-5080

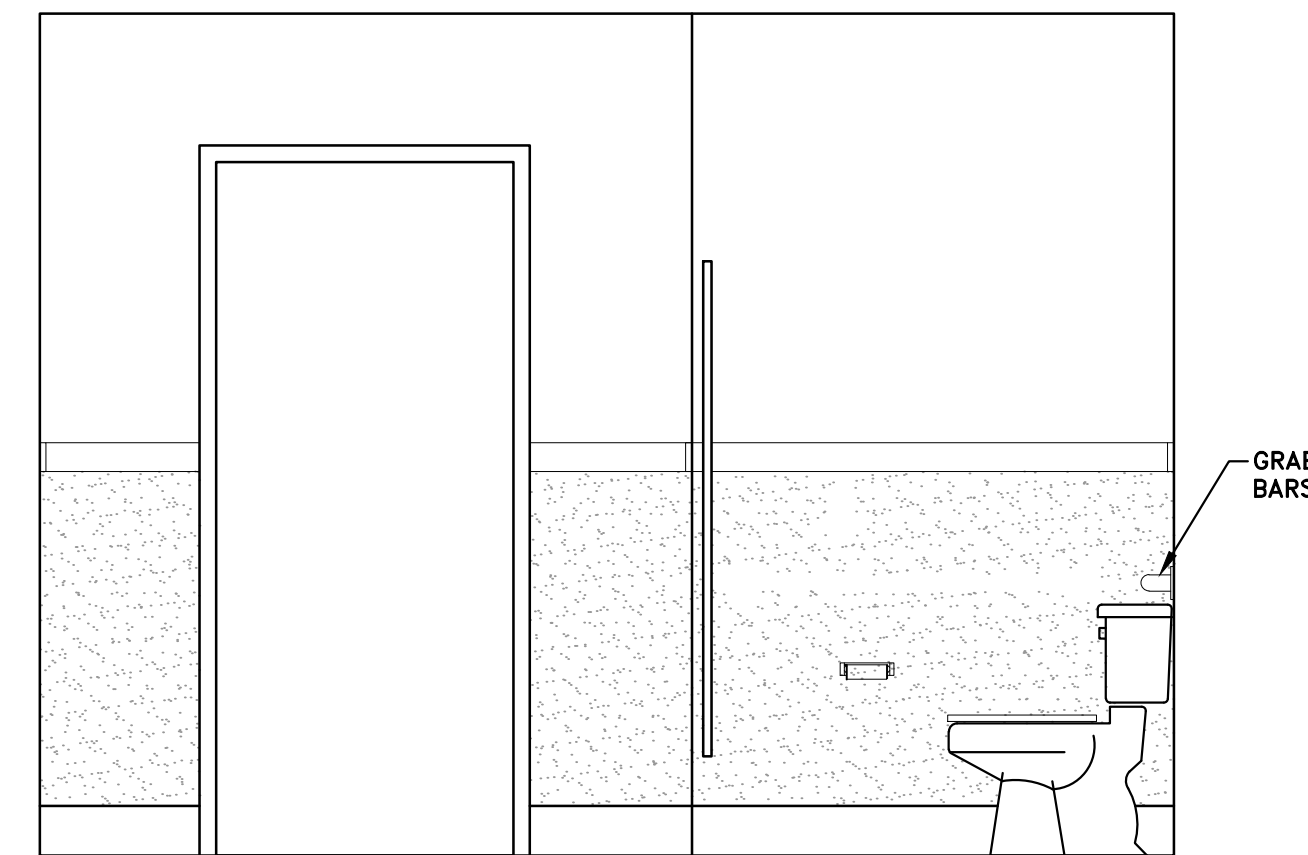
FOR BID  
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CONSTRUCTION OR APPROVAL

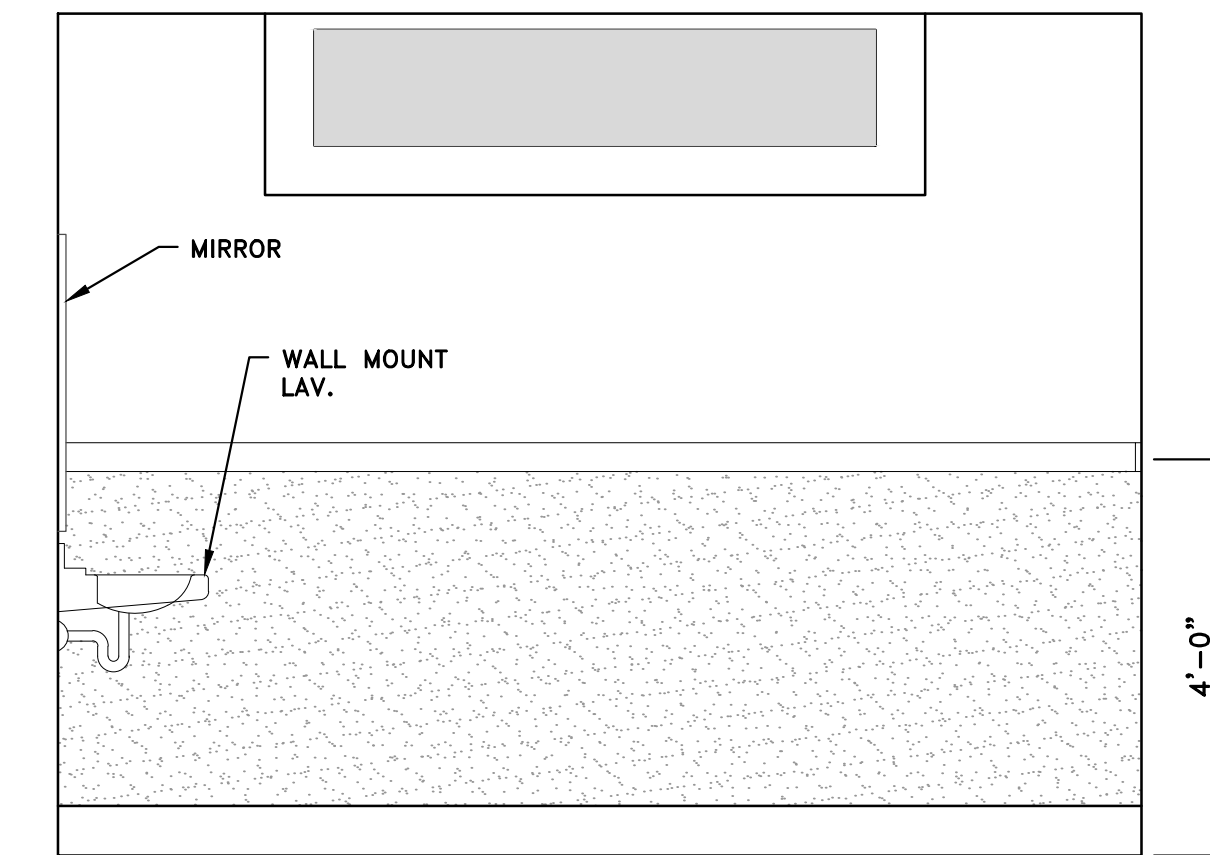




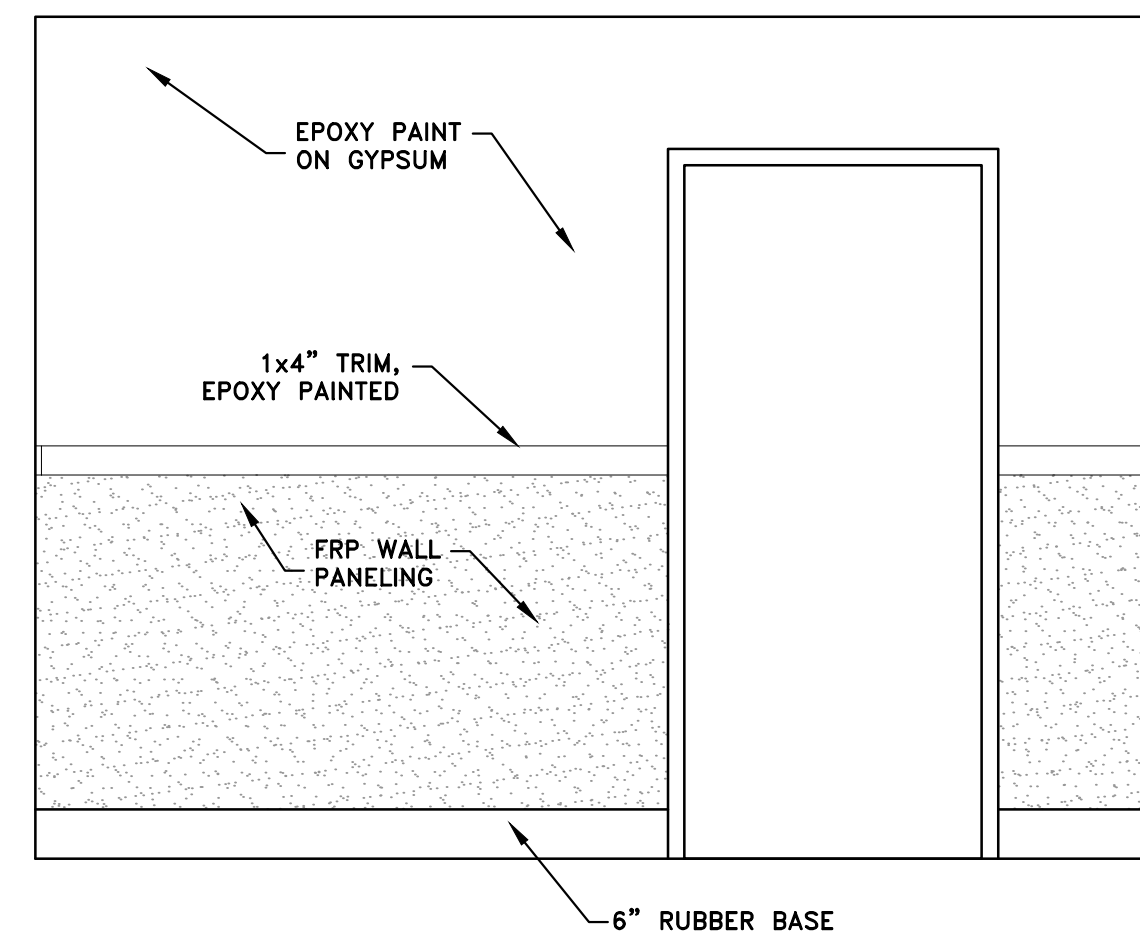
WOMEN'S ROOM - B



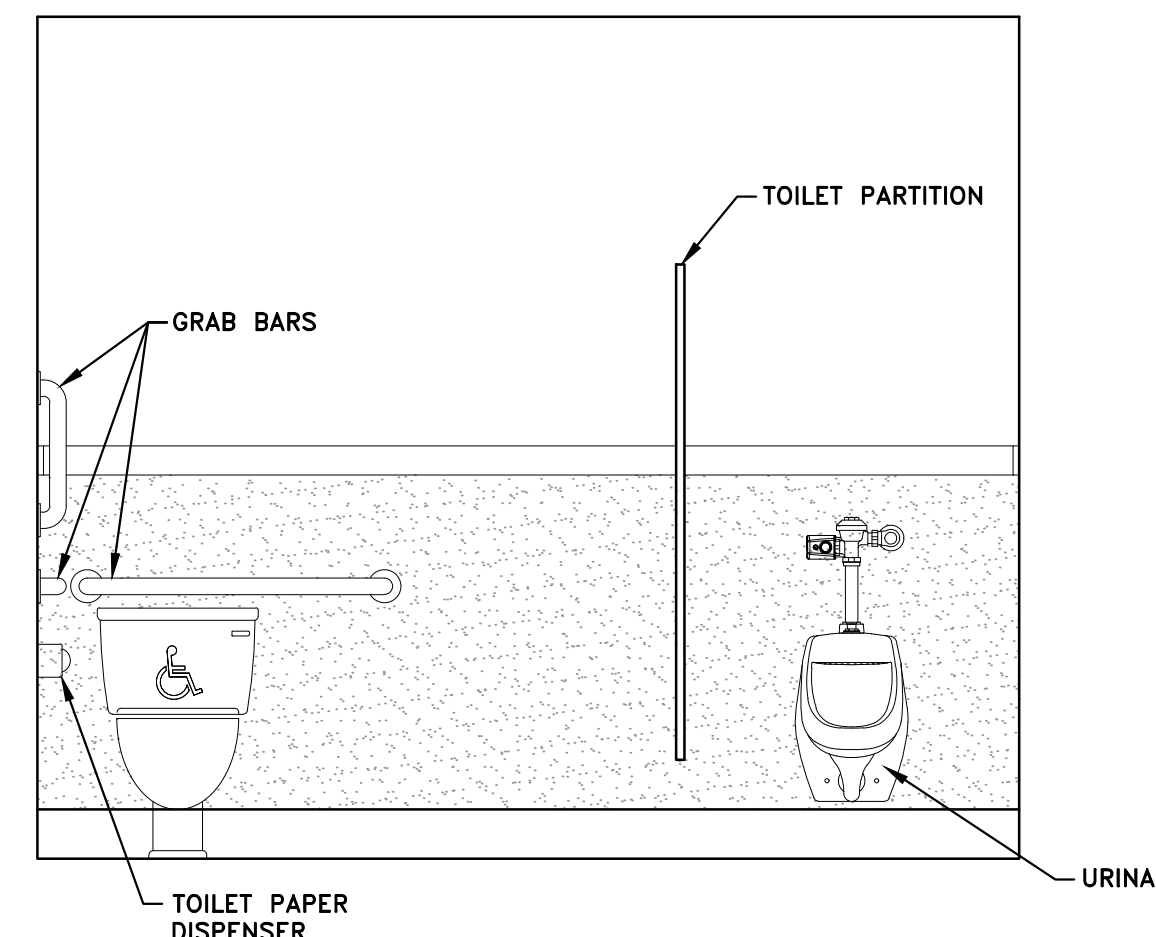
WOMEN'S ROOM - C



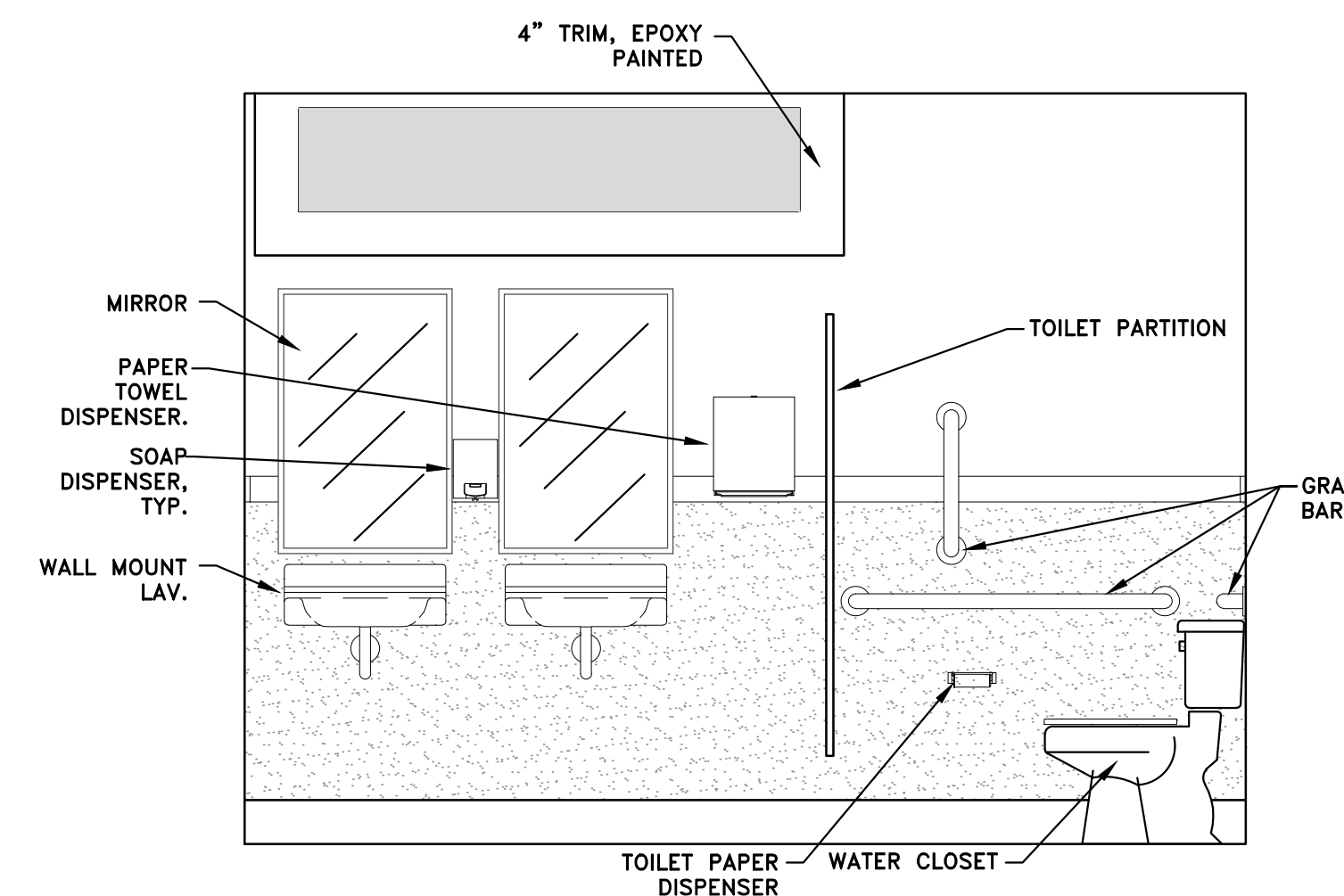
WOMEN'S ROOM - D



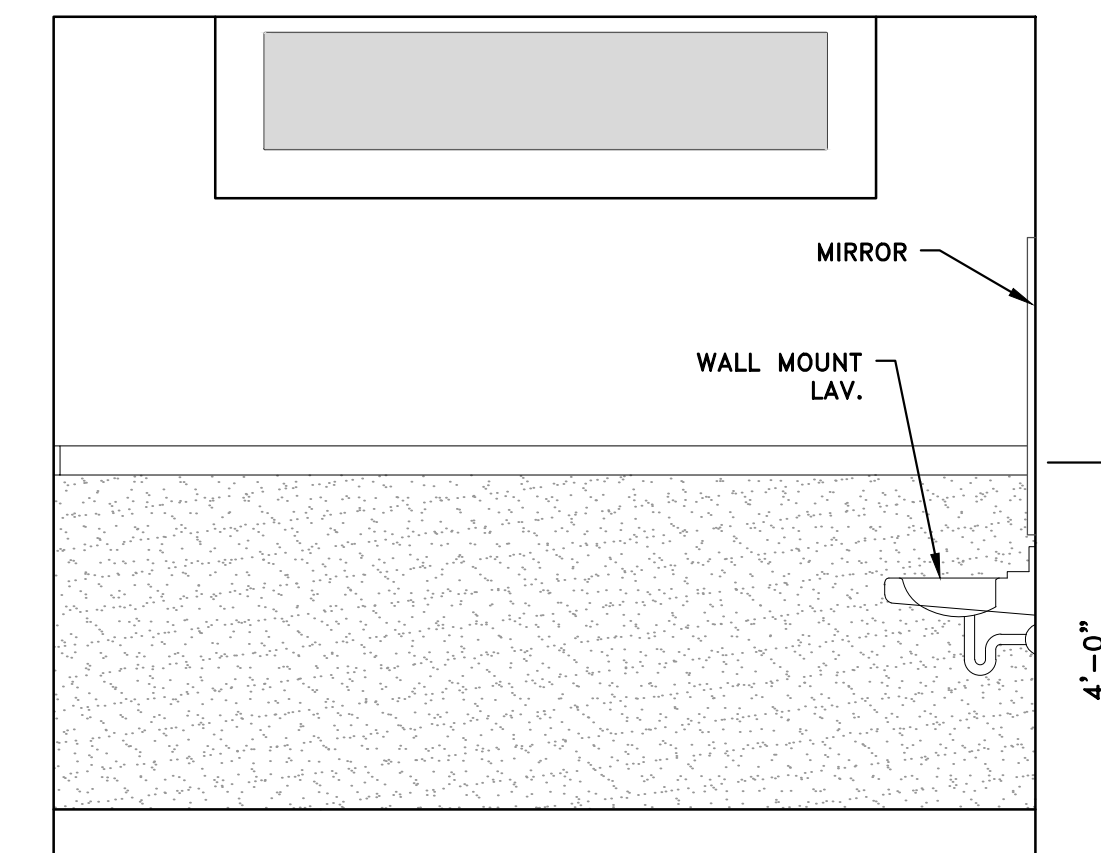
MEN'S ROOM - E



MEN'S ROOM - F

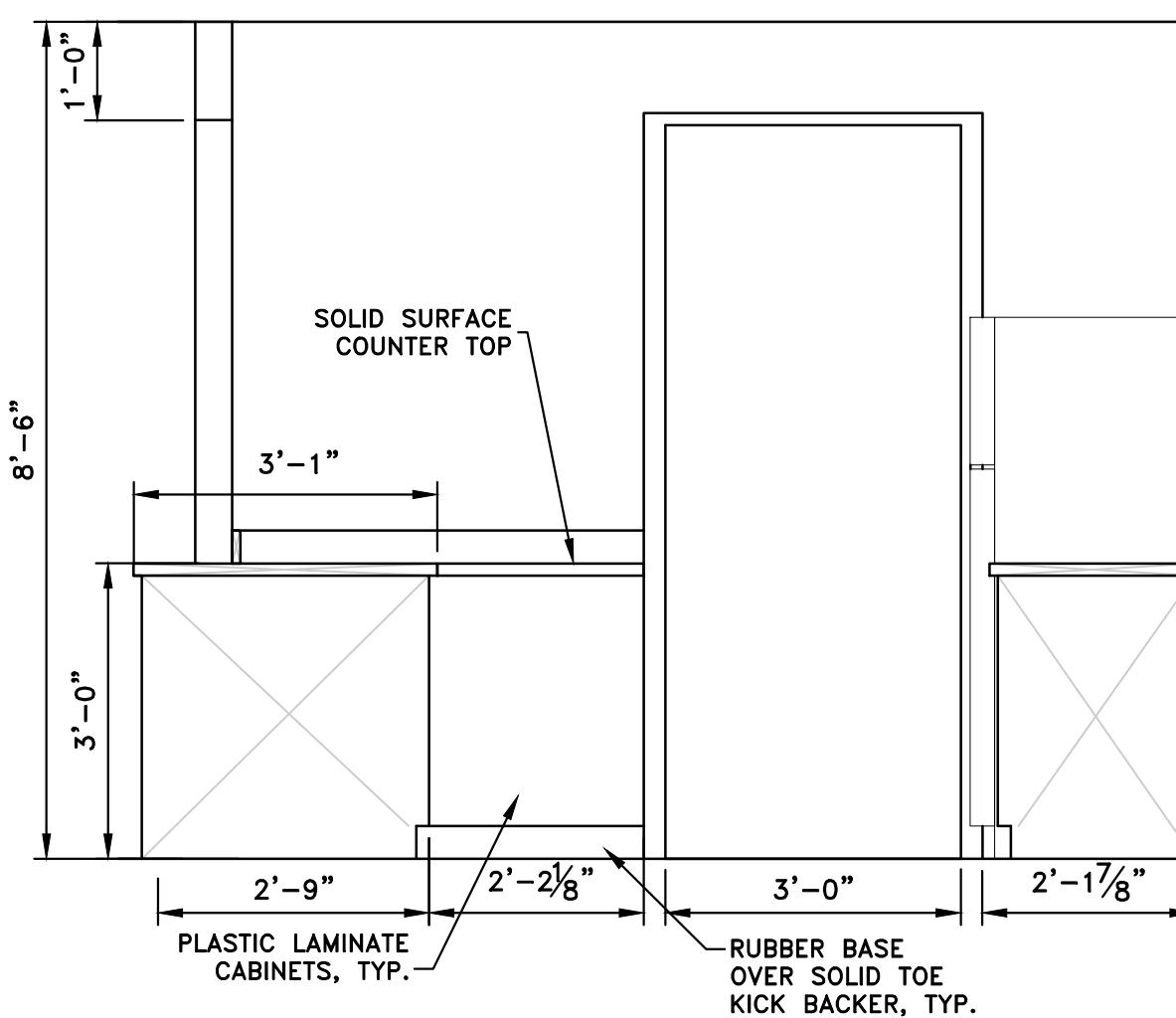


MEN'S ROOM - G

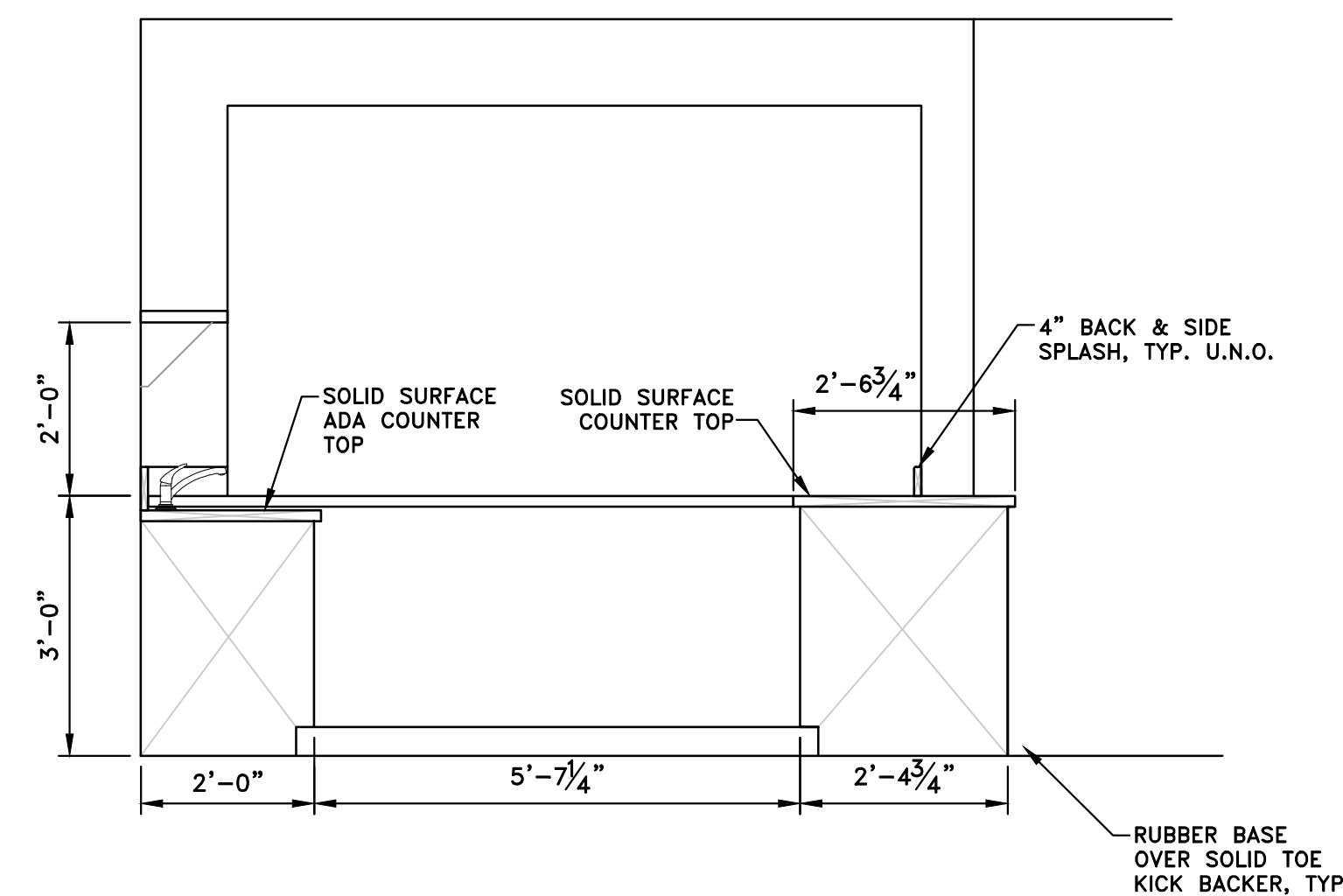
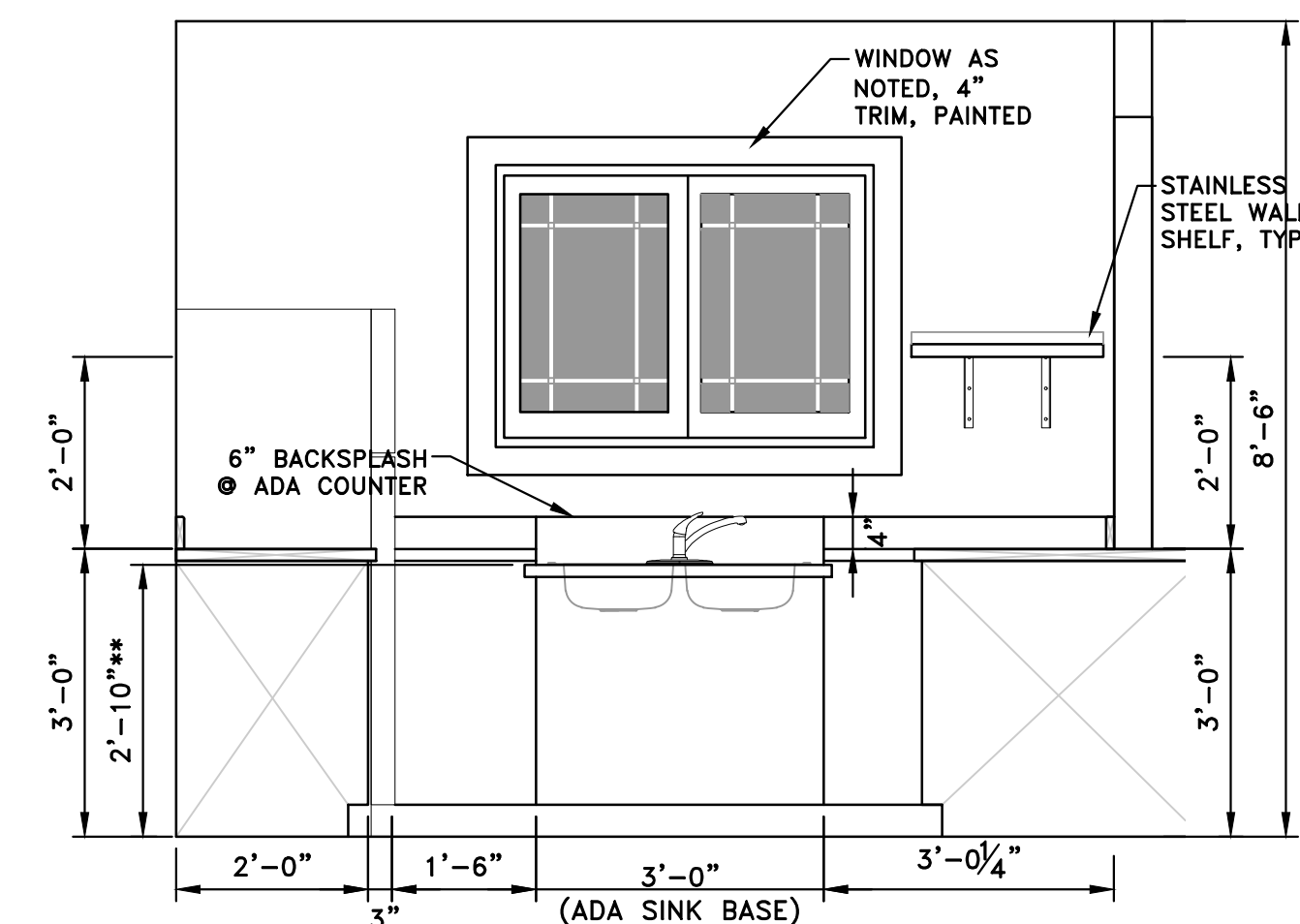


MEN'S ROOM - H

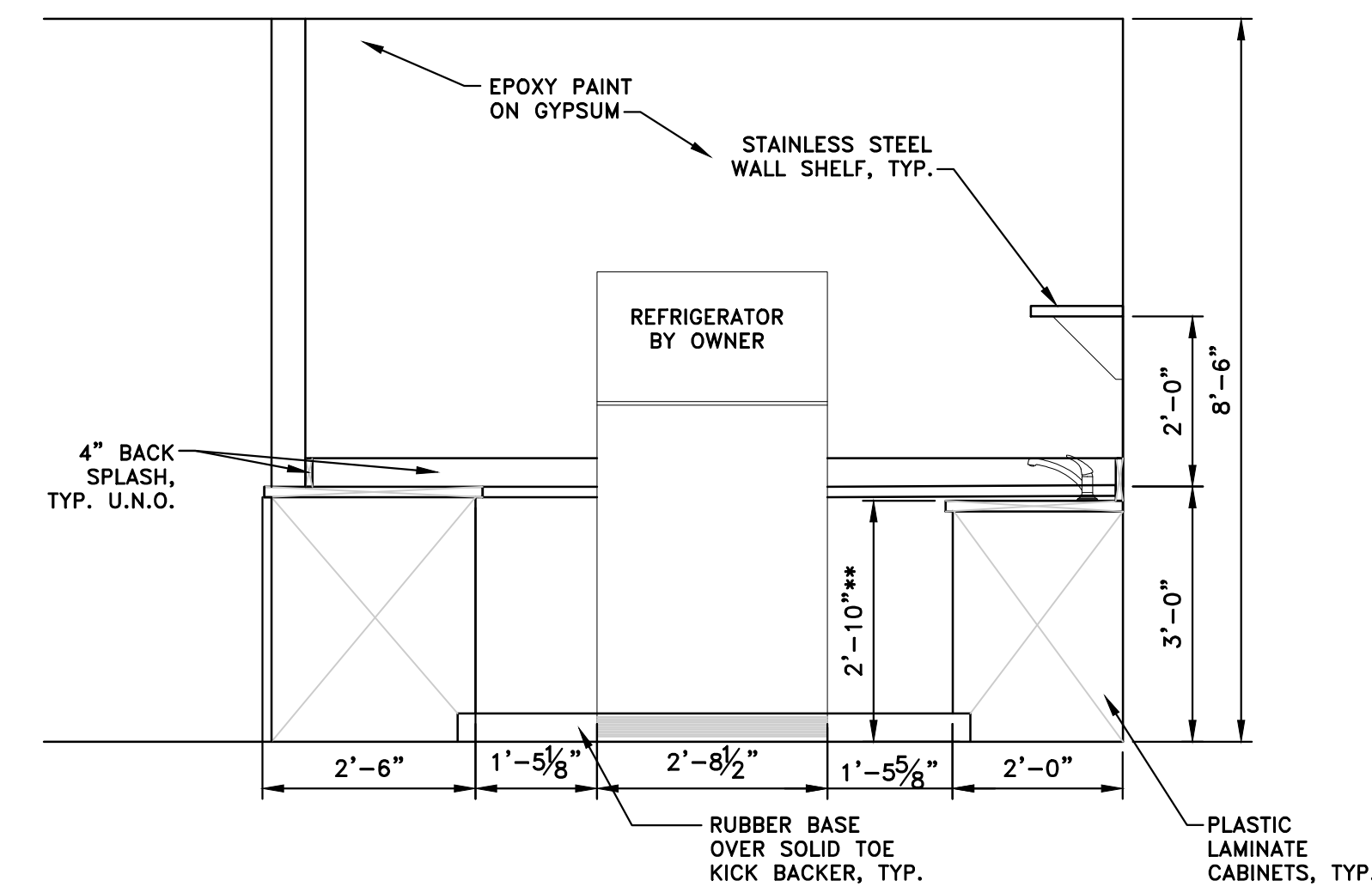
SCALE: 1/2" = 1'-0"



KITCHEN-J

KITCHEN-K

KITCHEN-L



KITCHEN—M

SCALE: 1/2" = 1'-0"

DUNDEE CIVIC  
COMMUNITY CENTER  
185 VAN NEST STREET  
DUNDEE, MICHIGAN 46181  
VILLAGE OF DUNDEE, MONROE COUNTY

---

INTERIOR ELEVATIONS

**DEVELOPER/OWNER:**  
VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430

ISSUE			
ITEM	COMMENT	DATE ISSUED	BY
FOR BID ONLY		11/17/23	KI
DRAWN BY ETH/KI		REVIEWED BY ARJ	

SCALE*	AS NOTED
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PLOT DATE	11/17/25
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JOB NO.	306001
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SHEET NO.

## A4.01



DOOR SCHEDULE - Dundee Civic Community Center																11/17/2025
OPENING NO.	GENERAL			THICKNESS	Door				Frame				MISC.			
	LOCATION		RATING		MATERIAL	Width	Height	ELEVATION	MATERIAL	FRAME WIDTH	HEAD HEIGHT	ELEVATION	HARDWARE SET	HEAD DETAIL <sup>5</sup>	JAMB DETAIL <sup>5</sup>	Remarks
	FROM	TO														
101A	101	Exterior	None	1 3/4"	Aluminum - Storefront	3'-0"	7'-0"	D1	Aluminum - Storefront	2"	2"	F1	1	H-1	J-1	
101B	101	Exterior	None	1 3/4"	Insulated Steel	3'-0"	7'-0"	D2	Hollow Metal, welded	2"	2"	F3	1	H-2	J-2	
101C	101	Exterior	None	1 3/4"	Insulated Steel	3' 0"	7' 0"	D2	Hollow Metal, Welded	2"	2"	F3	1	H-7	J-7	
101D	101	105	None	1 3/4"	Aluminum - Storefront	3' 0"	7' 0"	D1	Aluminum - Storefront	2"	2"	F4	2	H-9	J-9	
104	105	104	None	1 3/4"	Wood	3' 0"	7' 0"	D2	Hollow Metal, Welded	2"	2"	F3	5	H-7	J-7	
105	105	Exterior	None	1 3/4"	Aluminum - Storefront	6'-0"	7' 0"	D4	Aluminum - Storefront	2"	2"	F2	6	H-4	J-4	
106	105	106	None	1 3/4"	Wood	3' 0"	7' 0"	D2	Hollow Metal, Welded	2"	2"	F3	5	H-7	J-7	
107	101	107	None	1 3/4"	Wood	3'-0"	7' 0"	D2	Hollow Metal, welded	2"	2"	F3	3	H-8	J-8	
108	101	108	None	1 3/4"	Wood	6'-0"	7'-0"	D3	Hollow Metal, welded	2"	2"	F2	4	H-8	J-8	
109	101	109	None	N/A	N/A	N/A	N/A	N/A	Hollow Metal, welded	2"	2"	F3	N/A	H-2	J-2	

NOTES:  
1. ALL DOOR HARDWARE TO BE ADA COMPLIANT  
2. ALL DOOR HANDLES TO BE LEVER TYPE  
3. ALL WOOD DOORS TO BE SOLID CORE  
4. ALL DOOR HARWARED FINISHES TO BE BRUSHED OR SATIN CHROME (26D OR 32D)  
5. SEE THIS SHEET FOR DETAILS

HARDWARE SETS

SET #1  
3 HINGES  
1 RIM EXIT DEVICE W/  
EXTERIOR LEVER  
1 CLOSER  
1 WEATHER SEAL  
1 DOOR SWEEP  
1 ADA THRESHOLD

SET #2  
3 HINGES  
1 RIM EXIT DEVICE W/  
INTERIOR LEVER  
1 CLOSER  
1 WALL BUMPER

SET #3  
3 HINGES  
1 LOCK SET – STORAGE  
1 MOP PLATE  
1 KICK PLATE

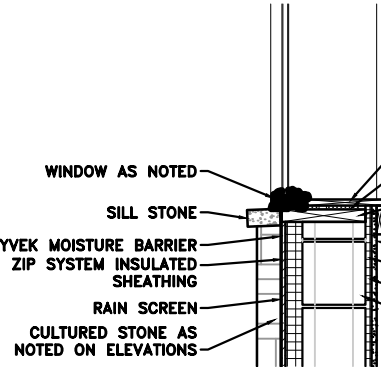
SET #4  
6 HINGES  
1 LOCK SET – STORAGE  
2 MOP PLATE  
2 KICK PLATE

SET #5  
3 HINGES  
PUSH/PULL HARDWARE  
1 CLOSERS  
2 KICK PLATES

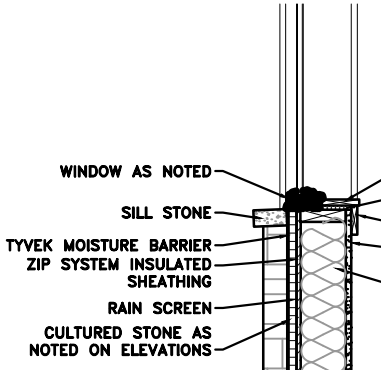
SET #6  
6 HINGES  
2 FLUSH BOLTS  
1 DEAD LATCH/PADDLE  
1 CYLINDER  
2 C-PULLS  
2 DUMMY BARS  
2 CLOSERS  
2 DROP PLATES  
2 DOOR SWEEPS  
1 ADA THRESHOLD  
1 WEATHER STRIP

WINDOW SCHEDULE									
SYM	INDIVIDUAL UNIT WIDTH**	INDIVIDUAL UNIT HEIGHT**	U VALUE (APPROX.)*	GLAZING	TYPE	HEAD DETAIL***	JAMB DETAIL***	SILL DETAIL***	REMARKS/MODEL#
	5'-11 7/8"	4'-0"	0.28	TINTED, LOW-E SUN	PICTURE	H-10/11	J-10/11	S-1/2	WOOD WINDOW W/ VINYL EXTERIOR CLADDING ANDERSEN, P6040, PRAIRIE GRILLES
	4'-11 1/4"	2'-11 1/4"	0.31	TINTED, LOW-E SUN	GLIDING	H-12	J-12	S-3	WOOD WINDOW W/ VINYL EXTERIOR CLADDING ANDERSEN, G53, PRAIRIE GRILLES
	3'-11 1/4"	2'-11 1/4"	0.31	TINTED, LOW-E SUN	GLIDING	H-12	J-12	S-3	WOOD WINDOW W/ VINYL EXTERIOR CLADDING ANDERSEN, P43, PRAIRIE GRILLES
	6'-0"	2'-0"	0.28	TINTED, LOW-E SUN	PICTURE	H-11	J-11	S-4	WOOD WINDOW W/ VINYL EXTERIOR CLADDING ANDERSEN, CUSTOM, P6020, PRIVACY GLASS, PRAIRIE GRILLES
	5'-0"	2'-8"	0.28	TINTED, LOW-E SUN	PICTURE	H-11	J-11	S-4	WOOD WINDOW W/ VINYL EXTERIOR CLADDING ANDERSEN, CUSTOM, PRAIRIE GRILLES

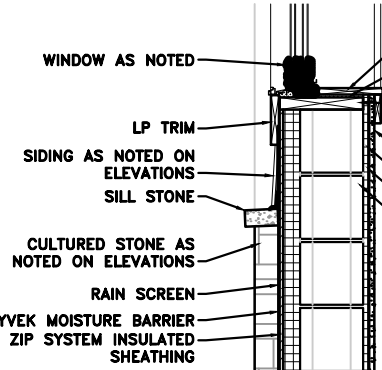
\* U-VALUE BASED ON TOTAL UNIT  
\*\* UNIT MEASUREMENTS MAY VARY SLIGHTLY.  
\*\*\* SEE THIS SHEET FOR DETAILS  
STEEL LINTELS:  
FOR OPENINGS UP TO 6' – 3"x3"x1/4"  
FOR OPENINGS FROM 6'-12' – 4"x4"x3/8"  
FOR OPENINGS OVER 12' – SEE STRUCTURAL PLANS  
ALL STEEL LINTELS TO HAVE A MINIMUM OF 4" BEARING EACH SIDE



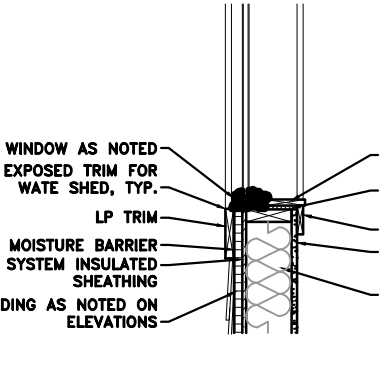
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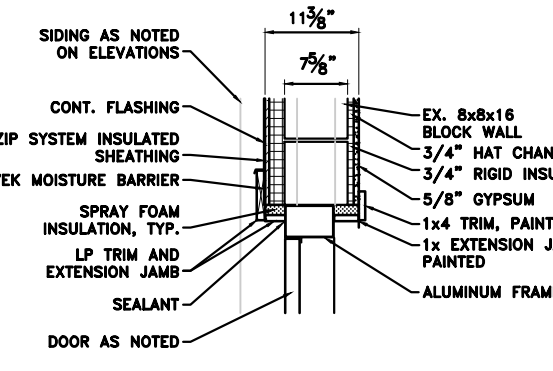
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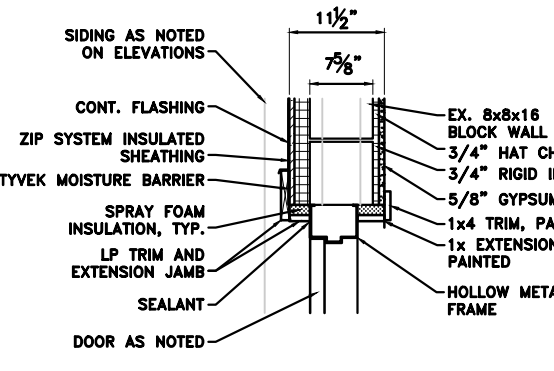
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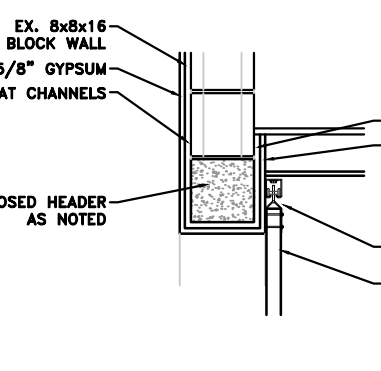
S-4



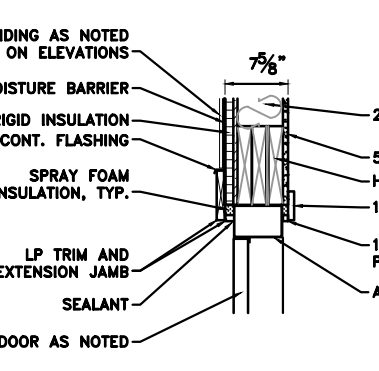
H-1



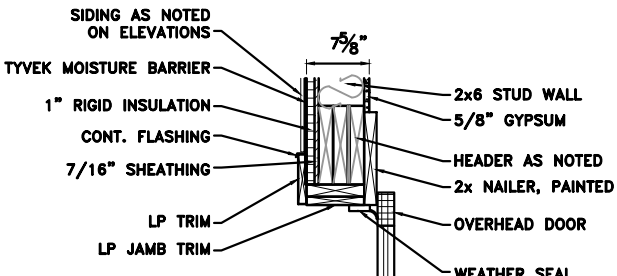
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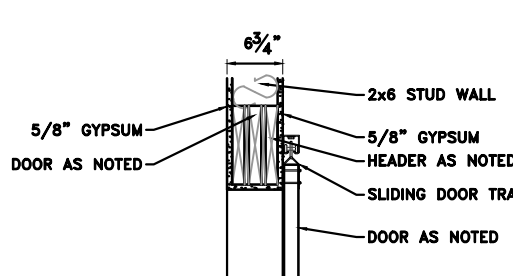
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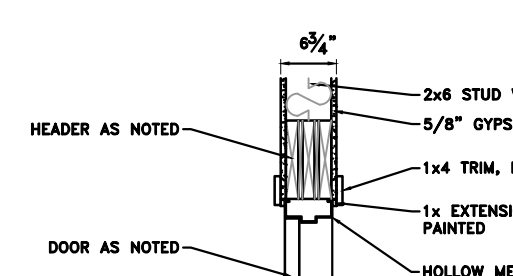
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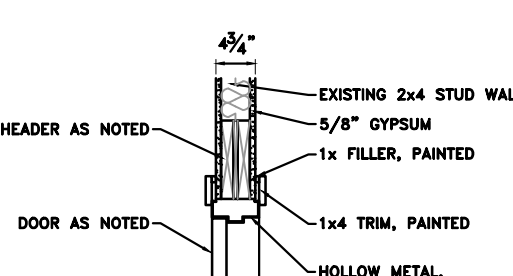
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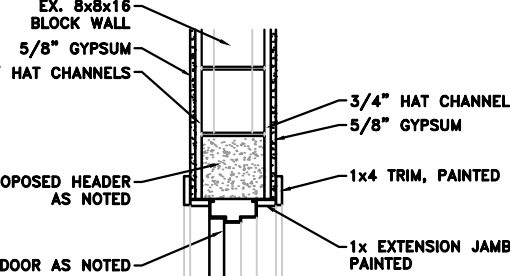
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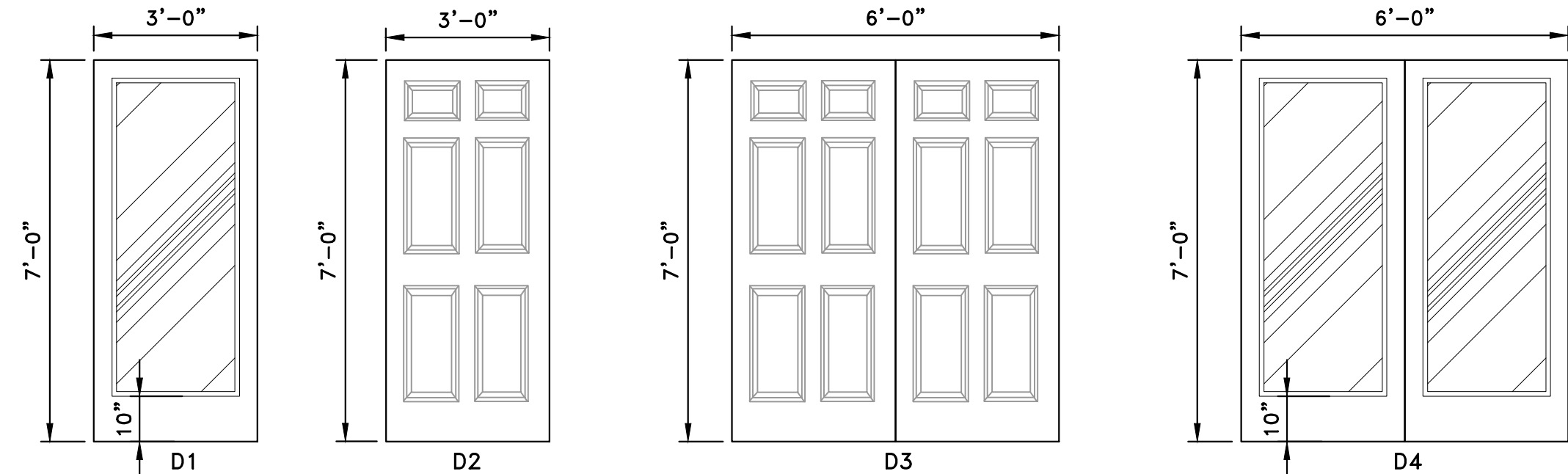
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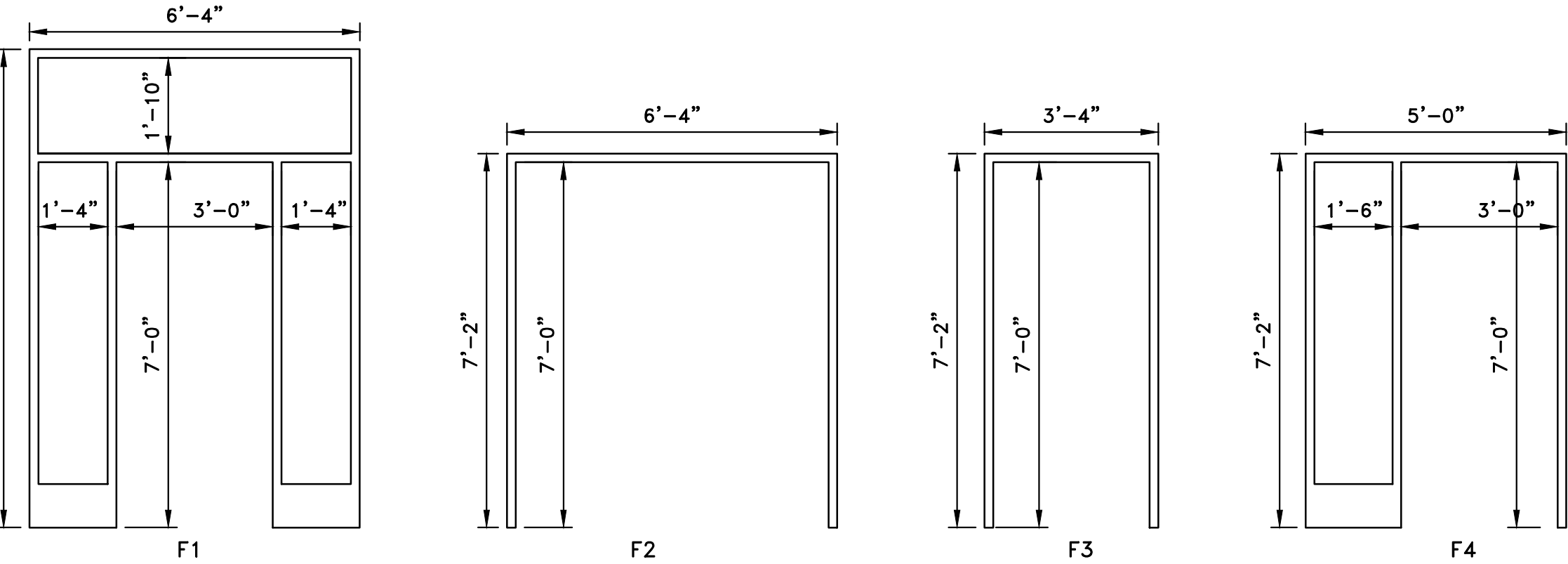
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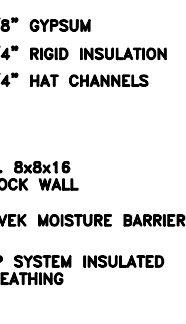


DOOR ELEVATIONS  
SCALE: NONE

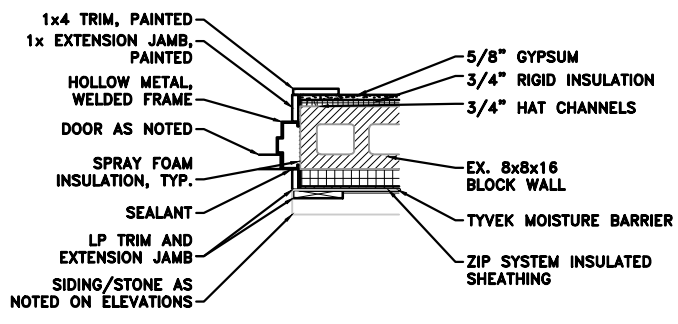


FRAME ELEVATIONS  
SCALE: NONE

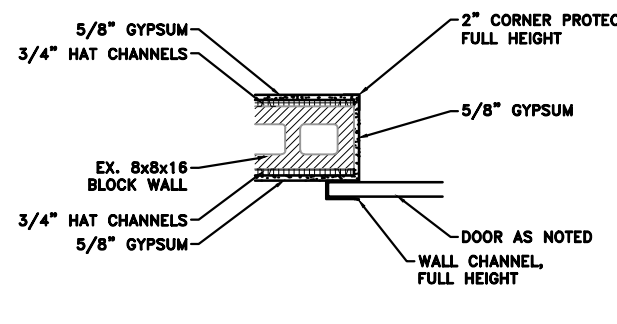
Project: DUNDEE CIVIC COMMUNITY CENTER				DAC.Job #: 301006				Date: 11/17/2025					
INTERIOR FINISH SCHEDULE													
Room Number	Room Name	Floor		Walls			Base		Ceiling		Height	Notes	
		LVCT	Sealed Concrete	Paint	Epoxy Paint	Wood Paneling/Vainscot (paint)	FRP Vainscot	4" Rubber	6" Rubber	ACT	Paint on Gypsum	Stain on Wood	
100	Patio		O					O			O	9'-8 1/2"	
101	Assembly Hall	O			O	O		O		O		8'-6"	
104	Women's Toilet Room	O				O	O	O				9'-0"	
105	Vestibule	O			O	O		O		O		9'-0"	
106	Men's toilet Room	O			O	O		O		O		9'-0"	
107	Mechanical		O		O			O		O		9'-0"	
108	Storage	O						O		O		9'-0"	
109	Warming Kitchen	O			O			O		O		8'-6"	



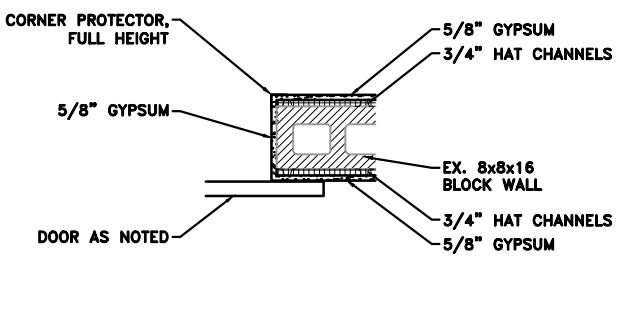
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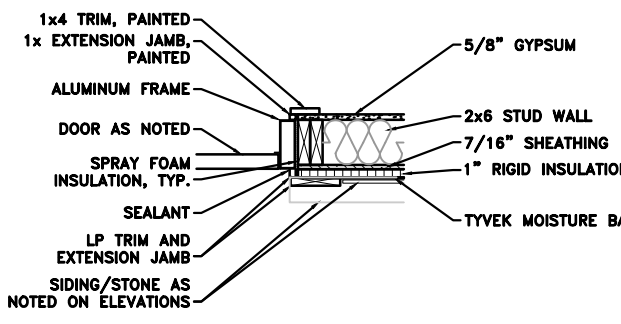
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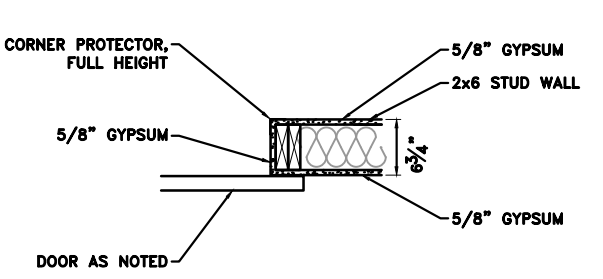
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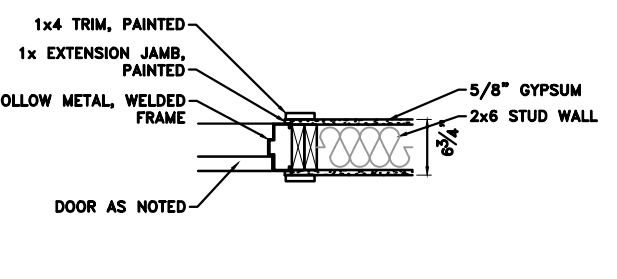
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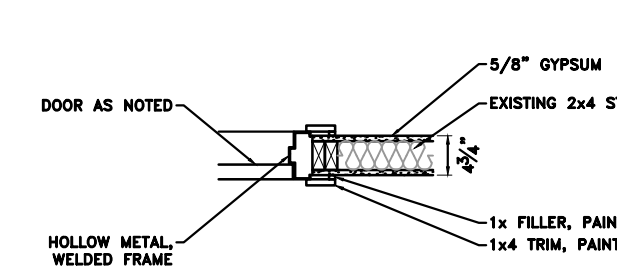
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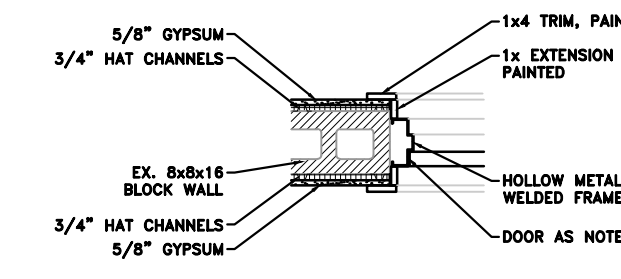
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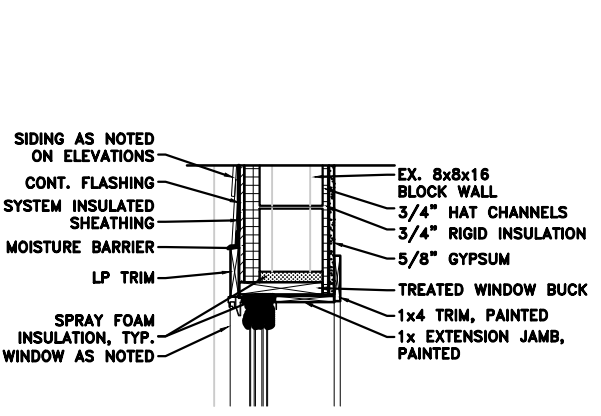
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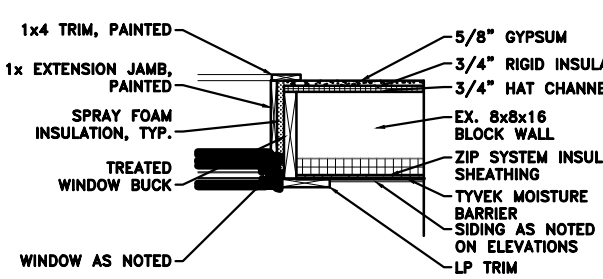
J-8



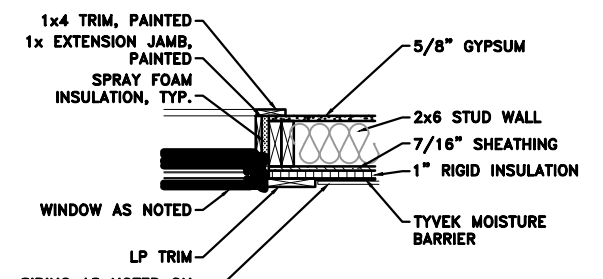
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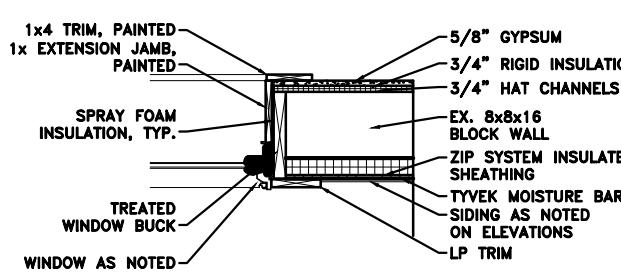
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J-10



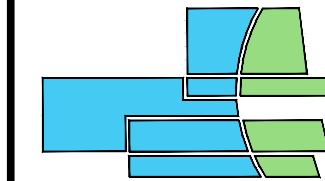
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J-12

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DAVID ARTHUR CONSULTANTS, INC.



110 MAIN STREET, DUNDEE, MI 48131  
PHONE: (734) 823-5080

FOR BID PURPOSES ONLY

NOT FOR CONSTRUCTION OF APPROVAL

DUNDEE CIVIC COMMUNITY CENTER  
165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

FINISH, DOOR & WINDOW SCHEDULES

DEVELOPER/OWNER:

VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430



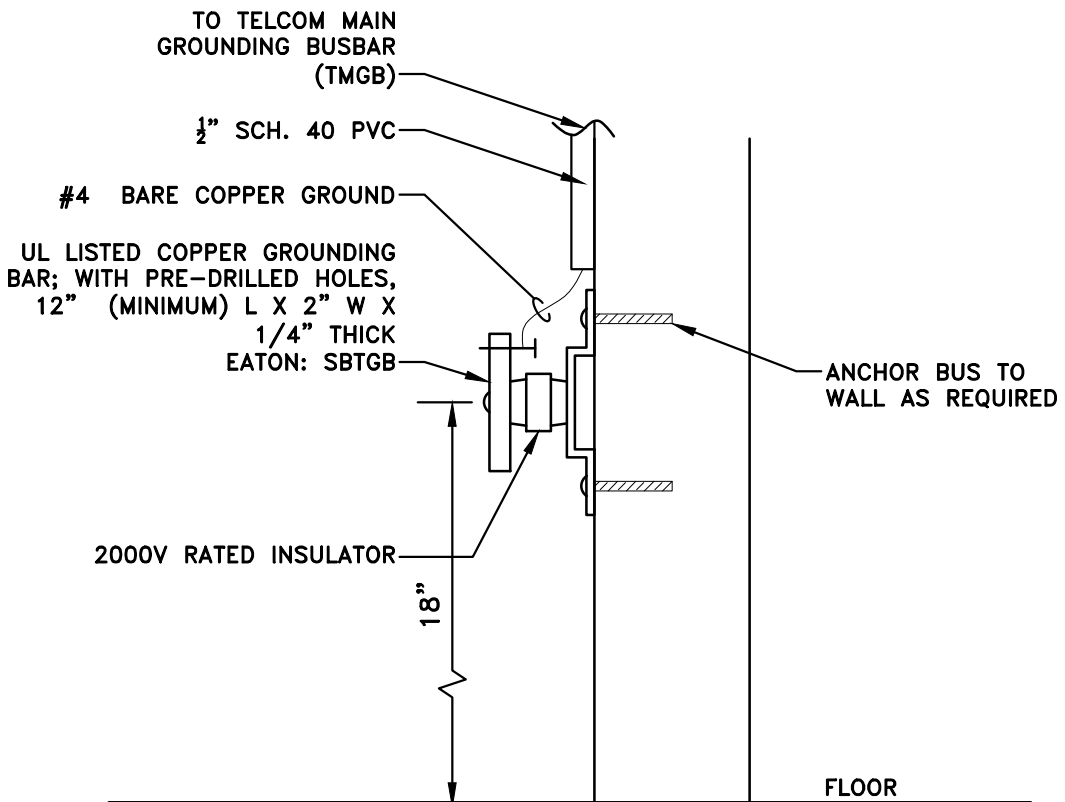
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SCALE\* AS NOTED  
PLOT DATE 11/17/25  
JOB NO. 306001  
SHEET NO.

A4.02

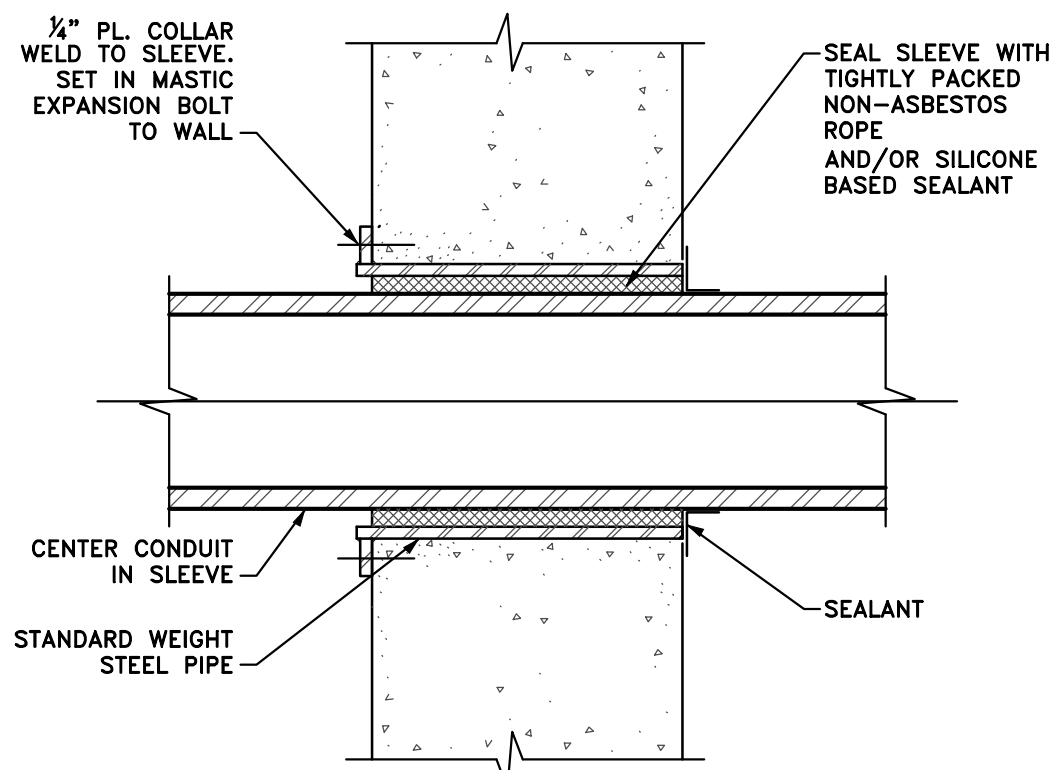


BUILDING NAME:	DUNDEE CIVIC COMMUNITY CENTER	CLIENT:	VILLAGE OF DUNDEE	DATE:	6/18/2025
PROJECT:	NEW CONSTRUCTION	PROJECT NO:	DV-00119		
PANEL ID:	PP-1				
PANEL LOCATION:	107 MECHANICAL ROOM				
PANEL DESCRIPTION:	VOLT 240 PHASE 1 WIRE 3 HZ 60 POLE 42 KAIC 22 MOUNT SURFACE NTRL 100% GND 100%				
FEEDER / CONDUIT SIZE:	3 - #3/0 + 1 - #6 GND., 2-1/2" C				
MAIN:	AMP 225 CONN MCB SOURCE METER				
CKT LOAD NO. DESCRIPTION	LOAD (VA) LTG RECEP MECH COND. POLE AMP PH BRKR AMP POLE COND. MECH RECEP LTG			LOAD (VA) LOAD DESCRIPTION CKT NO.	
1 RECEP - 101 (N&W), EXTERIOR	1000 #12 1 20 A 20 1 #12 600			FUR #2	2
3 RECEP - 101 (S)	800 #12 1 20 B 20 1 #12 1550			FUR #1	4
5 RECEP - 101 (E)	800 #12 1 20 A 20 1 #12 1640			CU-2	6
7 RECEP - 109 (E), EXTERIOR	600 #12 1 20 B 50 2 #8 1920			CU-1	8
9 RECEP - 109 (E)	440 #12 1 20 A 4 X 1 1920				10
11 REFRIGERATOR - 109	720 #12 1 20 B 15 1 #12 1109			ERV-1	12
13 MICROWAVE - 109	1500 #12 1 20 A 20 1			SPARE	14
15 RECEP - 109 (W), 108, ATTIC	1200 #12 1 20 B 20 1			SPARE	16
17 RECEP - 107 (TTB)	600 #12 1 20 A 20 1			SPARE	18
19 RECEP - 109 (N,S,E)	1000 #12 1 20 B 20 1			SPARE	20
21 RECEP - EXT. (W/N)	1000 #12 1 20 A 20 1 #12			ATTIC LIGHTS	22
23 RECEP - EXT. (W/S)	800 #12 1 20 B 20 1 #12			EXTERIOR LIGHTS - TIMER	24
25 DRINKING FOUNTAIN	600 #12 1 20 A 20 1 #12			EXTERIOR LIGHTS - SENSOR	26
27 WATER HEATER	240 #12 1 20 B 20 1 #12			LIGHTS - 101	28
29 RECEP - 104, 105, 106	1000 #12 1 20 A 20 1 #12			LIGHTS - 100	30
31 ENTRY MONITORS	440 #12 1 20 B 20 1 #12			LIGHTS - 103,104,105,106,107,1	32
33 space				space	34
35 space				space	36
37 space				space	38
39 space				space	40
41 space				space	42
SUBTOTALS (VA)	12500 240			8979 1980	
LARGEST LOAD (VA)	LTG RECEP MECH 3840			PH LOAD IMBALANCE (VA) (%)	
CONNECTED LOAD (VA)	1980 12500 9219			A 11702 A-B 2.52	
DEMAND FACTOR	1.0 NEC 1.0			B 11997	
DEMAND LOAD (VA)	1980 11250 9219				
VA AMPS					
TOTAL CONNECTED LOAD	23699 98.7				
TOTAL DEMAND LOAD	22449 93.5				
FEEDER SIZE	99.6				
NOTES/REMARKS	NEC = (10 kVA of Recep @ 100%) + (Remaining Recep @ 50%)				



- NOTES:
- PART NUMBERS ARE BASED ON COOPER/EATON. OTHER APPROVED MANUFACTURERS; PANDUIT, LEGRAND, AND HUBBELL.
  - TWO-HOLE COMPRESSION LUGS AND JOINT COMPOUND SHALL BE USED FOR ALL TERMINATIONS.

#### GROUND BUS DETAILS - TELCOM NTS



#### CONDUIT THROUGH EXTERIOR WALL NTS

#### ELECTRICAL SPECIFICATION & GENERAL NOTES:

- ALL WORK TO BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE AND MICHIGAN BUILDING CODE AS NOTED IN THE PROJECT DESIGN CRITERIA.
- UTILITY, PLAN REVIEW, BUILDING PERMIT & OTHER RELATED FEES SHALL BE BY ELECTRICAL CONTRACTOR. CONTRACTOR TO COORDINATE & SCHEDULE INSPECTIONS WITH APPROPRIATE AGENCIES HAVING JURISDICTION & INSTALL ALL SYSTEMS IN CONFORMANCE WITH FEDERAL, STATE, & LOCAL CODES AND AGENCY REQUIREMENTS. CONTRACTOR TO CONTACT RELATED UTILITY COMPANIES (POWER, TELEPHONE, ETC.), COORDINATE ALL WORK WITH THEIRS, & VERIFY DIVISION OF RESPONSIBILITIES BEFORE COMMENCING ANY WORK.
- INSTALL EQUIPMENT AND MATERIALS IN COMPLIANCE WITH THE CURRENT APPLICABLE VERSION OF THE:
  - NATIONAL ELECTRICAL CODE (NEC)
  - LIFE SAFETY CODE (NFPA-101)
  - STATE OF MICHIGAN DEPARTMENT OF CONSUMER AND INDUSTRY SERVICES, BUREAU OF CONSTRUCTION CODES AND FIRE SAFETY
  - AUTHORITY HAVING JURISDICTION
  - MANUFACTURERS' INSTRUCTIONSONLY PROVIDE EQUIPMENT AND MATERIALS FROM THE MANUFACTURERS SPECIFIED.
- COORDINATE ALL INTERRUPTIONS OF ELECTRICAL SERVICE TO THE EXISTING FACILITY, A MINIMUM OF ONE WEEK IN ADVANCE, THROUGH THE OWNER'S ON-SITE REPRESENTATIVE.
- COORDINATE TEMPERATURE, LOW VOLTAGE, FIRE ALARM/SECURITY SYSTEM, MOTORS, PUMPS, TELEPHONE & COMPUTER/DATA ELECTRICAL WORK WITH THAT OF OTHERS AND MANUFACTURER'S CRITERIA FOR COMPLETE OPERATIONAL & FUNCTIONAL SYSTEMS, & EXTENT OF WORK BY EACH PARTY.
- VERIFY MOUNTING HEIGHTS AND LOCATIONS OF ALL RECEPTACLES, BOXES, SWITCHES, DEVICES, ETC. WITH THE GOVERNING CODES AND WITH THE OWNER PRIOR TO INSTALLATION.
- ELECTRICAL CONTRACTOR TO SUBMIT AND REVIEW MANUFACTURER'S CATALOG CUT SHEETS OF LIGHT FIXTURES, ETC. WITH OWNER & ARCHITECT PRIOR TO ORDERING. ADVISE OWNER IF ANY DIFFERENCE IN COST, QUANTITY, OR QUALITY THAN THAT SHOWN ON ELECTRICAL DRAWINGS. CONFIRM AND RESOLVE ANY DIFFERENCES WITH OWNER PRIOR TO ORDERING. OTHERWISE OWNER TO ASSUME SUCH TO BE PROVIDED AS SHOWN HEREIN AND AS PART OF HIS BID (WITH NO CHANGE/CHANGE ORDERS).
- ALL WIRING SHALL BE COPPER (SOLID OR STRANDED) SIZED TO HANDLE THE EQUIPMENT CONNECTED AND PER LOCAL AND NATIONAL CODES. ALL WIRING TO BE ENCLOSED IN GALVANIZED STEEL CONDUIT OR MC TYPE. ANY EXTERIOR CONDUIT OR CONDUIT EXPOSED TO SUN, SHALL BE UV RESISTANT. WIRE AND CABLE SHALL BE SINGLE CONDUCTOR COPPER, WIRE SHALL BE TYPE THHN-2 OR XHHW-2 INSULATION RATED 90 DEGREES C, 600 VOLTS. WIRE NO.12 WAG AND LARGER SHALL BE STRANDED.
- ELECTRICAL EQUIPMENT TO BE RECESSED, U.N.O.. PROVIDE PLASTIC LAMINATE PANEL DESIGNATION LABELS.
- SEE MECHANICAL DRAWING FOR THERMOSTAT LOCATIONS.
- CIRCUIT BREAKERS. PROVIDE ALSO WHERE "SPARES" NOTED ON PANEL SCHEDULES.
- FINAL CONNECTIONS TO LIGHTING FIXTURES SHALL BE 1/2" MINIMUM FLEXIBLE METALLIC CONDUIT, MANUFACTURED WIRING SYSTEMS, OR GALVANIZED STEEL TYPE MC CABLE. ALL WITH STEEL FITTINGS. FINAL CONNECTIONS TO MOTORS AND EQUIPMENT SUBJECT TO VIBRATION OR REMOVAL FOR MAINTENANCE SHALL BE LIQUID TIGHT FLEXIBLE METALLIC CONDUIT WITH STEEL LIQUID TIGHT FITTINGS.
- BATTERY BACK-UP EXIT AND EMERGENCY LIGHTS SHALL BE FED FROM THE SAME CIRCUIT AS ADJACENT ROOM LIGHTING AND BE CONNECTED AHEAD OF ANY LOCAL SWITCHES.
- INSTALL A GFI RECEPTACLE WITHIN 25' OF ANY EXTERIOR MECHANICAL EQUIPMENT.
- OTHER THAN EXISTING ELECTRICAL EQUIPMENT NOTED TO REMAIN, ALL OTHER ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE NEW AND LABELED BY UNDERWRITERS LABORATORIES (UL) ELECTRICAL TESTING LABORATORIES (ETL) OR MET LABORATORIES (MET) OR OTHER RECOGNIZED LABORATORY.
- CONDUCTORS BELOW GRADE OR SUBJECT TO MOISTURE SHALL BE XHHW.
- PROVIDE FACTORY SERIES COORDINATION FOR ALL CIRCUIT BREAKERS (INCLUDING ALL BRANCH BREAKERS). RELATIVE TO "UPSTREAM" BREAKERS, SO THAT ONLY THE BREAKER CLOSEST IN THE CIRCUIT TO THE LOAD TRIPS UPON AN OVERLOAD OF FAULT CONDITION.
- POWER DISTRIBUTION EQUIPMENT SUPPLIER SHALL PROVIDE EQUIPMENT APPROPRIATELY RATED AND BRACED TO ACCOMMODATE THE AVAILABLE FAULT CURRENT AT THE UTILITY COMPANY TRANSFORMER SECONDARIES. THE SUPPLIER SHALL ACCORDINGLY PROVIDE ANY RELATED CALCULATIONS SO THAT THEIR EQUIPMENT IS PROPERLY COORDINATED FOR THE AVAILABLE FAULT CURRENT. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE SUPPLIER WITH COPIES OF THE ELECTRICAL DOCUMENTS AS REQUIRED SO THAT PROPERLY RATED/BRACED EQUIPMENT IS PROVIDED UNDER THE BASE BID.
- ALL WORKING CLEARANCES ARE TO BE PROVIDED, AND MAINTAINED WHERE WORKING WITH EXISTING CONDITIONS, AT ALL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH N.E.C. AND GOVERNING CODES. A MINIMUM OF 3'-0" CLEARANCE TO BE PROVIDED AT ALL ELECTRICAL PANELS.
- THE PLANS SHOWN ARE DIAGRAMMATIC ONLY AND DO NOT INTEND TO SHOW EVERY DETAIL OF THE ELECTRICAL DESIGN. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENSURING COMPLIANCE WITH ALL N.E.C. REQUIREMENTS. THIS INCLUDES NOT ONLY EQUIPMENT SHOWN ON THE PLANS, BUT ALSO EQUIPMENT AND DEVICES SHOWN IN THE RISER DIAGRAM AND ANY OTHER EQUIPMENT NECESSARY PER MANUFACTURERS REQUIREMENTS OR AS NEEDED FOR A COMPLETE OPERATIONAL SYSTEM.
- COORDINATE ALL EXTERIOR WORK WITH AFFECTED UTILITIES AND THE OWNER. PROVIDE THE EXCAVATION, BACKFILL, COMPACTION AND TESTING NECESSARY TO INSTALL THE UNDERGROUND RACEWAYS SHOWN ON THE PLANS AS REQUIRED. REPAIR ALL LAWNS, LANDSCAPE, PLANTINGS AND OTHER EXTERIOR FINISHES TO MATCH THE ADJACENT AREAS AT THE TIME OF COMPLETION OF THE PROJECT. BACKFILL AND COMPACT TRENCHES TO GRADE FOR FINAL GRADING/FINISH BY OTHER TRADES.
- LOW VOLTAGE CONTROL WIRING FOR MECHANICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
- PROVIDE ALL TEMPORARY LIGHTING REQUIRED THROUGHOUT THE PROJECT. REMOVE ANY TEMPORARY LIGHTING ONCE PERMANENT FIXTURES ARE OPERATIONAL. MAINTAIN LAMPS IN ALL FIXTURES, TEMPORARY AND PERMANENT, THROUGHOUT THE PROJECT.
- ELECTRICAL CONTRACTOR TO RUN POWER TO ALL OVERHEAD DOOR OPENERS AND DOOR OPERATORS, ALL PROPOSED EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS CONNECTION REQUIREMENTS.
- FOR EACH PIECE OF EQUIPMENT, IF NO COLOR CODING SYSTEM EXISTS FOR INDICATED SYSTEM FUNCTION AND VOLTAGE, COLOR CODE CIRCUITS AS FOLLOWS:  
THREE PHASE POWER 208/120 VOLTS:  
PHASE X(A): BLACK  
PHASE Y(B): RED  
PHASE Z(C): BLUE  
NEUTRAL: WHITE  
GROUND: GREEN  
PROVIDE A NAMETAG ON EACH IDENTIFYING THE PANEL AND CIRCUIT NUMBER FEEDING THE DEVICE. NAMETAGS SHALL CONSIST OF BLACK TEXT PERMANENTLY LAMINATED TO ADHESIVE BACKED CLEAR NYLON OR MYLAR TAPE. MARK JUNCTION BOX COVERS USING A 'SHARPIE' TYPE PERMANENT MARKER WITH THE PANEL AND BREAKER NUMBERS OF THE CIRCUITS.

Symbol	Label	Manufacturer	Catalog Number	Description	Lumens Per Lamp	LLF	Wattage
	A	LITHONIA LIGHTING	2FSL4 48L LP835	6IN LDN, 3000K, 3000LM, WHITE, CRI80	4896	1.0	38.5
	A/EM	LITHONIA LIGHTING	2FSL4 48L LP835 EL14L	6IN LDN, 3000K, 3000LM, WHITE, CRI80, 90 MINUTE EMERGENCY BATTERY PACK,	4896	1.0	38.5
	B	LITHONIA LIGHTING	LDN6 35/20 L06WR	6IN LDN, 3500K, 2000LM, WHITE, CRI80	1732	1.0	0.6
	B/EM	LITHONIA LIGHTING	LDN6 35/20 L06WR ELR	6IN LDN, 3500K, 2000LM, WHITE, CRI80 WITH 90 MINUTE EMERGENCY BATTERY PACK, MIN. 10W CONSTANT POWER	1732	1.0	0.6
	C	LITHONIA LIGHTING	WF4 REG SWW5 90 CRI MWM6	4" RECESSED BAFFLE LED DOWNLIGHT	400	1.0	5.0
	E	LITHONIA LIGHTING	SBL4 3000LM 80CRI 35K	SQUARE-BASKET LED WRAPAROUND, SURFACE MOUNT,	3236	1.0	25.5
	F	LITHONIA LIGHTING	2GTL 30L A19 3500K	2'x4' LED RECESSED TROFFER, ACRYLIC LENS	3000	1.0	33.3
	H	LITHONIA LIGHTING	EML17 RT 49LED 350MA 4K R4 GLF MVOLT QSME	MUNICH PENANT, EUROTIQUE FAMILY, PENDANT, RINGED BASE, WALL MOUNT BRACKET, ROTATE THROW TOWARD BUILDING, COLOR SELECTED BY OWNER	5000	1.0	55.6
	J	LEVITON	49875	ONE-PIECE GLAZED PORCELAIN LAMP HOLDER, OUTLET BOX MOUNT, WHITE, 9 WATT LED LAMP	800	1.0	9
	X	LITHONIA LIGHTING	LQM S W 3 R 120/277 EL N M6	LED EXIT SIGN WITH RED FACE AND WHITE HOUSING W/ AUTOMATIC EMERGENCY LIGHT, 90 MINUTE MIN. BATTERY PACK			0.71
	X1	LITHONIA LIGHTING	LHQM LED R HO M6	LED EXIT SIGN WITH RED FACE AND WHITE HOUSING W/ AUTOMATIC EMERGENCY LIGHT, 3W REMOTE CAPACITY, 90 MINUTE MIN. BATTERY PACK			4.3
	RH	LITHONIA LIGHTING	ELA QWP	SINGLE REMOTE LED HEAD. INTERCONNECT TO ADJACENT EXIT SIGN. PROVIDE 90 MINUTE MIN. EMERGENCY OPERATION. COLOR: WHITE			1.5
EXTERIOR FIXTURE SCHEDULE							
	S-A	Lithonia Lighting	DSX1 LED P5 35K 80CRI T4M HS	D-Series Size 1 Area Luminaire P5 Performance Package 3500K CCT 80 CRI Type 4 Medium HouseSide Shield	13846	1	138.1649
	S-B	Lithonia Lighting	DSX0 LED P1 35K 80CRI T3M	D-Series Size 0 Area Luminaire P1 Performance Package 3500K CCT 80 CRI Type 3 Medium	4310	1	33.21
	S-C	Lithonia Lighting	DSX0 LED P1 35K 80CRI TFTM	D-Series Size 0 Area Luminaire P1 Performance Package 3500K CCT 80 CRI Forward Throw	4404	1	33.21
	S-D	Lithonia Lighting	WF6 REG SWW5	6" RECESSED BAFFLE LED DOWNLIGHT	459	1	5.83
	S-E	Lithonia Lighting	DSXB LED 12C 700 30K ASY	D-SERIES BOLLARD WITH 12 3000K LEDS OPERATED AT 700ma AND ASYMMETRIC DISTRIBUTION	2173	1	31

ELECTRICAL LEGEND:				
SYMBOL	TYPE	MANUFACTURER*	DESCRIPTION	
	EF	GREENHECK	EXHAUST FAN. SEE MECHANICAL DRAWING FOR SPECIFICATIONS, U.L. LISTED W/GFG CONNECTION. PRE-WIRED OUTLET BOX. INTERCONNECT TO ROOM OCCUPANCY SENSOR.	120/1/60
		-	NEW LIGHTING/POWER DISTRIBUTION PANEL 120/208V., THREE PHASE, (GE, WESTINGHOUSE, ITE, SQUARE D, OR EQUAL). PROVIDE CIRCUIT BREAKERS PER PANEL SCHEDULE & WIRING FOR EACH PER NEC. LABEL ALL PANEL SCHEDULES ON DOOR. VERIFY WHERE UNDERGROUND POWER SERVICE IS COMING INTO THE BUILDING AND COORDINATE WITH UTILITY.	120/208/3/60
	-	LEVITON	DUPLEX CONVENIENCE OUTLET, 20 A., 2 POLE, WITH GROUND (NEMA 5-20R) COLOR WHITE OR AS SELECTED BY OWNER. PLASTIC COVER PLATE. M.H. AT 18" TO BOTTOM OF BOX UNLESS NOTED OTHERWISE.	120
	-	LEVITON	DUPLEX OUTLET AS SPECIFIED ABOVE W/ GROUND FAULT CIRCUIT INTERRUPTOR	120
	-	-	DUPLEX OUTLET AS SPECIFIED ABOVE, MOUNTED AT A SPECIFIC HEIGHT ABOVE FINISH FLOOR (AFF) TO THE CENTERLINE OF ELECTRICAL BOX.	-
	-	LEVITON	GFCI DUPLEX OUTLET AS SPECIFIED ABOVE WITH WEATHER RESISTANT COVER WITH CORDS PLUGGED IN	-
	-	LEVITON	FOUR-IN-ONE OUTLET, 20A 120V, 2 POLE, WITH GROUND. METAL BOX FOR RECESSED IN CONCRETE FLOORS, PLASTIC WEATHERPROOF COVER PLATE WITH REMOVABLE CAPS FOR EACH OUTLET. COLOR TO MATCH CARPETING, COORDINATE WITH OWNER. COLOR WHITE OR AS SELECTED BY OWNER.	-
	-	-	MOTOR EQUIPMENT ITEM (HVAC FAN, ETC.) - SIZE, PHASE, VOLTAGE, & FUNCTION AS SO NOTED. REFER ALSO TO ELECTRICAL NOTES AND PANEL SCHEDULES. PROVIDE DISCONNECT SWITCH OR GFI OUTLET AS REQUIRED BY CODE.	AS NOTED
	-	LEVITON	SINGLE-POLE QUIET SWITCH, 20 AMP, PLASTIC COVER PLATE, WHITE OR AS SELECTED BY OWNER. COLOR OF SWITCH AND COVER PLATE TO MATCH, U.N.O. 48" AFF MAX. TO CENTERLINE.	120
	-	LEVITON	THREE-WAY QUIET SWITCH, 20 AMP, PLASTIC COVER PLATE, WHITE OR AS SELECTED BY OWNER. COLOR OF SWITCH AND COVER PLATE TO MATCH, U.N.O. 48" AFF MAX. TO CENTERLINE.	120
	-	LEVITON	PRESET SLIDE DIMMER, SINGLE POLE, 120 VOLT, 20 AMP, WHITE OR IVORY, PLASTIC COVER PLATE OR AS SELECTED BY OWNER.	120
	-	LEVITON	NETWORK OUTLET. PROVIDE RECESSED BOX & 3/4" (U.N.O.) EMT OR PVC CONDUIT TO IT ROOM. EXACT TERMINATION POINT TO BE COORDINATE WIT OWNER. CONCEAL ALL CONDUITS IN WALLS IN FINISH SPACES, UNLESS DIRECTED DIFFERENTLY BY OWNER. BOXES TO BE 18" TO CENTERLINE U.N.O. ABOVE FINISH FLOOR. PROVIDE 1-CAT 6 CABLE FROM BOX TO TERMINATION POINT IN IT ROOM. COVER PLATE TO BE AS DIRECTED BY OWNER.	-
	-	-	SAFETY SWITCH, WP INDICATES NEMA 3R, FUSED, U.N.O. VERIFY SIZE WITH ATTACHED LOAD AND MANUFACTURER SPECIFICATIONS	-
	-	-	PHOTOCELL TO BE INTEGRAL TO THE FIXTURE WHERE NOTED AND TRIGGERED INDIVIDUALLY. EXTERNAL PHOTOCELL WHERE MULTIPLE FIXTURES TO BE CONNECTED. LOCATE REMOTE PHOTOCELL SENSOR IN THE GENERAL AREA OF THE FIXTURE, FACING NORTHEASTERLY IF POSSIBLE, ARROW INDICATES GENERAL DIRECTION PHOTOCELL SHOULD FACE. COORDINATE EXACT LOCATION OF REMOTE SENSOR WITH ARCHITECT PRIOR TO INSTALLATION.	-
	-	-	MECHANICAL TIMER, TO BE SET IN INDOOR METAL OR PLASTIC BOX, EASILY ACCESSIBLE. TIMER, OFF AND MANUAL OVERRIDE OPTIONS. TO BE LOCATED IN THE MECHANICAL ROOM #107.	-

NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER. THIS DRAWING SHALL NOT BE DUPLICATED, MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2025.

DAVID ARTHUR CONSULTANTS, INC.

110 MAIN STREET, DUNDEE, MI 48131  
PHONE (734) 823-5080

FOR BID PURPOSES ONLY

NOT FOR CONSTRUCTION OR APPROVAL

DUNDEE CIVIC COMMUNITY CENTER

165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

ELECTRICAL NOTES & DETAILS

DEVELOPER/OWNER:

VILLAGE OF DUNDEE  
MICHAEL HOFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430

ISSUE

DATE	BY
11/17/25	KI

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REVIEWED BY

DATE

REVIEWED BY

DATE

SCALE\*

AS NOTED

PLOT DATE

11/17/25

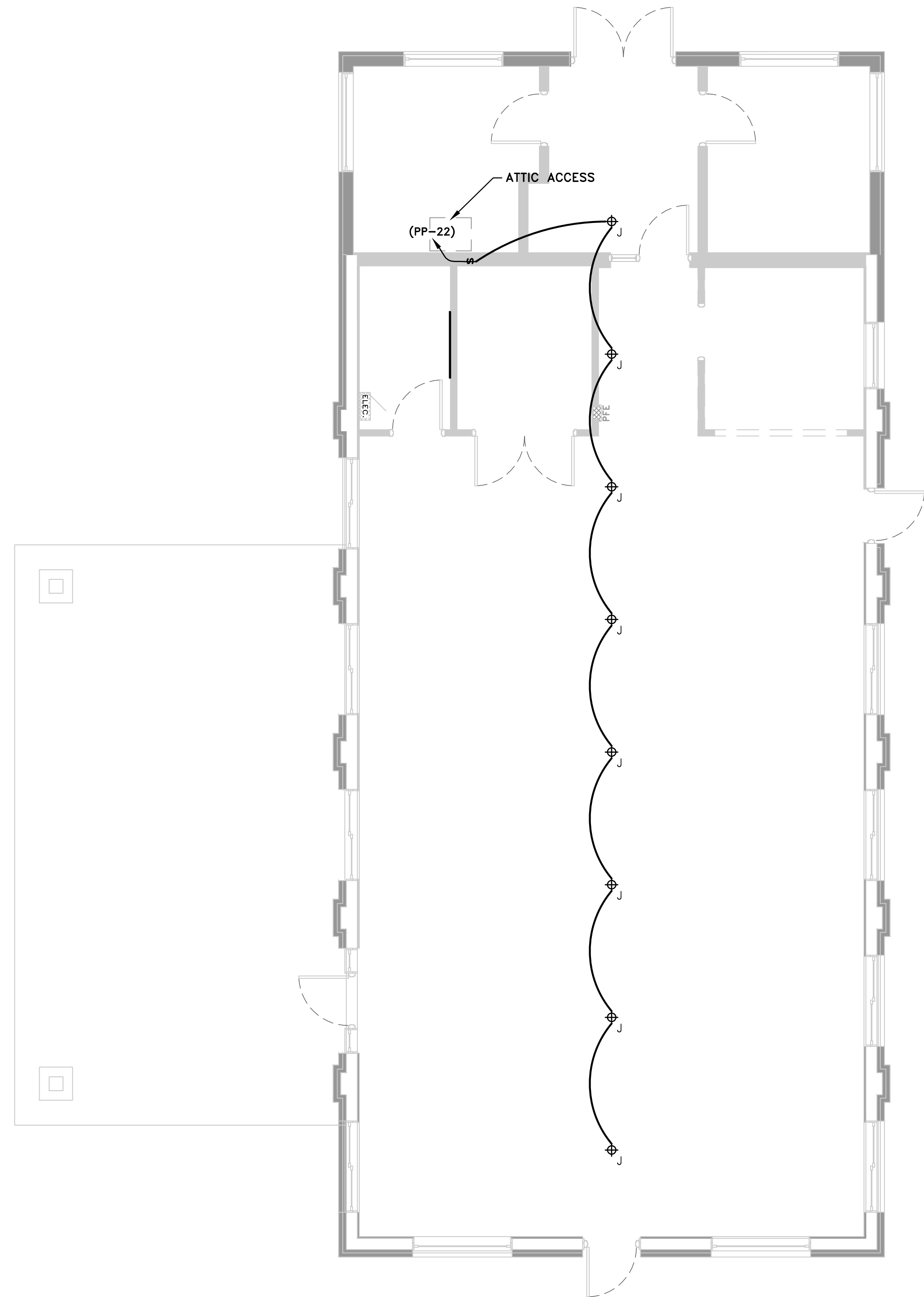
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306001

SHEET NO.

E1.00

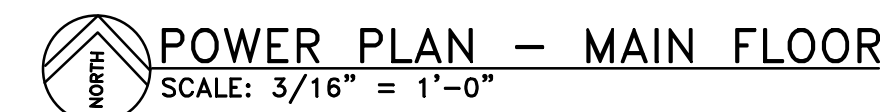




 LIGHTING PLAN - ATTIC  
SCALE: 3/16" = 1'-0"

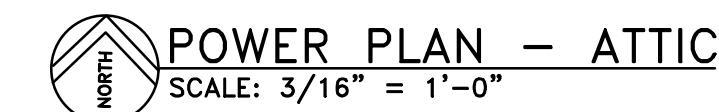
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1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2017 VERSION OF THE NEC, AND WITH ALL INSTRUCTIONS PROVIDED BY THE AHJ.
2. THE EC SHALL OBTAIN ALL PERMITS AND CERTIFICATIONS OF INSPECTION AS REQUIRED FOR THE BENEFICIAL USE OF THE BUILDING BY THE OWNER.
3. PROVIDE DEDICATED (NON-SHARED) NEUTRAL CONDUCTORS FOR ALL RECEPTACLE CIRCUITS.
4. IN GENERAL, ALL RECEPTACLES SHALL BE MOUNTED AT 18" TO CENTERLINE AFF. HEIGHTS UNLESS NOTED OTHERWISE. COORDINATE THE EXACT MOUNTING HEIGHTS OF RECEPTACLES OVER COUNTER TOPS WITH THE ARCHITECTURAL TRADES.

1. CONNECT EMERGENCY FIXTURES TO THE HOT (NON-SWITCHED) SIDE OF THE LIGHTING CIRCUIT. TYPICAL ALL EM TYPE FIXTURES.
2. PROVIDE MECHANICAL TIMERS - 3, INSTALL PER MANUFACTURERS REQUIREMENTS. HEIGHT TO BE 42" O.C. TO CENTERLINE.
3. PROVIDE 120VAC SERVICE TO OH DOOR MOTOR OPERATOR. MOTOR OPERATOR BY OTHERS. FIELD VERIFY EXACT REQUIREMENTS AND CONNECTION POINTS IN THE FIELD. CIRCUIT AS NOTED.
4. SEE GROUND BAR DETAIL, SHEET E4.00.
5. FRACT HP EX FAN, BY MECH TRADES. INTERCONNECT TO ROOM OCCUPANCY SENSOR
6. PROVIDE POWER TO TANKLESS WATER HEATER, CIRCUIT TO #27. COORDINATE EXACT CONNECTION WITH MANUFACTURER REQUIREMENTS.
7. PROVIDE NETWORK AND RECEPTACLE @ 80" AFF FOR WINDOW MONITOR.
8. TELEPHONE AND NETWORK TERMINATION BOARD, 4'x4'x3/4"



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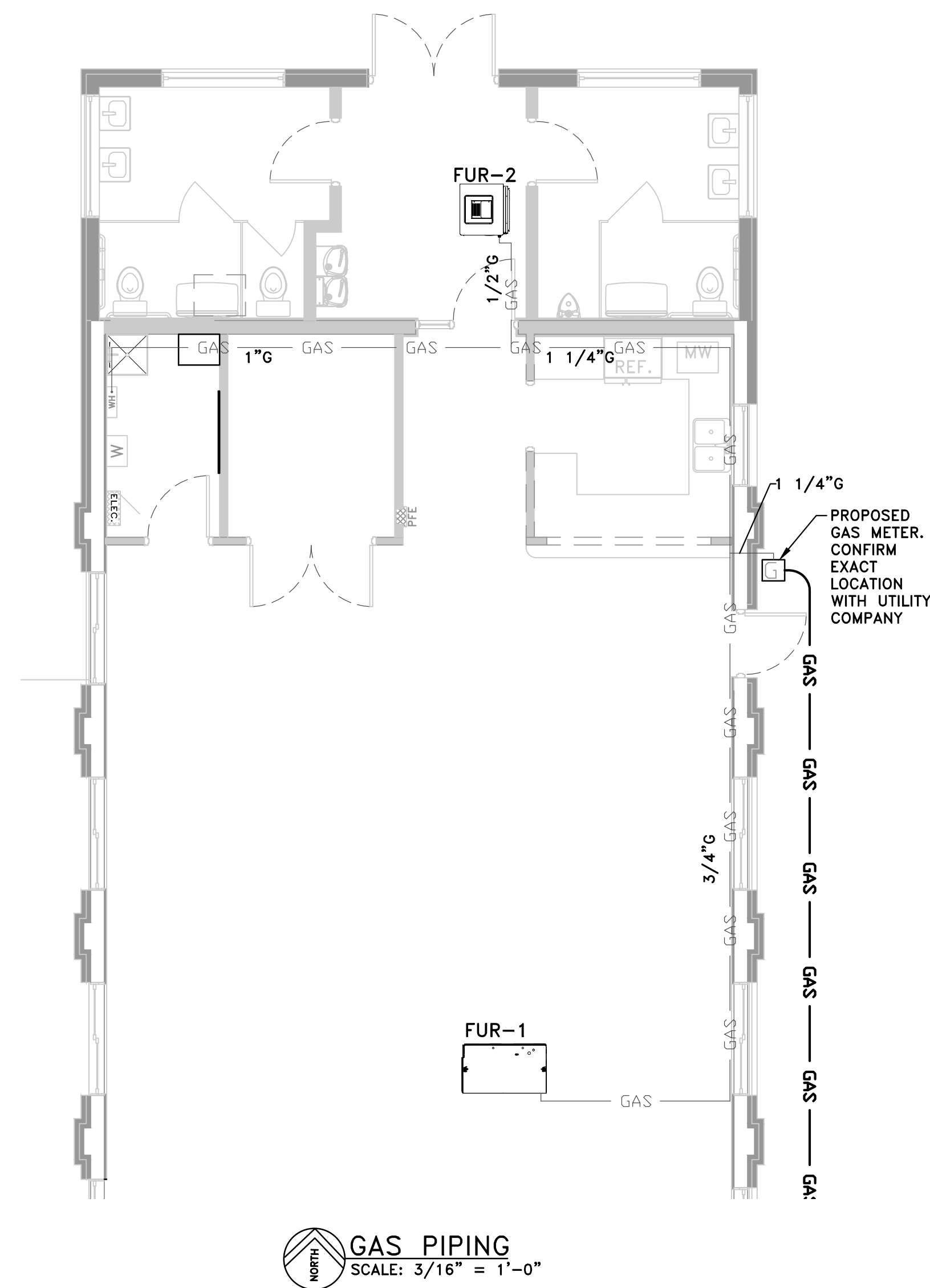










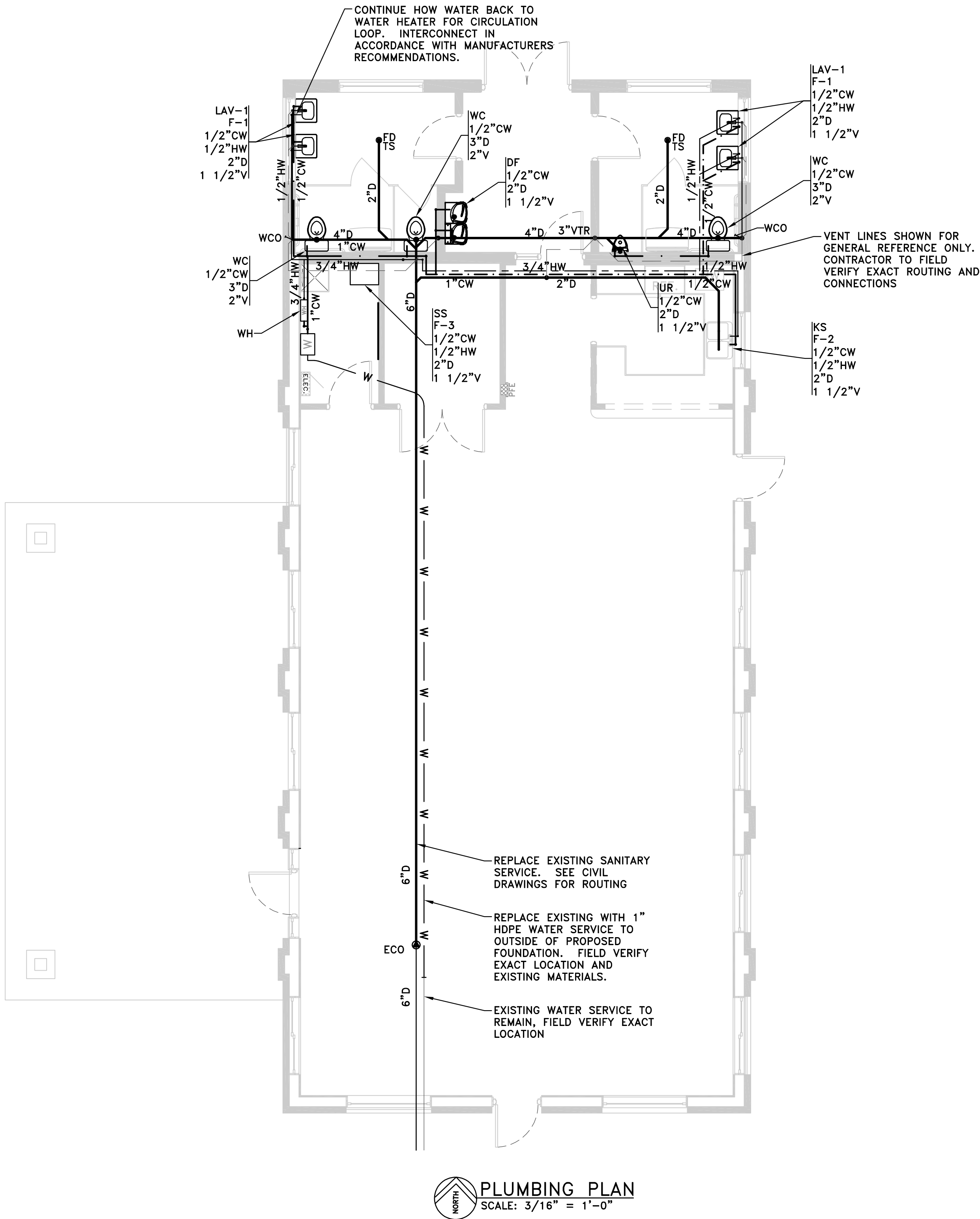


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PLOT DATE	11/17/25
JOB NO.	306001
SHEET NO.	
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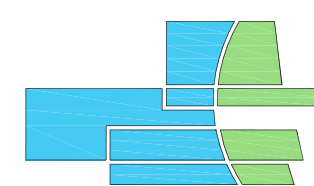


NOTE

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110 MAIN STREET, DUNDEE MI 48131  
PHONE: (734) 823-5080


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DUNDEE CIVIC  
COMMUNITY CENTER  
165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

PLUMBING PLAN

DEVELOPER/OWNER:  
VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430



ISSUE	ITEM	COMMENT	DATE	BY
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REVIEWED BY AUG				

SCALE\* AS NOTED

PLOT DATE 12/13/25

JOB NO. 306001

SHEET NO.

P2.00

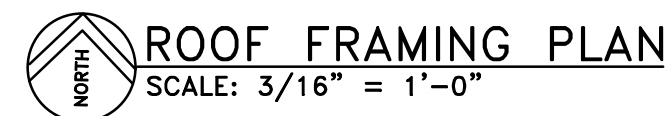


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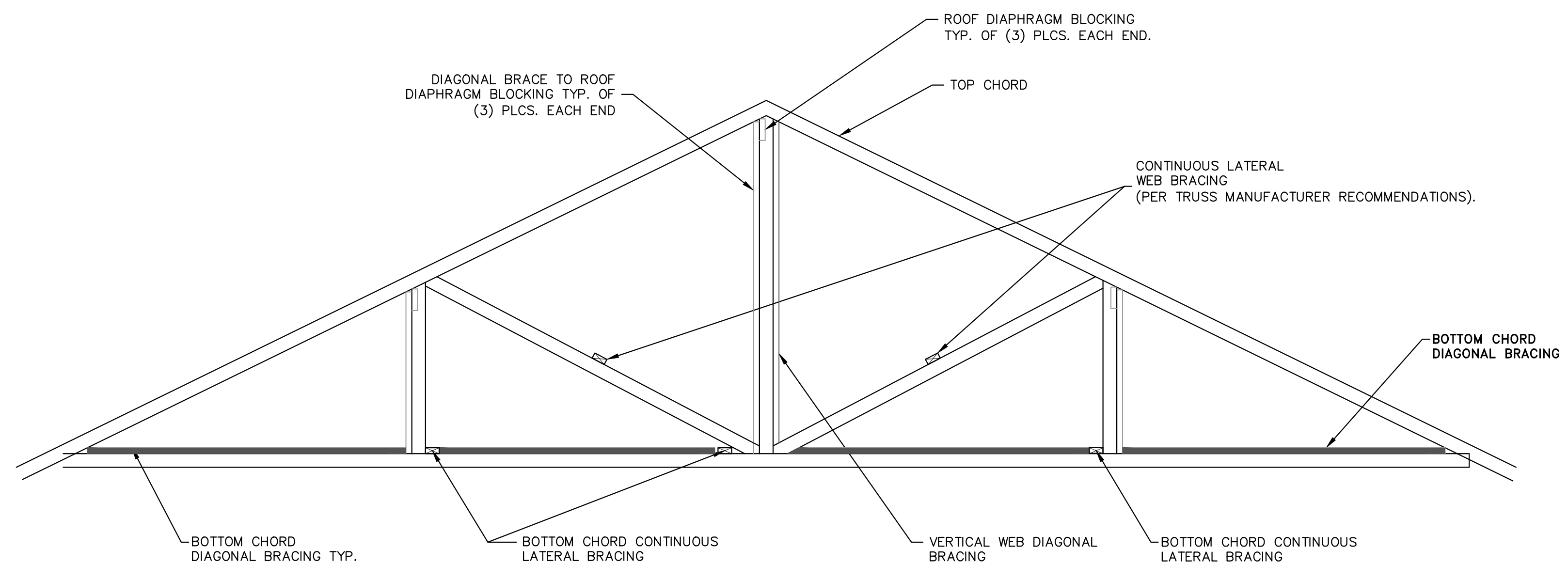








BEAM/HEADER SCHEDULE		
LABEL	SIZE/MATERIAL	REMARKS
A	8"x8" PRECAST CONCRETE	NEW HEADER IN EXISTING MASONRY WALL
B	3-1 3/4"x9 1/2" 2.0E MICROLLAM LVL	NEW HEADER IN NEW CONSTRUCTION, STUD WALL
C	W12x35	ROOF BEAM
D	2-1 3/4"x9 1/2" 2.0E MICROLLAM LVL	NEW HEADER IN NEW CONSTRUCTION, STUD WALL
E	2-1 3/4"x11 7/8" 2.0E MICROLLAM LVL	NEW HEADER ON EXISTING MASONRY WALL



**A** TYPICAL COMMON TRUSS BRACING  
SCALE: NONE

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1. DRAFT STOPPING SHALL BE PROVIDED IN THE ATTIC WITH A MAXIMUM CONCEALED SPACE OF 3000 S.F. (MBC 717.4.3)
2. DRAFT STOP MATERIAL SHALL BE 1/2" GYPSUM BOARD OR 3/8" OSB ON ONE SIDE OF A COMMON TRUSS. DRAFT STOPPING SHALL BE RUN THICK FROM 1/2" GYPSUM CEILING AT BOTTOM OF TRUSSES TO ROOF DECK.
3. ANY OPENINGS IN ANY DRAFT STOP SHALL BE EQUIPPED W/ AN AUTOMATIC CLOSER AND AUTOMATIC LATCH.

ROOF VENTILATION (MBC SECTION 1203)  
NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50 PERCENT OF THE REQUIRED VENTILATING AREA WITHIN 3' OF PEAK/RIDGE VENTS WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE/SOFFIT.

FLOOR AREA: 3080 SQ.FT.  
10.26 SQ.FT. VENTILATION REQUIRED  
5.13 SQ.FT. MIN. @ SOFFIT  
5.13 SQ.FT. MIN. WITHIN 3' OF PEAK/RIDGE VENT

SOFFIT VENT:  
72.75 L.F. OF SOFFIT O.H. AVAILABLE  
\* 1.5 FT. SOFFIT DEPTH = 109.12 SQ.FT. AVAILABLE

MINIMUM VENTILATION AREA REQUIRED PER SQ.FT. OF SOFFIT:  
6.76 SQ.IN./SQ.FT.

RIDGE VENT:  
MINIMUM VENTILATION REQUIRED: 5.13 S.F.

RIDGE VENT AVAILABLE: 109.25 L.F.

RIDGE VENT NET FREE AREA REQUIRED: 6.76 SQ. IN./L.F..

VERIFY FINAL MATERIAL VENTILATION RATES. A MIN. OF 40% AND MAXIMUM OF 50% OF THE OVERALL PROVIDED VENTILATION SHALL BE AT THE RIDGE.

1. WEB CONFIGURATION AND TRUSS LAYOUT TO BE DETERMINED BY TRUSS MANUFACTURER. TRUSS MANUFACTURER SHALL PROVIDE A COMPLETE TRUSS SYSTEM WHICH INCLUDES ALL TRUSSES, TEMPORARY AND PERMANENT BRACING, LVL'S AND HEADER/BEAMS USED FOR THE ROOF FRAMING.
2. TRUSS MANUFACTURER TO SUBMIT ENGINEERED STAMPED TRUSS DESIGN DRAWINGS SHOWING ALL DESIGN LOADS FOR TRUSS DESIGN, INCLUDING WIND & SNOW LOADS, LUMBER SPECIFICATIONS AND ALL ITEMS AS REQUIRED PER THE CURRENT BUILDING CODE
3. DEFLECTION: LIVE LOAD= L/240, TOTAL LOAD= L/240.
4. MINIMUM TRUSS MEMBER SIZE TO BE 2x4 (2x3 NOT ALLOWED). SPF NO. 2 OR BETTER.
5. A MINIMUM OF 1 1/2" BEARING SHALL BE PROVIDED AT ALL HEADERS FOR OPENINGS LESS THAN 6', U.N.O. A MINIMUM OF 3" OF BEARING SHALL BE PROVIDED AT ALL HEADERS WITH SPANS 6' TO 12', U.N.O. VERIFY WITH DETAILED STRUCTURAL INFORMATION FOR THE REQUIRED BEARING SUPPORT OF LARGER OPENINGS AND OTHER STRUCTURAL MEMBERS.
6. 3 SETS OF PRE-ENGINEERED WOOD ROOF TRUSS SHOP DRAWINGS SHALL BE PROVIDED TO DAC, INC. FOR REVIEW AND COORDINATION WITH THE CONSTRUCTION DOCUMENTS, IN ACCORDANCE WITH MCB SECTION 106.3.4. THESE APPROVED DOCUMENTS WILL BE A DEFERRED SUBMITTAL TO THE OFFICE OF THE BUILDING OFFICIAL FOR REVIEW AND REFERENCE PRIOR TO INSTALLATION OF SUCH TRUSSES.

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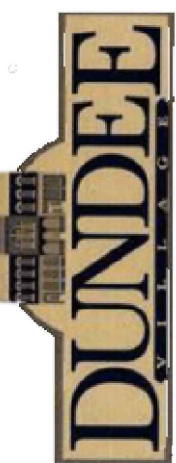
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**DUNDEE CIVIC  
COMMUNITY CENTER**  
185 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

**ROOF FRAMING  
PLAN & DETAILS**

DEVELOPER/OWNER:

**VILLAGE OF DUNDEE**  
**MICHAEL HOFFMEISTER, VILLAGE MANAGER**  
**350 WEST MONROE ST.**  
**DUNDEE, MI 48131**  
**(734) 529-3430**



ISSUE					
	ITEM	COMMENT DATE	DATE ISSUED	BY	
	OWNER REVIEW		11/17/25	DAC	
	DRAWN BY DAC				REVIEWED BY DAK/ARJ

SCALE\* AS NOTED

PLOT DATE	11/17/25
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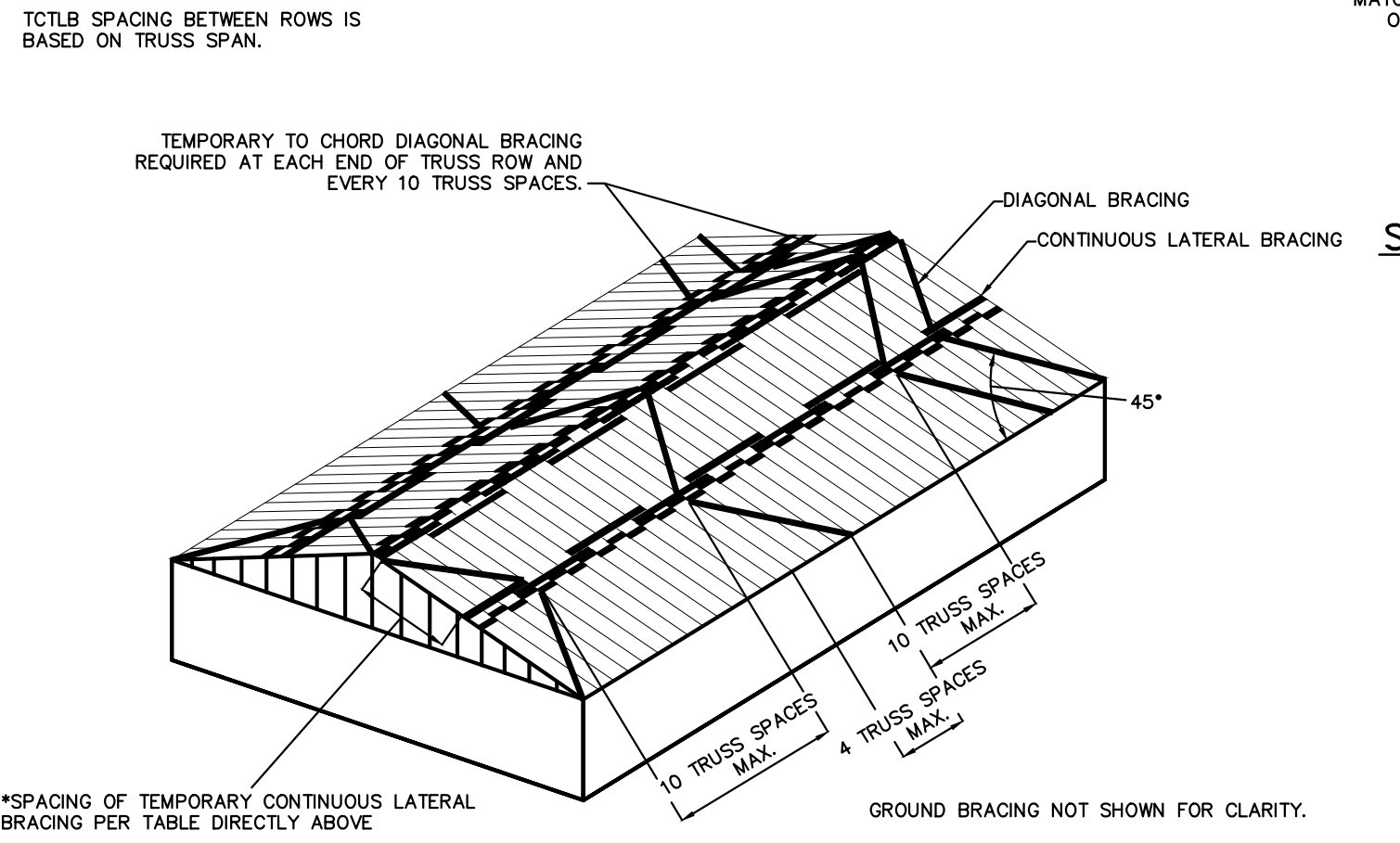
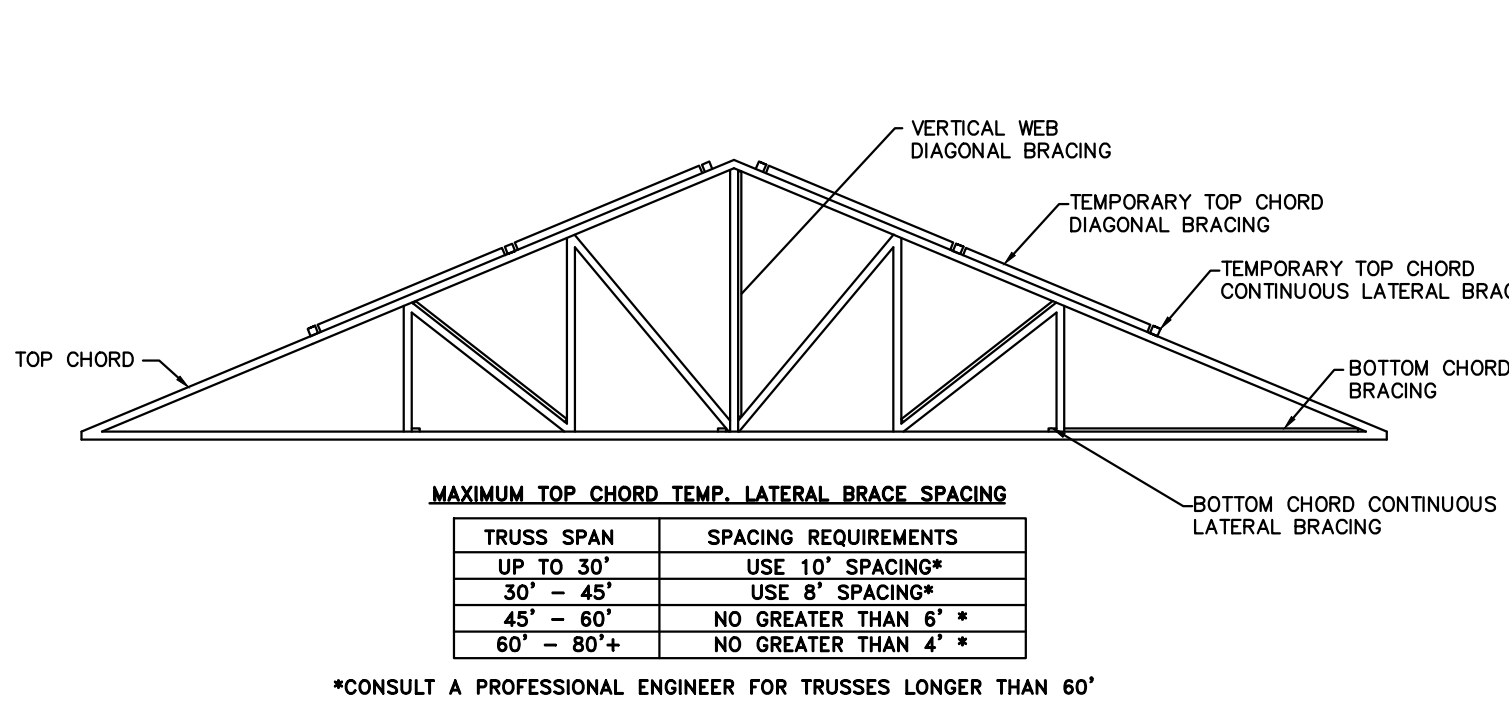
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**S3.00**







TOP CHORD TEMPORARY CONTINUOUS LATERAL BRACES MUST HAVE DIAGONAL BRACES A MAXIMUM OF EVERY 20'

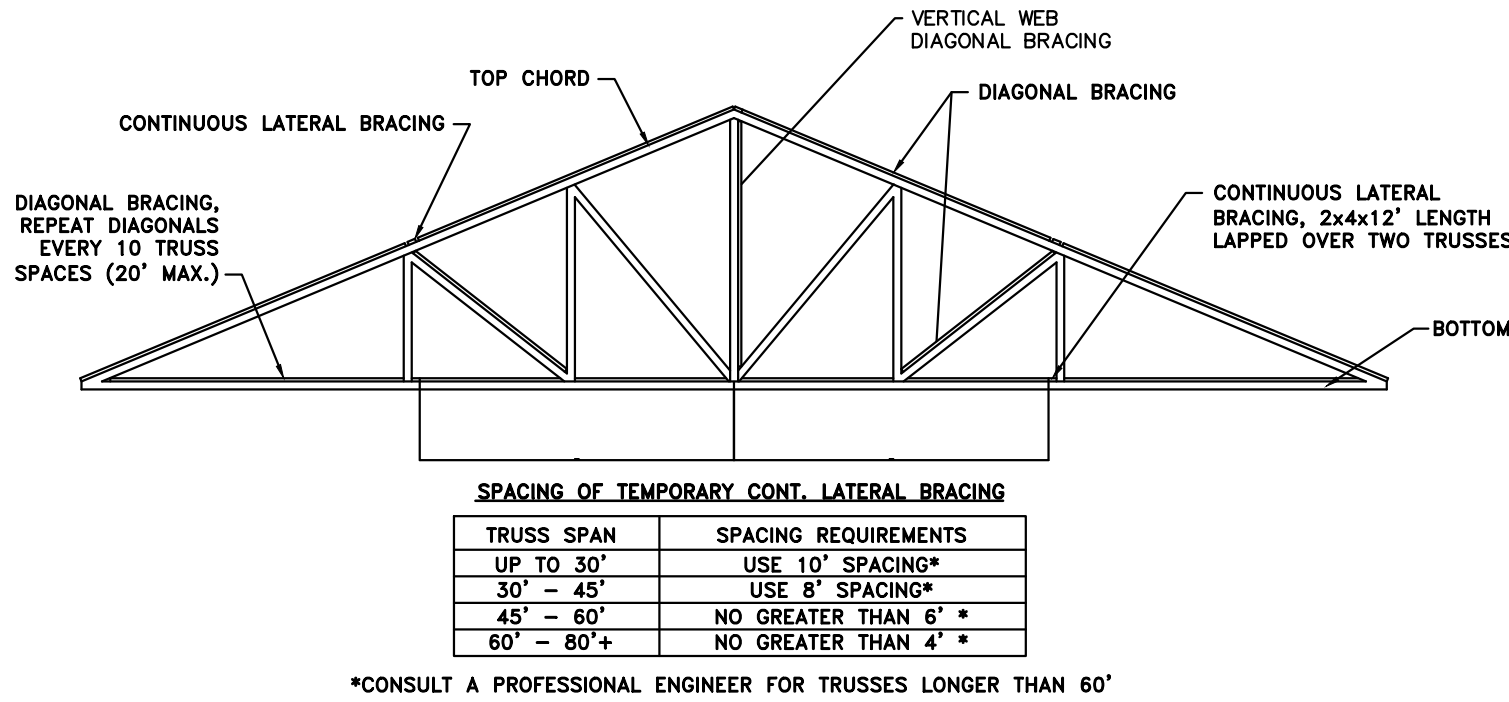
WARNING! THIS DIAGONAL BRACING OPTION CAN ONLY BE USED IF THE CONTRACTOR HAS INSTALLED LONG LENGTH TOP CHORD TEMPORARY CONTINUOUS LATERAL BRACES.

STEP A: INSTALL TRUSSES 1 THROUGH 5 USING TCTLB

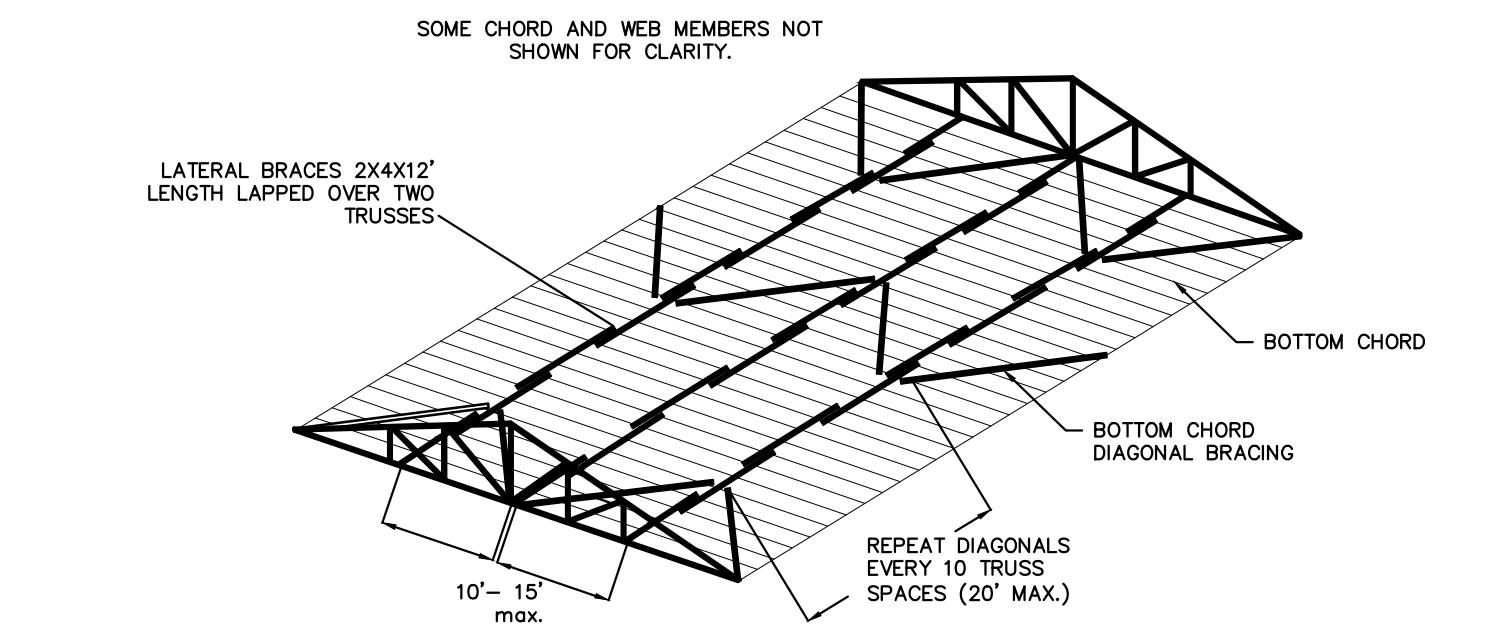
STEP B: ADD LONG LENGTH (MIN. 2X4X12') CONTINUOUS LATERAL BRACES TO TIE ALL TRUSSES TOGETHER.

STEP C: ADD DIAGONAL BRACING (AT =45°) AS INDICATED BELOW.

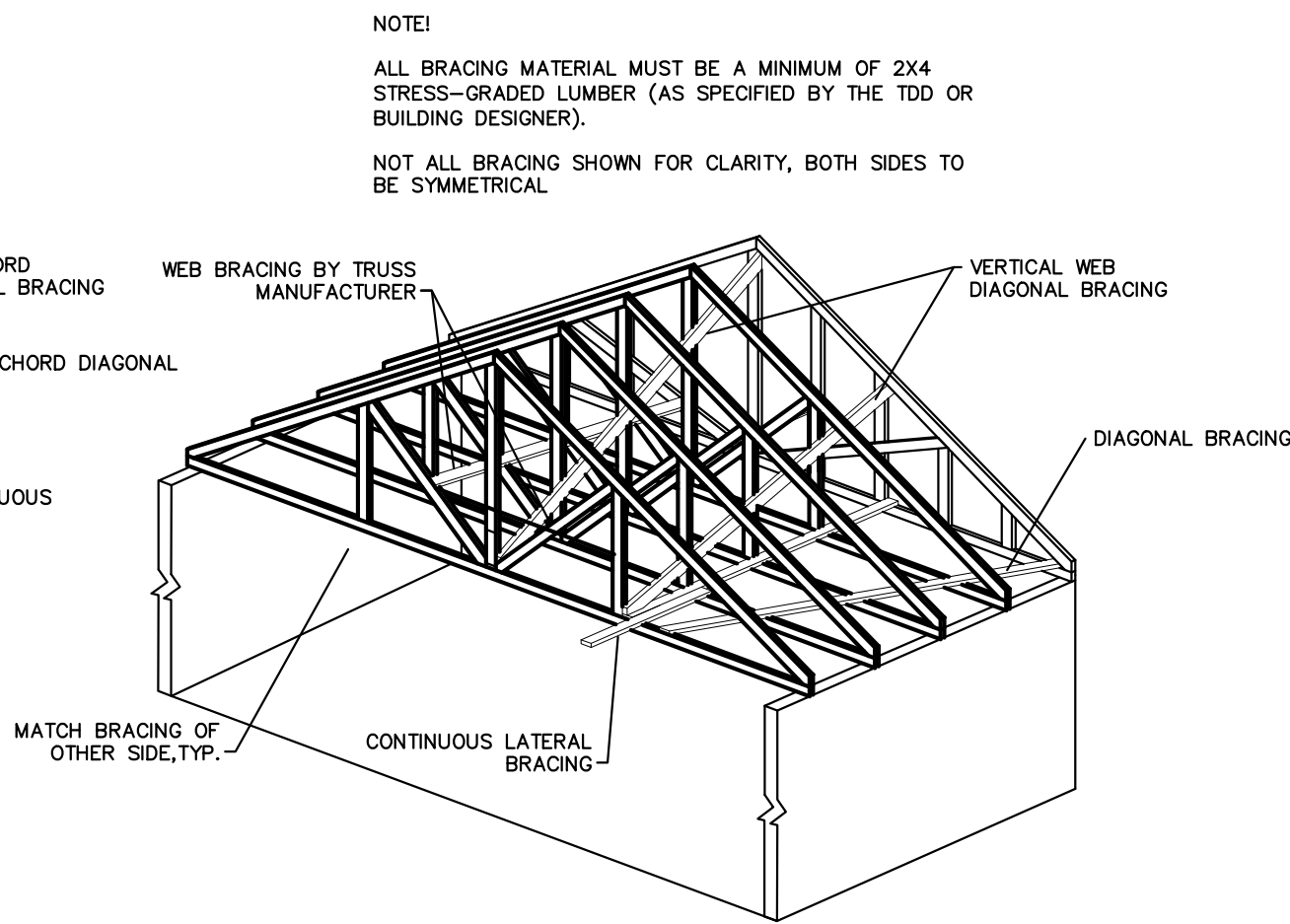
EXACT SPACING BETWEEN TRUSSES SHOULD BE MAINTAINED AS BRACING IS INSTALLED TO AVOID THE HAZARDOUS PRACTICE OF REMOVING BRACING TO ADJUST SPACING. THIS ACT OF "ADJUSTING SPACING" CAN CAUSE TRUSSES TO TOPPLE IF CONNECTIONS ARE REMOVED AT THE WRONG TIME.



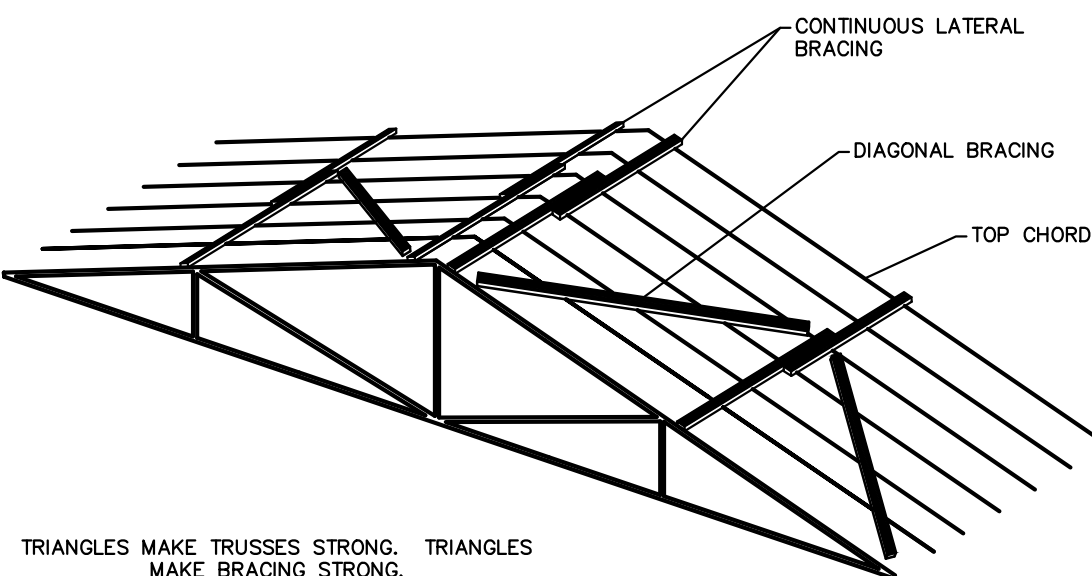
#### TOP & BOTTOM CHORD BRACE DETAIL



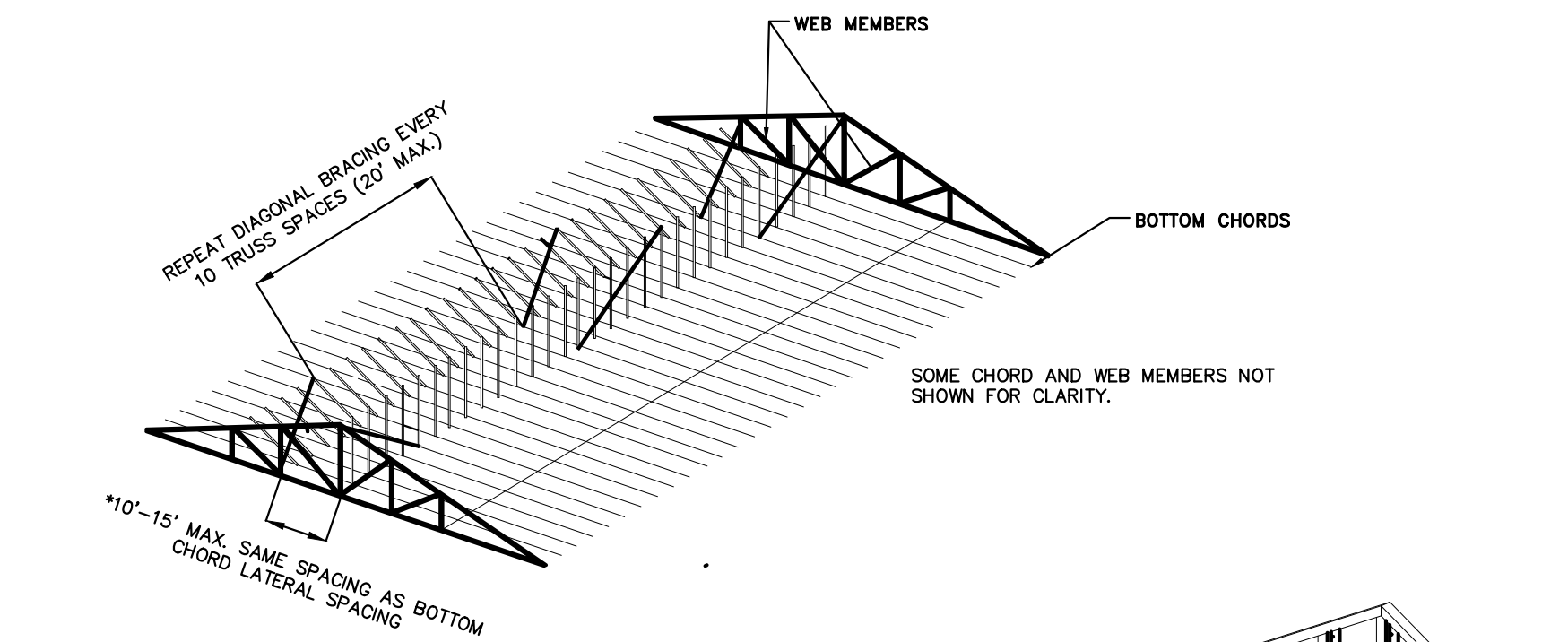
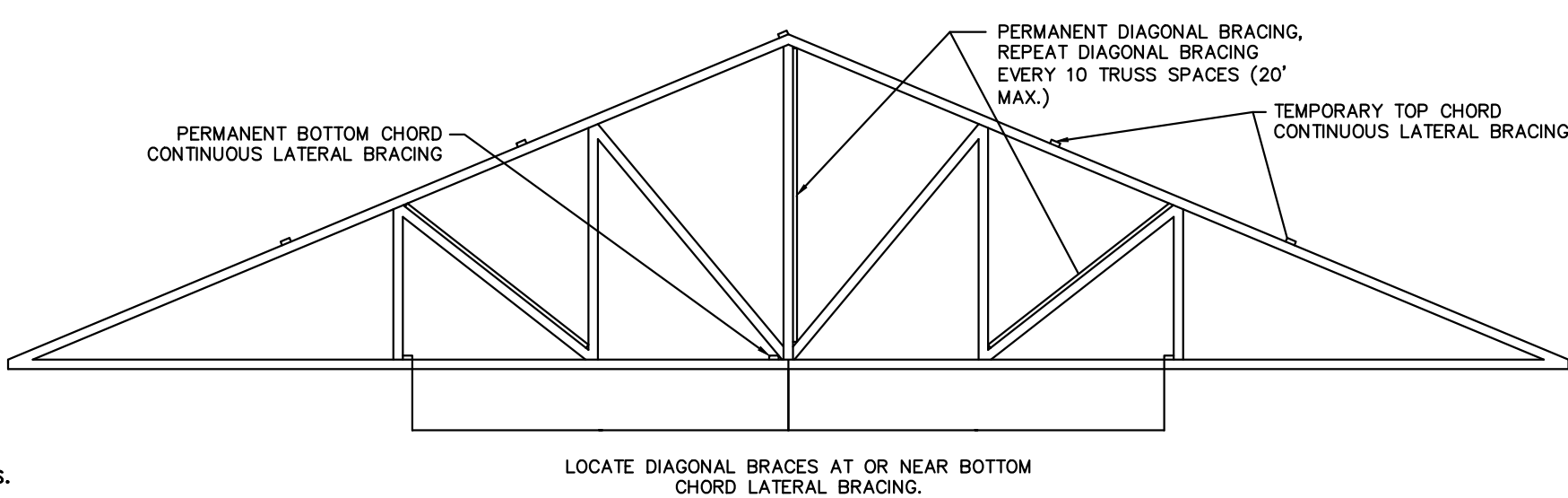
#### BOTTOM CHORD TEMP./PERM. BRACING



#### SAMPLE DETAIL PERMANENT BRACING CONFIGURATIONS



#### TEMPORARY TOP CHORD DIAGONAL BRACING



INSTALL WEB MEMBER PLANE BRACING (LATERAL AND DIAGONAL/TEMPORARY AND PERMANENT).

DIAGONAL BRACING SHOULD ALSO BE INSTALLED AS TEMPORARY INSTALLATION BRACING PERPENDICULAR TO THE PLANE OF THE TRUSSES AND ATTACHED TO SIMILAR WEB MEMBERS.

PERMANENT LATERAL WEB BRACING REQUIREMENTS WILL BE SPECIFIED ON THE TDD.

DIAGONAL BRACING MUST BE INSTALLED ON WEB MEMBERS (VERTICALS WHENEVER POSSIBLE), LOCATED AT OR NEAR BOTTOM CHORD LATERAL BRACING. PROPERLY ATTACHED RATED PANEL SHEATHING MAY BE SUBSTITUTED FOR DIAGONAL BRACING.

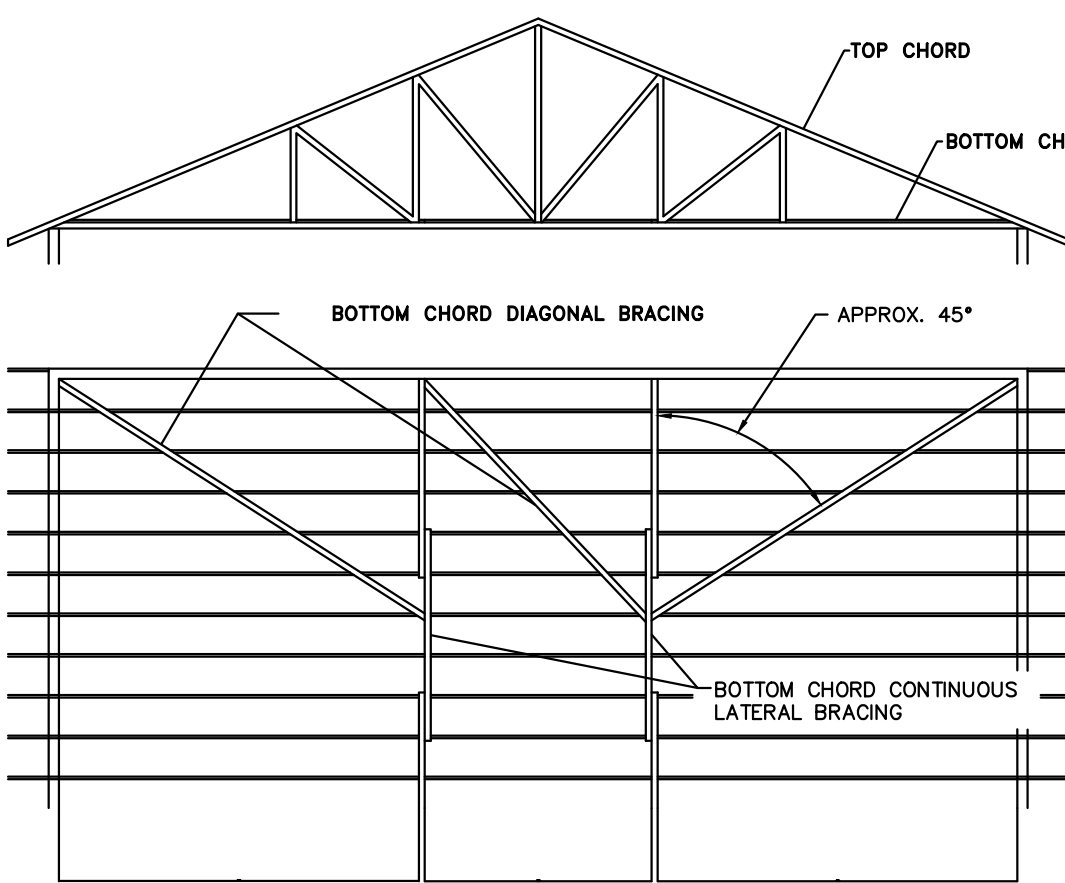
WEB DIAGONAL BRACES MUST BE INSTALLED SO THAT THEY CROSS THE WEB MEMBERS AT ABOUT 45° AND SHOULD BE NAILED WITH A MINIMUM OF 2-16d(0.135x3.5") NAILS AT EACH END AND EACH INTERMEDIATE TRUSS WEB.

WEB LATERAL AND DIAGONAL BRACES FOR INSTALLATION PURPOSES MAY BE INSTALLED AT THE LOCATIONS SPECIFIED FOR PERMANENT BRACING AND MAY BECOME PART OF THE PERMANENT BRACING SYSTEM.

WEB DIAGONAL BRACES SHOULD BE NO LESS THAN 2X4 STRESS-GRADED LUMBER.

THE WEB DIAGONAL BRACES, ACTING TOGETHER WITH THE TOP CHORD AND BOTTOM CHORD TEMPORARY LATERAL BRACING, FORM TRIANGULATION PERPENDICULAR TO THE PLANE OF THE TRUSS, THUS CREATING ADDITIONAL LATERAL STABILITY FOR THE BRACED TRUSSES.

#### WEB MEMBER PLANE BRACING



BRACING THE BOTTOM CHORD PLANE

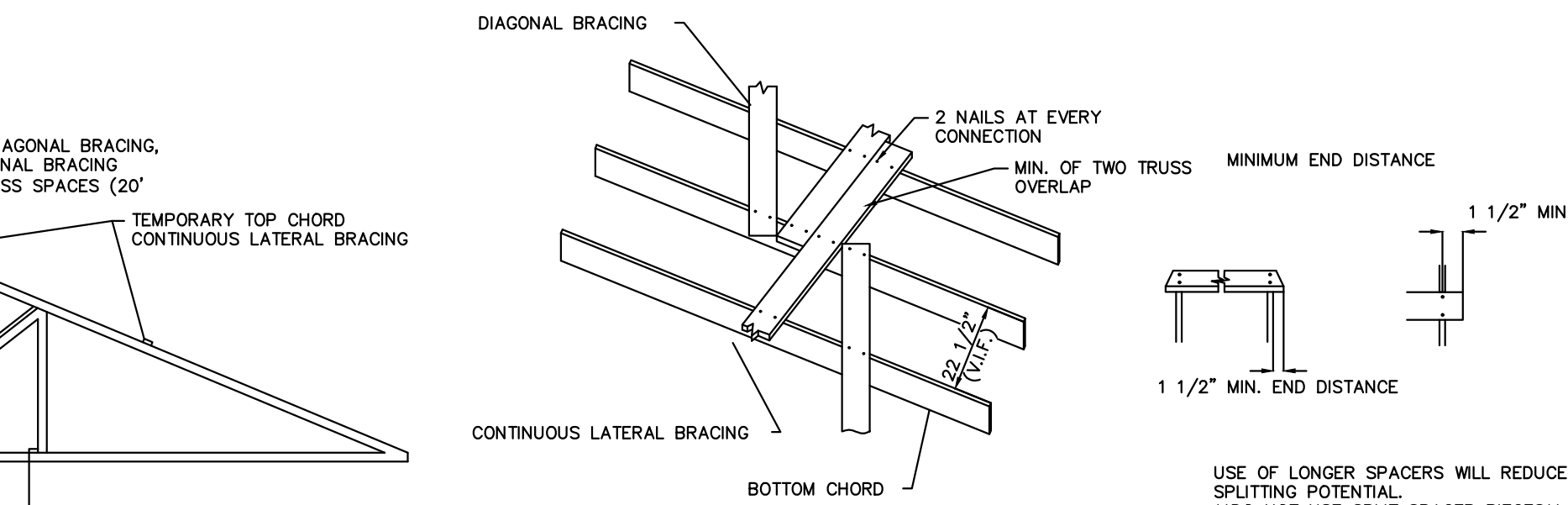
BOTTOM CHORD LATERAL BRACING (BCLB) IS USED TO STABILIZE THE BOTTOM CHORDS DURING INSTALLATION AND TO MAINTAIN PROPER SPACING BETWEEN TRUSSES. THEREFORE, LATERAL BRACING IS PLACED ON THE TOP EDGE OF THE BOTTOM CHORDS AND FASTENED WITH A MINIMUM OF 2-16d(0.135x3.5") NAILS AT EACH TRUSS INTERSECTION, AT THE LOCATIONS SPECIFIED.

BOTTOM CHORD TEMPORARY LATERAL BRACING MUST BE CONTINUOUS AND INSTALLED AT NO MORE THAN 15' ON-CENTER AND MAY ONLY BE REMOVED (IF DESIRED) AFTER THE PERMANENT CEILING DIAPHRAGM IS IN PLACE.

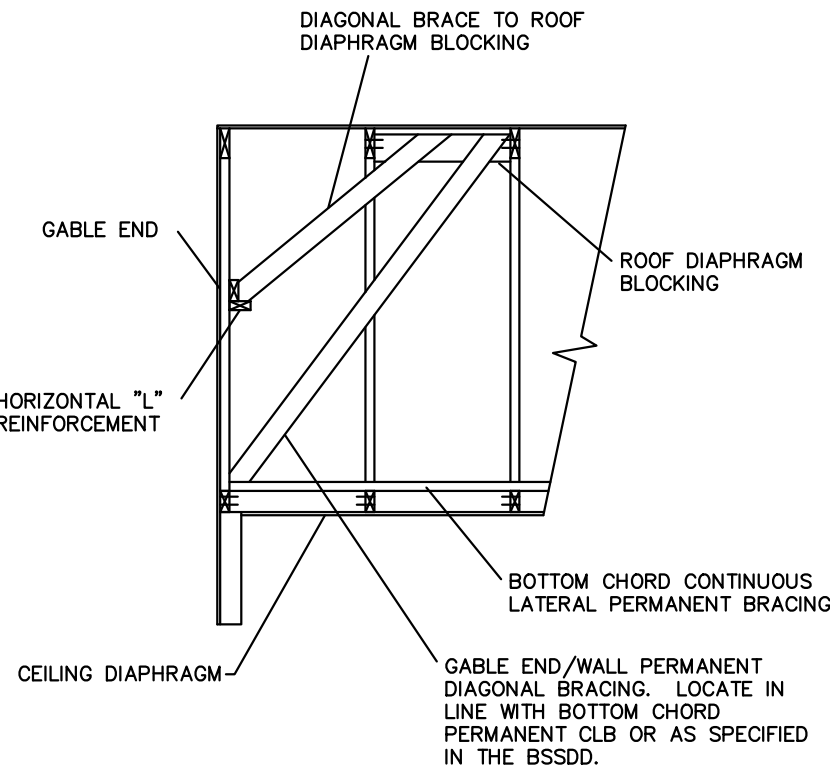
BOTTOM CHORD PERMANENT LATERAL BRACING MUST BE INSTALLED AT NO MORE THAN 10' ON-CENTER (BUT MAY BE LESS IF REQUIRED BY THE SPECIFIC TRUSS DESIGN AND/OR THE BUILDING DESIGNER). TEMPORARY LATERAL BRACING MAY BE INSTALLED AT THE REQUIRED LOCATIONS OF THE PERMANENT LATERAL BRACING (SEE TDD FOR LOCATIONS) AND REMAIN TO BECOME PART OF THE PERMANENT BRACING SYSTEM.

DIAGONAL BRACING IN THE PLANE OF THE BOTTOM CHORD REPEATED AT THE SAME INTERVALS AS THE TOP CHORD DIAGONAL BRACING; OR OTHER MEANS AS DETERMINED BY THE BUILDING DESIGNER.

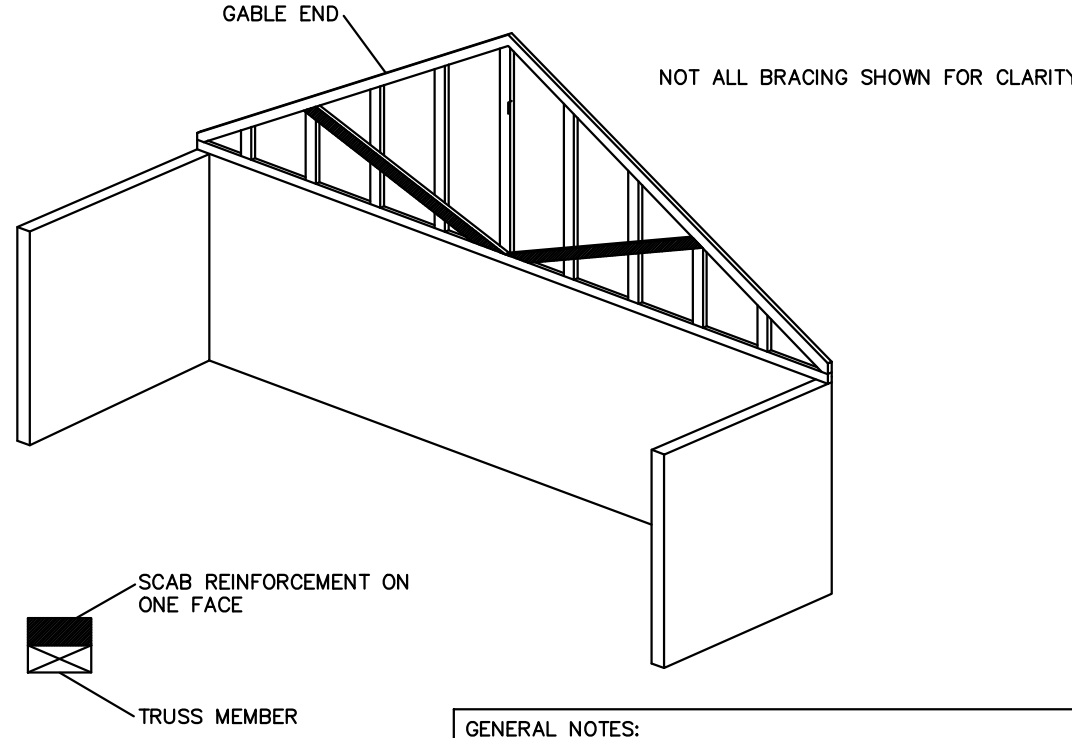
TEMPORARY DIAGONAL BRACING WHICH IS INSTALLED IN THE PLANE OF THE BOTTOM CHORD MAY BECOME PART OF THE PERMANENT BRACING SYSTEM.



#### BRACE DETAIL



#### GABLE END FRAME BRACING



GENERAL NOTES:

- ALL BRACING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST VERSION OF BUILDING COMPONENT SAFETY INFORMATION, BCSCI. IF ANY DISCREPANCIES OR QUESTIONS ARISE REGARDING BRACING, TEMPORARY OR PERMANENT, THE ARCHITECT/ENGINEER IS TO BE NOTIFIED IMMEDIATELY.
- BRACING MATERIAL MUST BE MIN. 2x4 STRESS-GRADED LUMBER OR BETTER.
- ALL CONNECTIONS W TO BE A MINIMUM OF 2-16d (0.135x3.5") NAILS AT EACH JUNCTION.
- ABBREVIATIONS:  
TC - TOP CHORD  
BC - BOTTOM CHORD  
TCLB - TOP CHORD TEMPORARY LATERAL BRACING  
TCLB - TOP CHORD LATERAL BRACING (PERMANENT)  
BCLB - BOTTOM CHORD TEMPORARY LATERAL BRACING  
BCLB - BOTTOM CHORD LATERAL BRACING (PERMANENT)

#### NOTE

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MAXIMUM TCTLB SPACING	
TRUSS SPAN	TCTLB SPACING REQUIREMENTS
UP TO 30'	10' ON-CENTER MAXIMUM
30' - 45'	8' ON-CENTER MAXIMUM
45' - 60'	6' ON-CENTER MAXIMUM
60' - 80'+	4' ON-CENTER MAXIMUM

+CONSULT A PROFESSIONAL ENGINEER FOR TRUSSES LONGER THAN 60'

FOR ALL BRACING AND SPACING MEMBERS NAIL AS FOLLOWS (EXCEPT END-GRAIN NAILED SPACER BLOCKS WHICH REQUIRE 16d DEFORMED SHANK; RING, BARB, OR SCREW NAILS):

ALWAYS DRIVE 2-12d (0.128x3"), 2-12d (0.128x3.25") OR 2-16d (0.135x3.5") NAILS INTO EACH TRUSS FOR BOTH LATERAL AND DIAGONAL MEMBERS.

MINIMUM SIZE BRACING MATERIAL IS 2X4 STRESS-GRADED LUMBER UNLESS OTHERWISE SPECIFIED BY THE BUILDING DESIGNER.

DRIVE NAILS FLUSH, OR USE DOUBLE-HEADED (DUPLEX) NAILS FOR EASIEST BRACE REMOVAL.



FOR BID PURPOSES ONLY

DUNDEE CIVIC COMMUNITY CENTER  
165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

TYPICAL TRUSS BRACING

DEVELOPER/OWNER:  
VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430

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OWNER REVIEW	11/17/25	DAC
REVIEWED BY		DAC/ARJ

SCALE\* AS NOTED

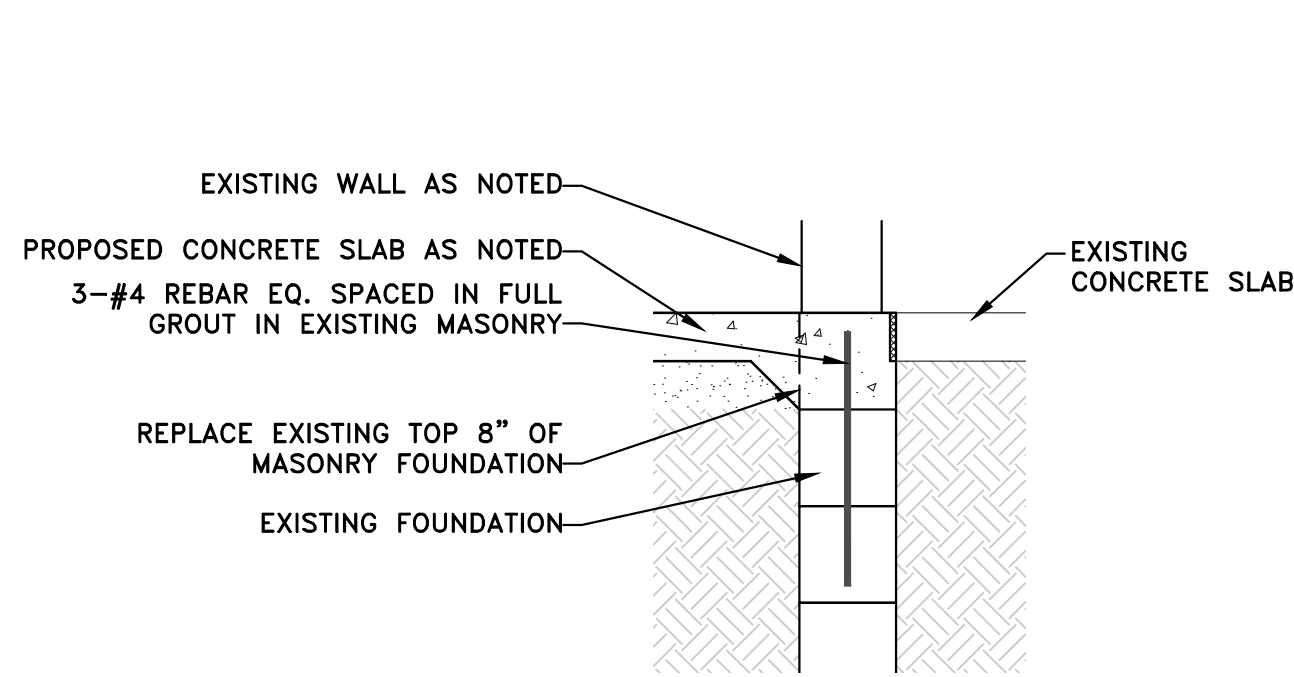
PLOT DATE 11/17/25

JOB NO. 301006

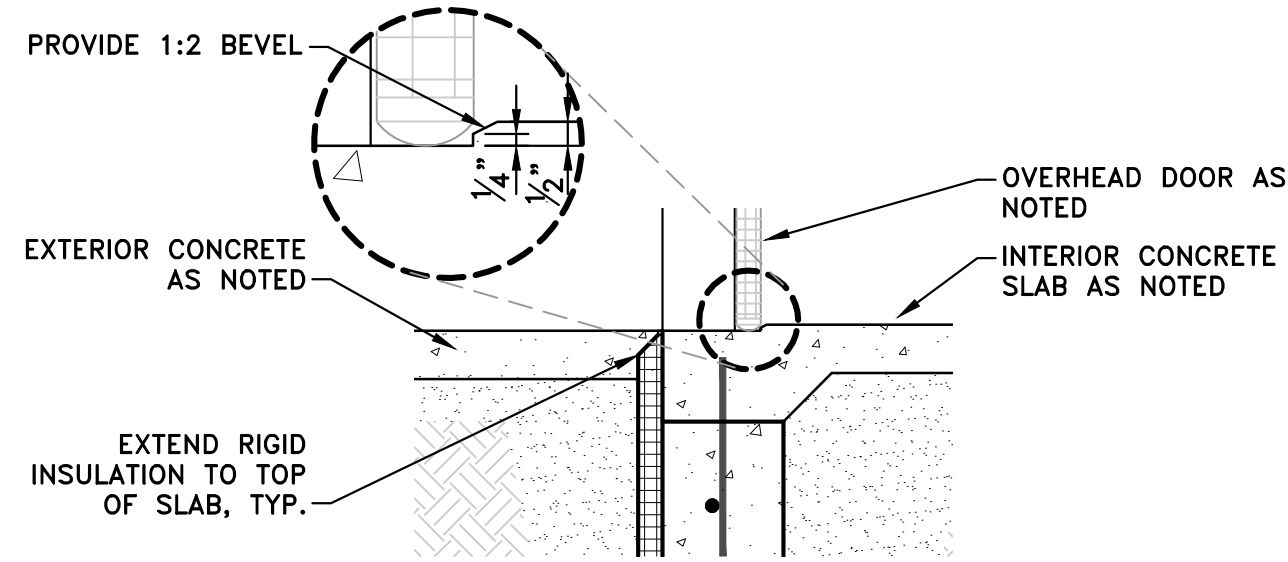
SHEET NO.

S3.01

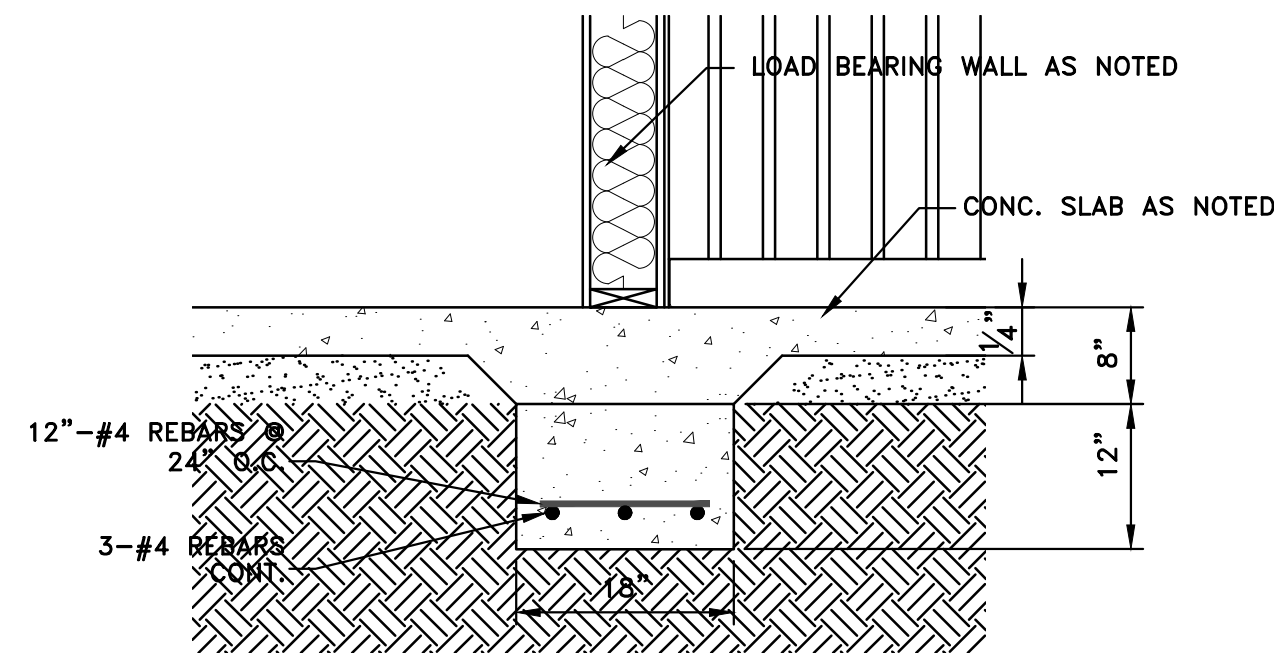




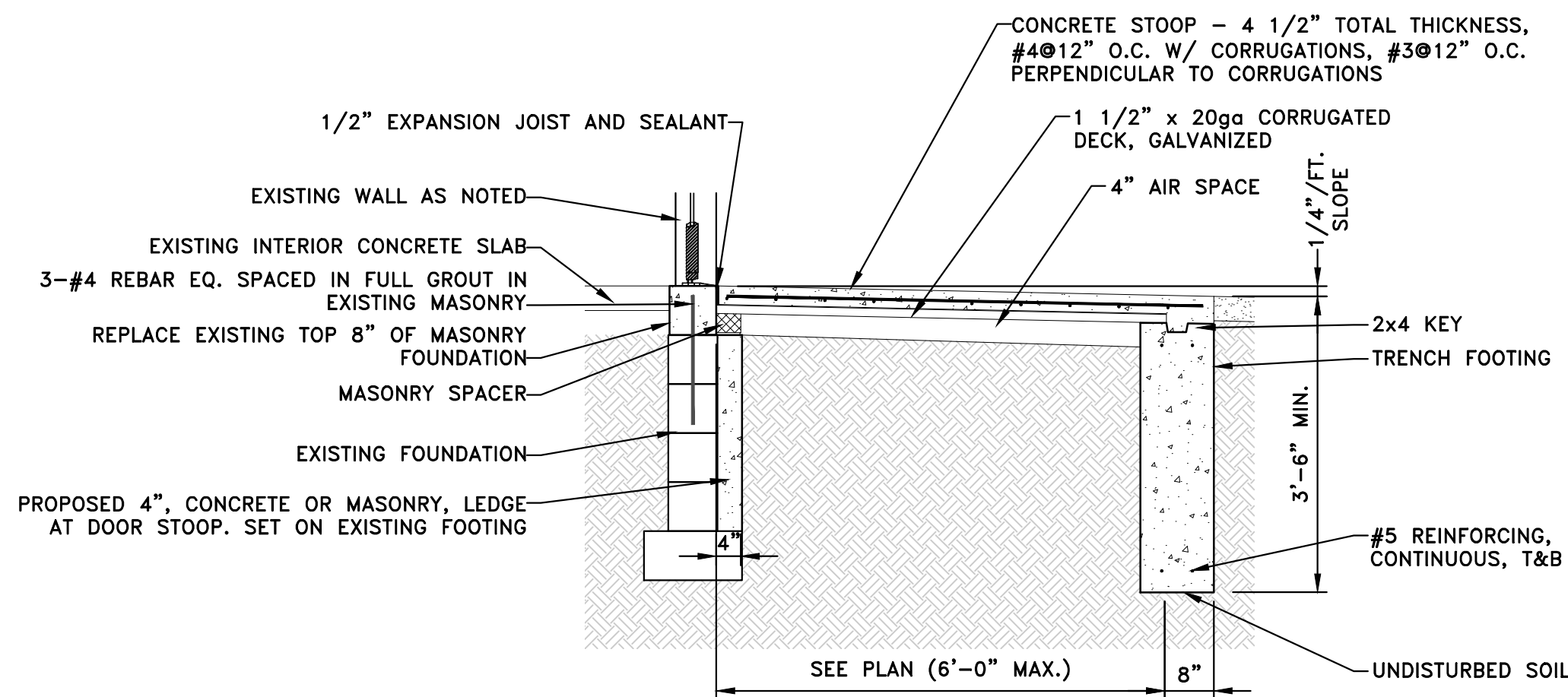
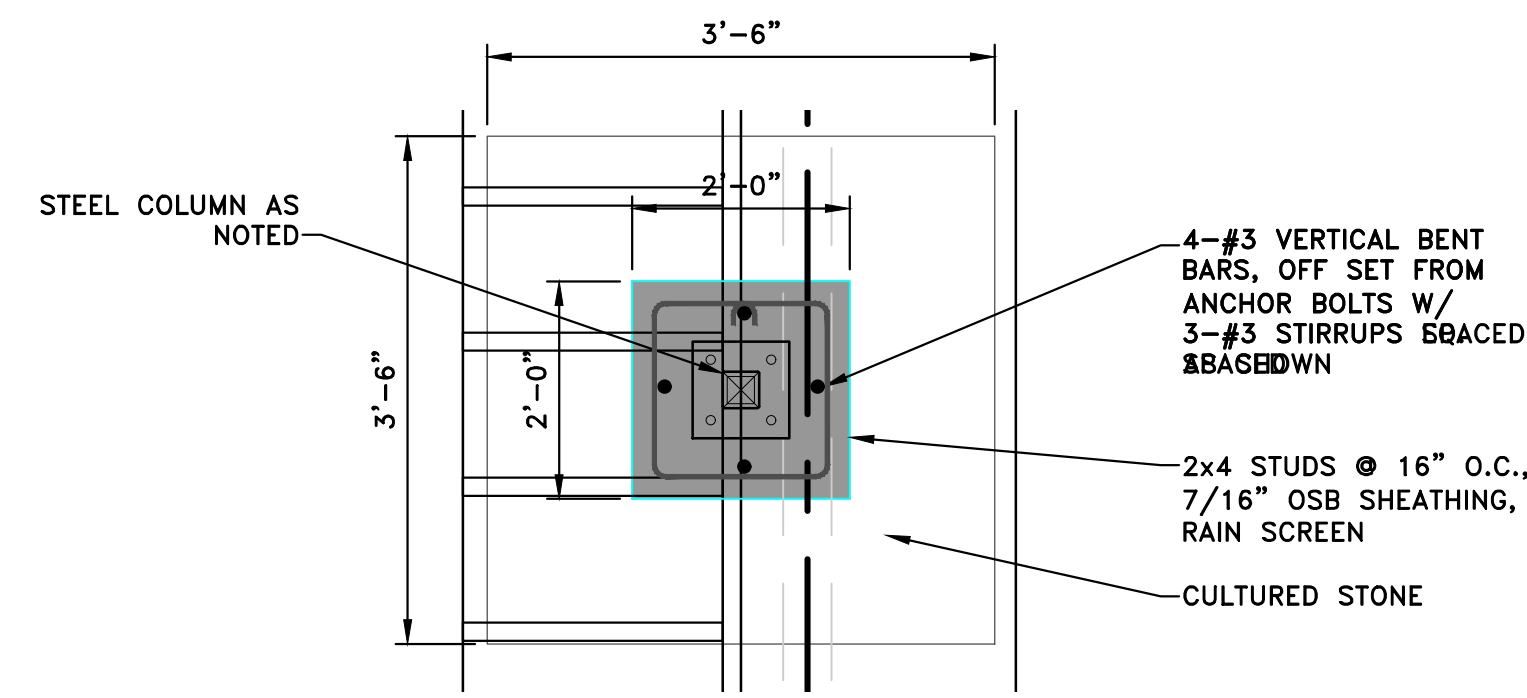
1 TYPICAL INTERIOR THRESHOLD @ EX. BUILDING  
SCALE: 3/4" = 1'-0"



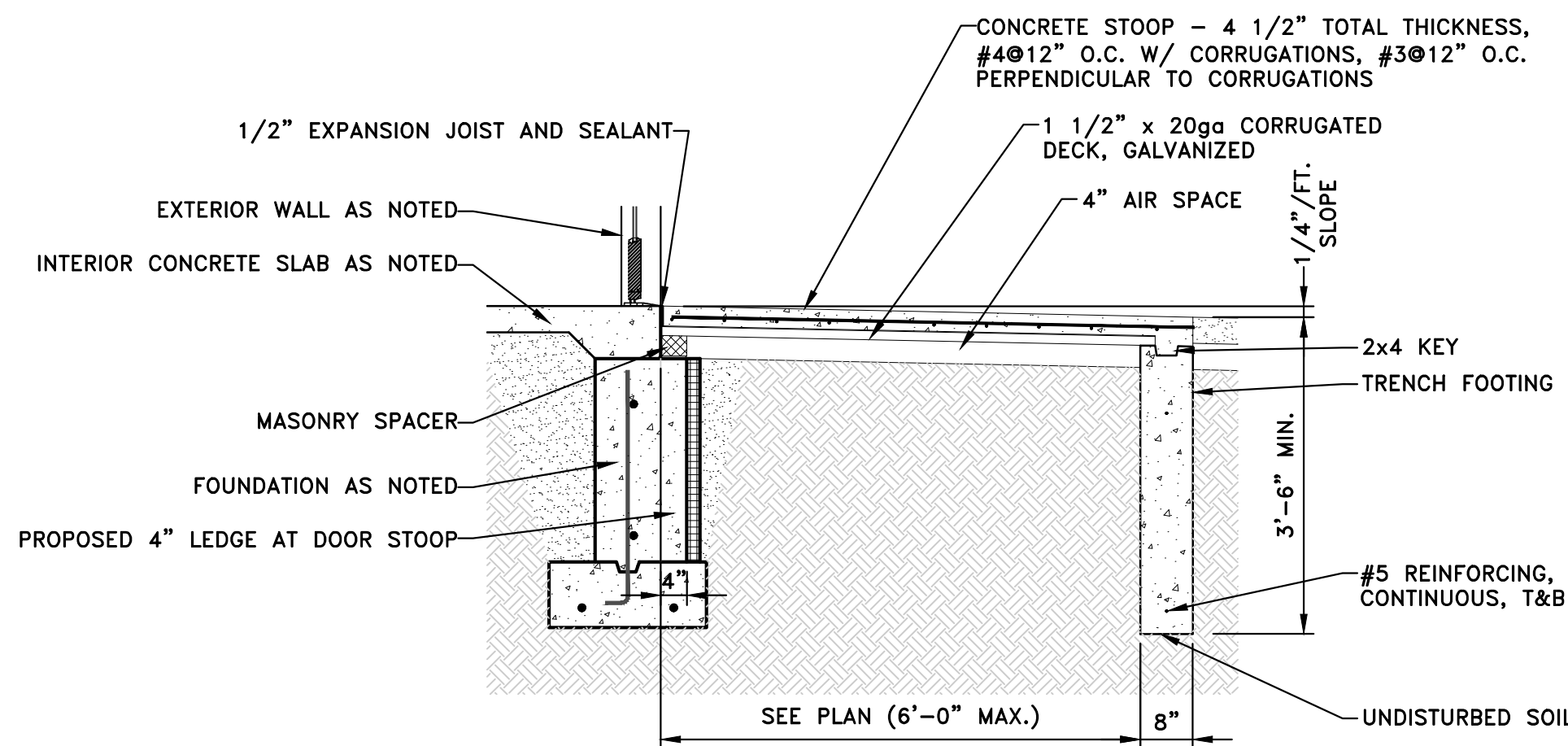
2 OVERHEAD DOOR THRESHOLD  
SCALE: 3/4" = 1'-0"



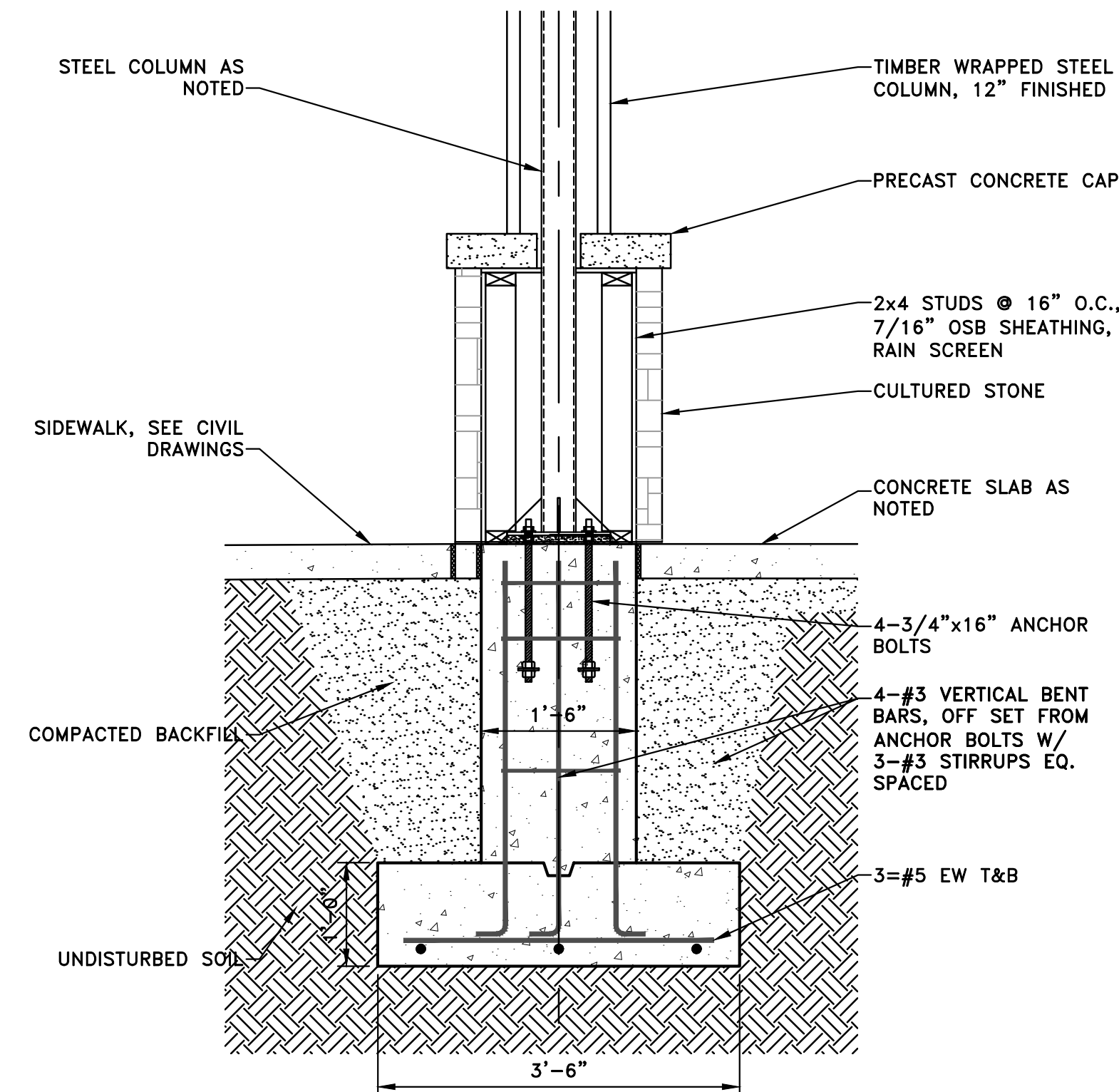
3 SHALLOW FOOTING DETAIL  
SCALE: 3/4" = 1'-0"



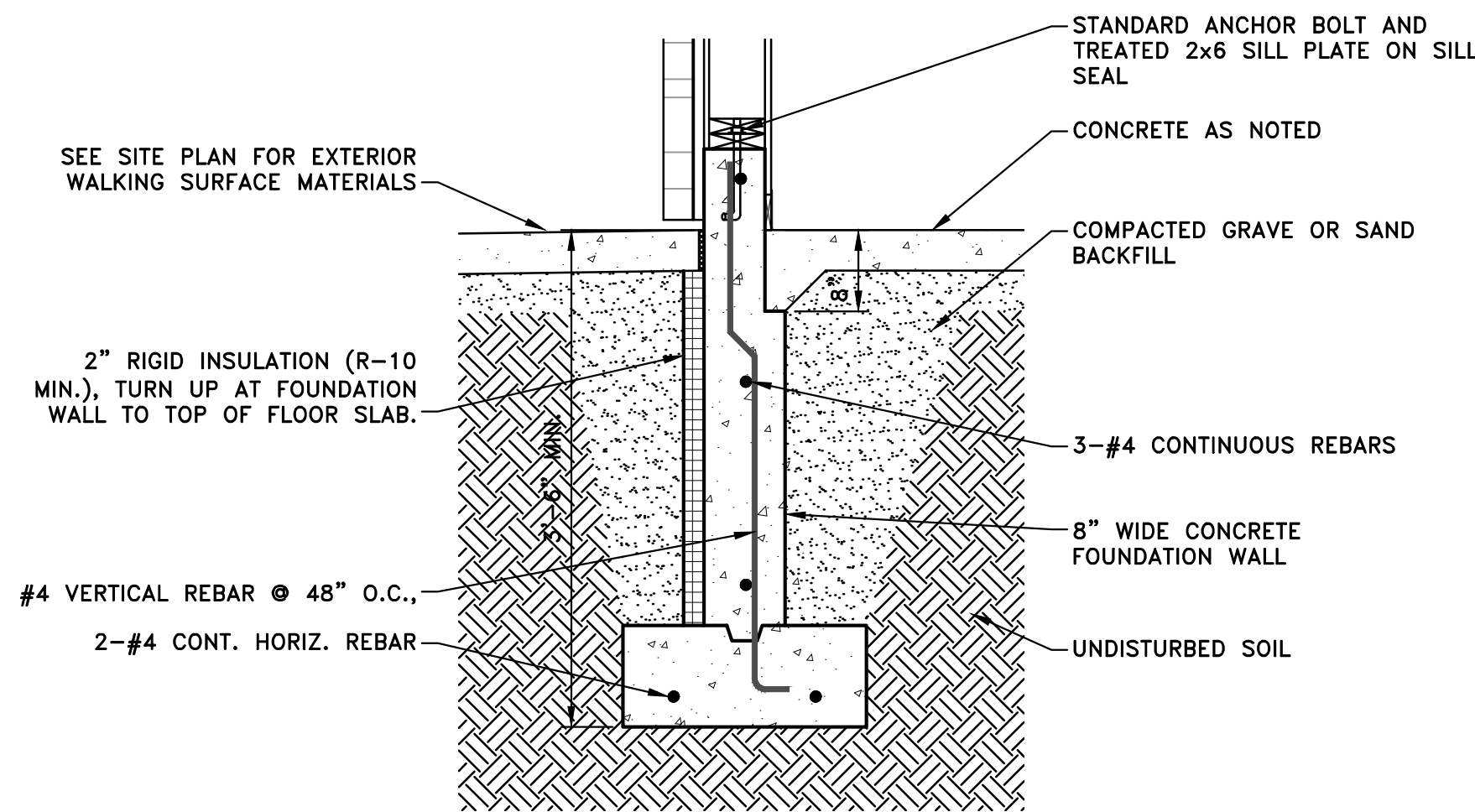
4 TYPICAL STOOP @ EX. BUILDING  
SCALE: 1/2" = 1'-0"



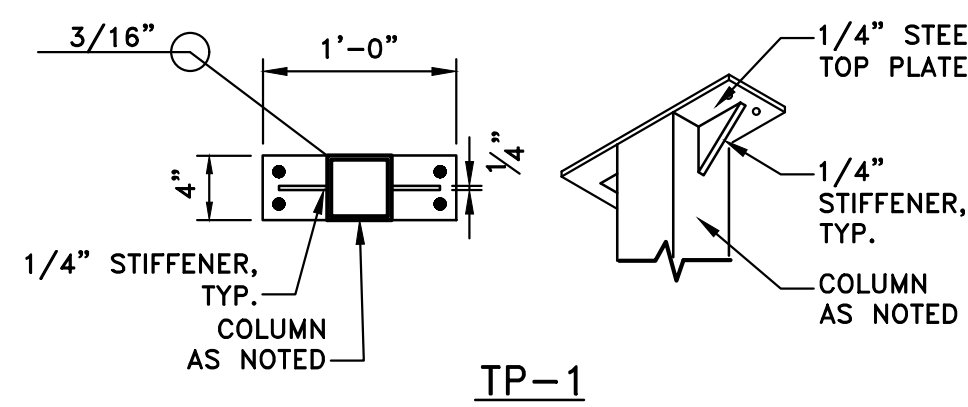
5 TYPICAL STOOP @ ADDITION  
SCALE: 1/2" = 1'-0"



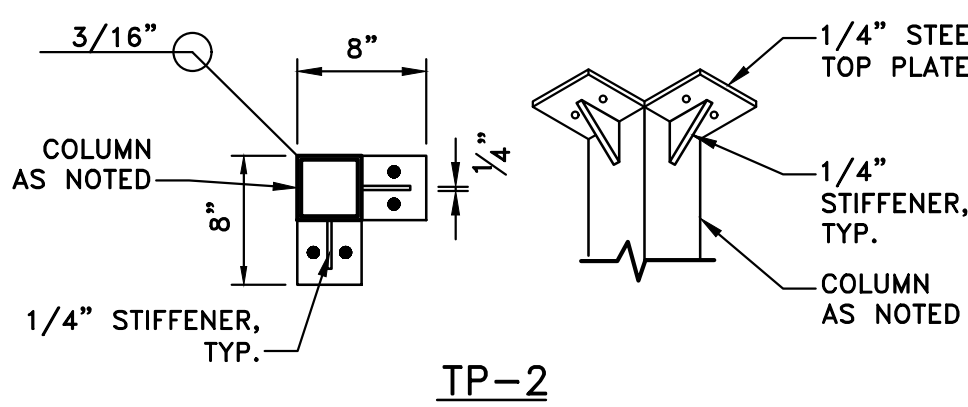
6 PIER DETAIL  
SCALE: 3/4" = 1'-0"



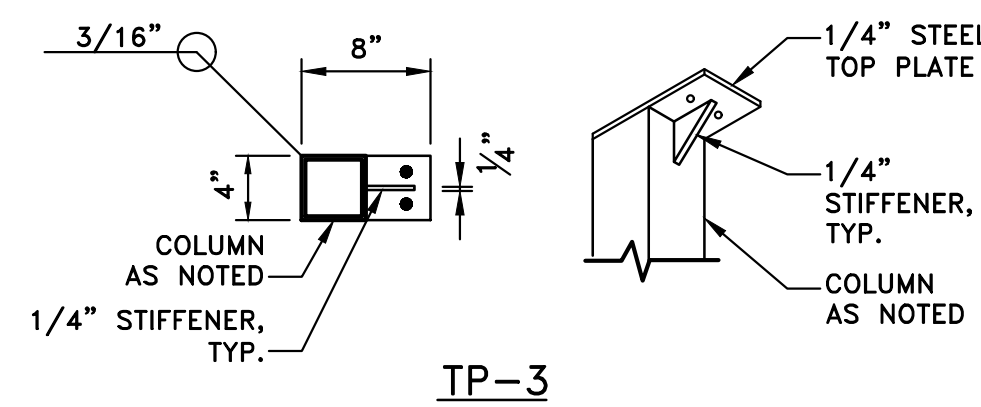
6 TYPICAL FOOTING DETAIL  
SCALE: 3/4" = 1'-0"



TP-1



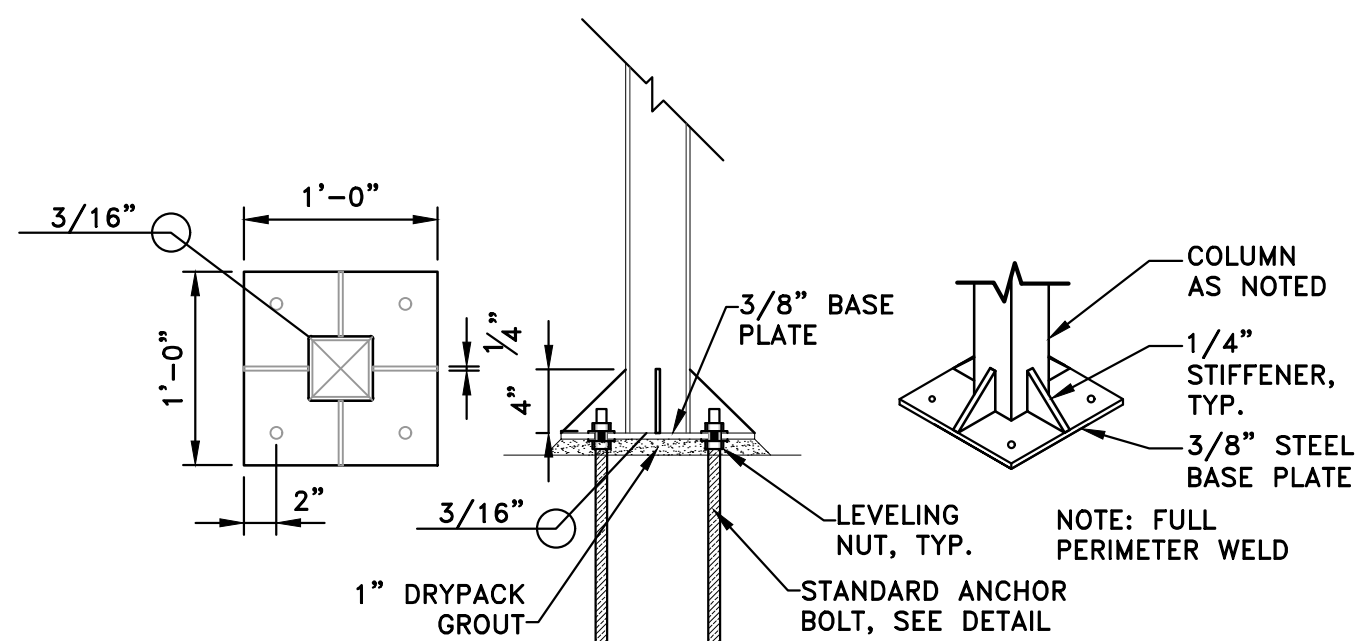
TP-2



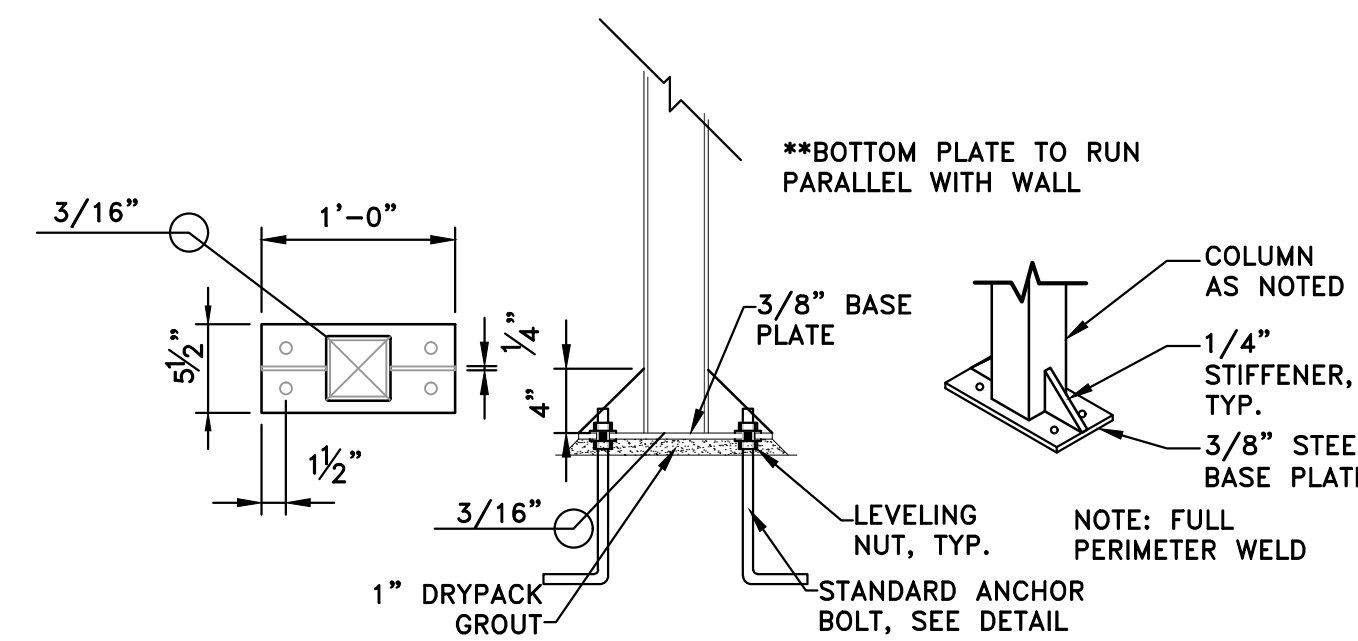
TP-3

### TOP PLATE DETAILS

\*\*TOP PLATE TO RUN IN-LINE WITH BEAM



BP-1



BP-2

### BASE PLATE DETAILS

### STEEL DETAILS

SCALE: 1" = 1'-0"

#### NOTE

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

NOTE: DO NOT SCALE DRAWING. USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER. THIS DRAWING SHALL NOT BE DUPLICATED, MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2025.



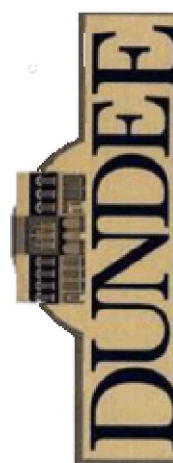
FOR BID PURPOSES ONLY

DUNDEE CIVIC  
COMMUNITY CENTER  
165 VAN NEST STREET  
DUNDEE, MICHIGAN 48131  
VILLAGE OF DUNDEE, MONROE COUNTY

### DETAILS

#### DEVELOPER/OWNER:

VILLAGE OF DUNDEE  
MICHAEL HOFFMEISTER, VILLAGE MANAGER  
350 WEST MONROE ST.  
DUNDEE, MI 48131  
(734) 529-3430



ISSUE	DATE	BY
OWNER REVIEW	11/17/25	DAC
REVIEWED BY		DAC/ARJ

SCALE\* AS NOTED

PLOT DATE 11/17/25

JOB NO. 301006

SHEET NO.

S4.01