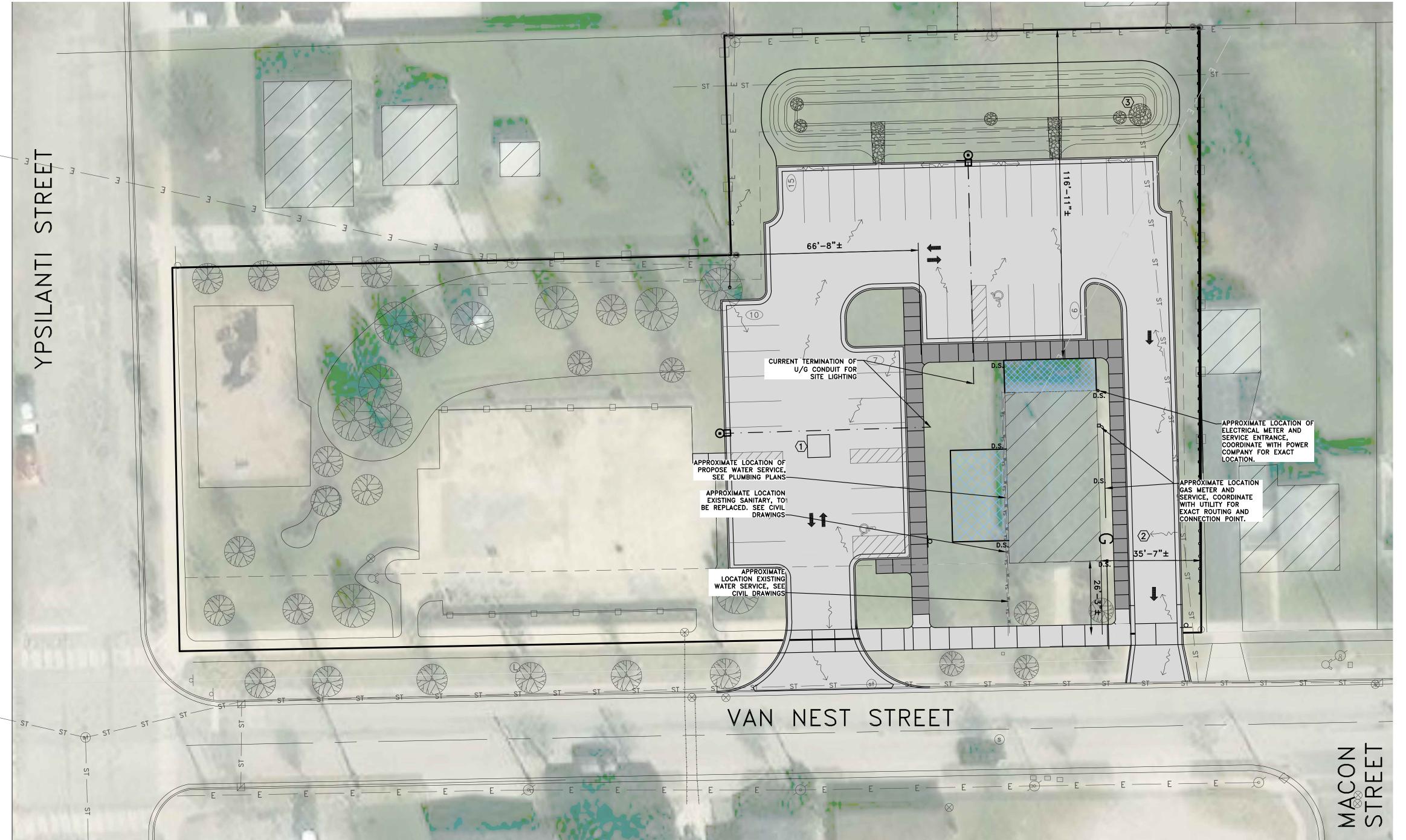
DUNDEE CIVIC COMMUNITY CENTER

BUILDING ADDITION & RENOVATION

165 VAN NEST STREET DUNDEE, MICHIGAN 48131 VILLAGE OF DUNDEE, MONROE COUNTY



SITE LOCATION NTS

SHEET INDEX

T1.00 TITLE PAGE

LS1.00 LIFE SAFETY & CODE

NORTH & SOUTH ELEVATIONS

EAST & WEST ELEVATIONS

REFLECTED CEILING PLAN & KITCHEN DETAIL INTERIOR ELEVATIONS

FINISH. DOOR & WINDOW SCHEDULES

S3.01 TYPICAL TRUSS BRACING

P1.00 PLUMBING NOTES P1.01 PLUMBING SCHEDULE & DETAILS

P2.00 PLUMBING PLAN

M1.00 MECHANICAL NOTES & SCHEDULES MECHANICAL PLAN

E4.00 SITE ELECTRICAL & DETAILS

E1.00 ELECTRICAL NOTES & DETAILS LIGHTING PLAN

E3.00 POWER PLAN

GRAPHIC SYMBOLS

OKAI IIIO C	TIMBOLO
DOOR NO. WINDOW NO.	104
ROOM NAME ROOM NUMBER	MECHANICAL [101]
BUILDING SECTION SHEET NUMBER	A A A 204
DETAIL SECTION SHEET NUMBER	1 (A.204)
NORTH ARROW	(Number of State of S
DETAIL SHEET NUMBER	1 A 204
INTERIOR ELEVATION SHEET NUMBER	1 204 1 204 1 204
ADDENDUM	
CHANGE ORDER	2

AB	ANCHOR BOLT
ACI	AMERICAN CONCRETE INSTITUTE
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
A.F.F.	ABOVE FINISH FLOOR
A.F.G.	ABOVE FINISH GRADE
A.H.J.	AUTHORITY HAVING JURISDICTION
A.I.A.	AMERICAN INSTITUTE OF ARCHITECTS
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AISI	AMERICAN IRON AND STEEL INSTITUTE
ALLIM	ALLIMINIIM

ANOD. ANODIZED ALTERNATE STRESS DESIGN AMERICAN SOCIETY FOR TESTING AND MATERIALS AMERICAN WELDING SOCIETY

BELOW FINISH FLOOR BELOW FINISH GRADE **BEARING**

CEILING

CONTROL JOINT

ABBREVIATIONS

DRAWING EACH ELECTRICAL CONTRACTOR EXTERIOR CLEANOUT ELECTRICAL ELEV. **ELEVATION EXPANSION JOINT** EQUAL **EXISTING** EXT. **EXTERIOR**

DOMESTIC COLD WATER

DOMESTIC HOT WATER

CLEAN OUT

CONCRETE

DOUBLE

COLD WATER

DEMOLITION

FLOOR DRAIN **FINISH** FLOOR FOOTING

FOUNDATION FURNACE GAUGE GALVANIZED **GENERAL CONTRACTOR** HOLLOW METAL HORIZONTAL HIGH POINT

HOT WATER

INTERIOR

INVERT

KIP

HEATING, VENTILATING, AIR CONDITIONING SIM

LOW POINT LOAD AND RESISTANCE FACTOR DESIGN MANUFACTURER MAXIMUM MECHANICAL MINIMUM MASONRY OPENING NOMINAL

NOT IN CONTRACT NOT TO SCALE ON CENTER OVERHEAD POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POLYVINYL CHLORIDE RADIUS ROOM SANITARY SIMILAR

SPECIFICATIONS S.S. STC STD STL T&B T&G TYP. U.G. SERVICE SINK SOUND TRANSMISSION COEFFICIENT STANDARD TOP & BOTTOM TONGUE & GROOVE UNDER GROUND UNLESS NOTED OTHERWISE VERIFY-IN-FIELD VENT THRU ROOF WATER CLOSET

WATER HEATER

WEATHER PROOF

WELDED WIRE FABRIC

OVERALL SITE PLAN
SCALE: 1" = 20'-0"

NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER.

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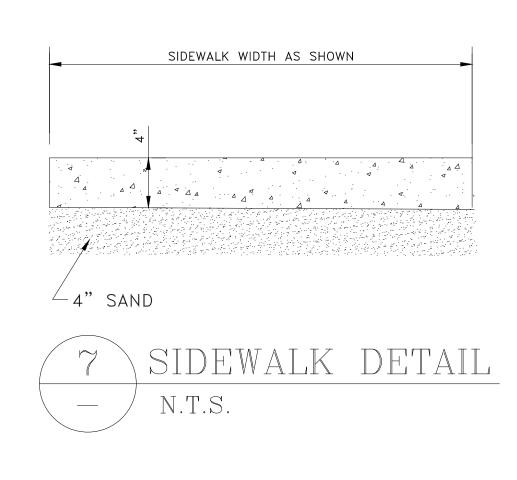
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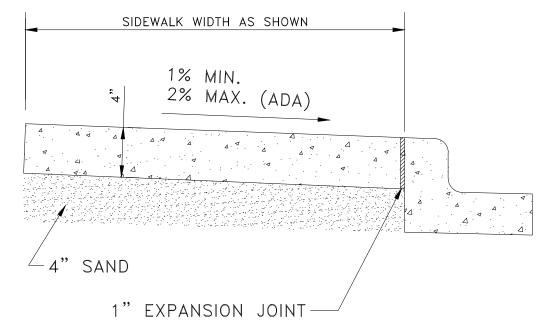
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11/17/25

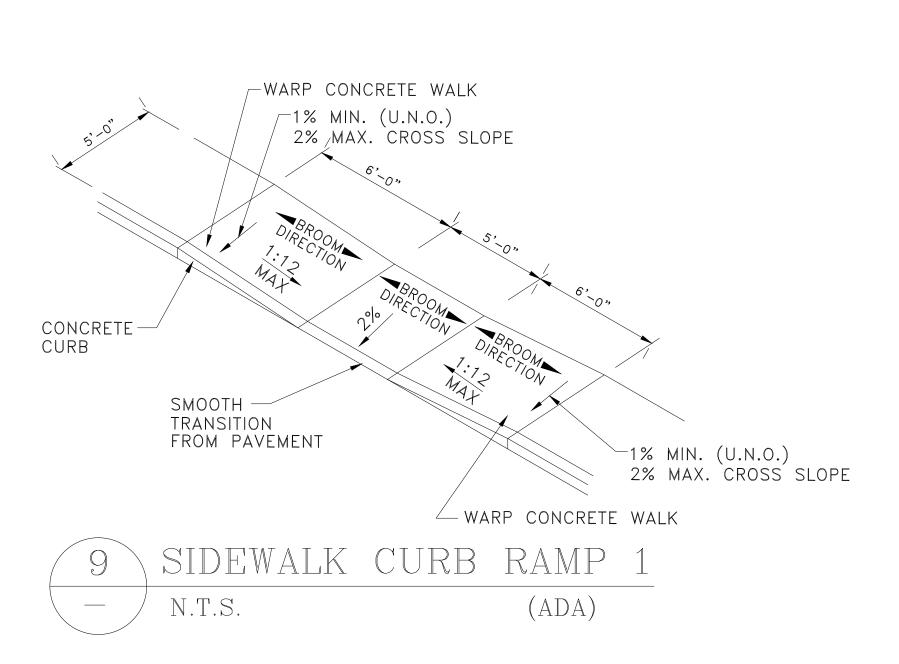
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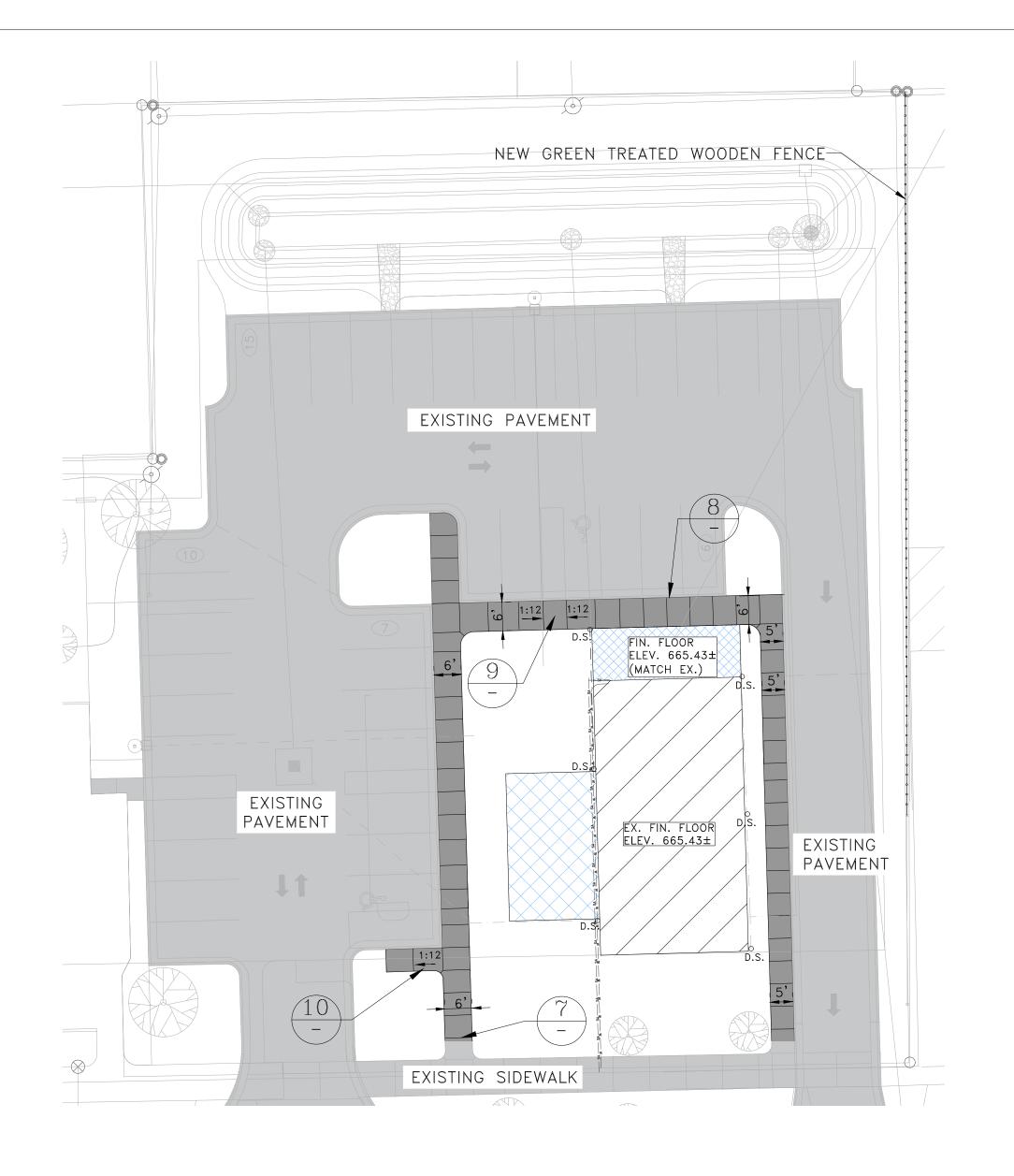
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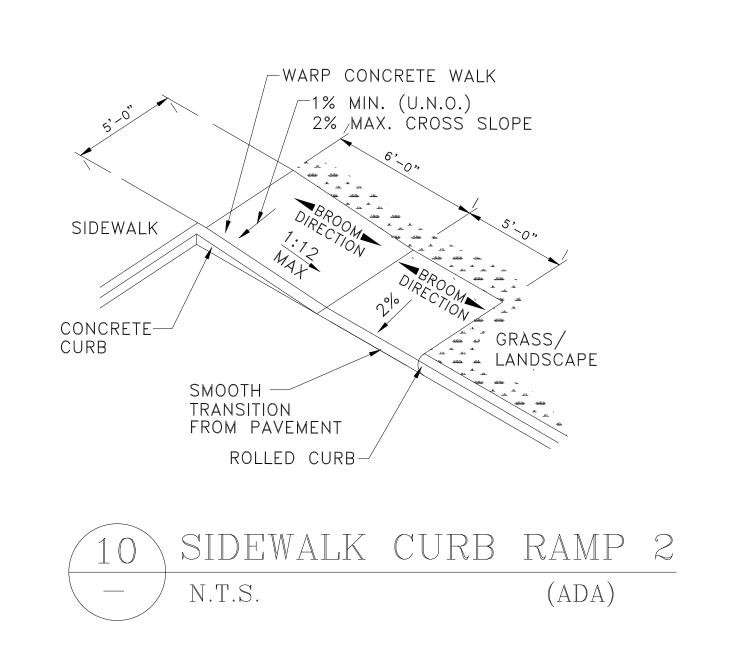












GRADING LEGEND

H.P. - HIGH POINT ELEV. L.P. - LOW POINT ELEV. € − CENTERLINE ELEV. RIM - M.H./C.B. RIM ELEV. F.G. - FINISH GRADE ELEV. INTER.- ROAD INTERSECTION ELEV. INV. - INVERT ELEV. G - GUTTER ELEV.

P - PAVEMENT ELEV. T/SW- TOP OF SIDEWALK ELEV. T/C - TOP OF CURB ELEV. T/P - TOP OF PAVEMENT ELEV. E/P - EDGE OF PAVEMENT ELEV.

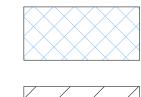
P.C. - POINT OF CURVE P.T. - POINT OF TANGENT

<u>LEGEND</u>



EXISTING

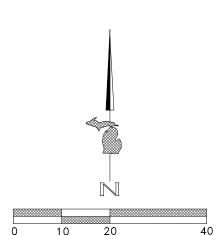
NEW



BUILDING/PATIO



CONCRETE



<u>LEGEND</u>

EXISTING		<u>PROPOSED</u>
st st	STORM SEWER	st st
w w	WATER MAIN	w w
—— G —— G ——	GAS LINE	——
SA	SANITARY SEWER	SA SA
— Е — Е —	OVERHEAD POWER LINES	— Е — Е —
_ — —	UNDERGRND POWER LINES	— — — —
	SILT FENCING	-

(FOR CONSTRUCTION ONLY)

-----FENCE (A) (s) SANITARY SEWER MANHOLE (4) (B) st) STORM SEWER MANHOLE (B) CATCH BASIN **5** $\sqrt{8}$

⟨B⟩ ✓ CURB INLET (L) LIGHT POLE o POWER POLE 2 FIRE HYDRANT SHEET FLOW $\sim \sim \rightarrow$ 601.00 X 98.00' ELEVATIONS SANITARY CLEAN OUT

F.C.M. • FOUND CONC. MONUMENT F.C.I. FOUND CAPPED IRON F.I. FOUND IRON _o_ SIGN

> LANDSCAPE UTILITY CROSSING (SEE SHEET) ADDENDUM

MAIL BOX

CHANGE ORDER

IMPROVEMENT

DOI

1" = 20'PLOT DATE 11/13/25

301006 JOB NO. SHEET NO.



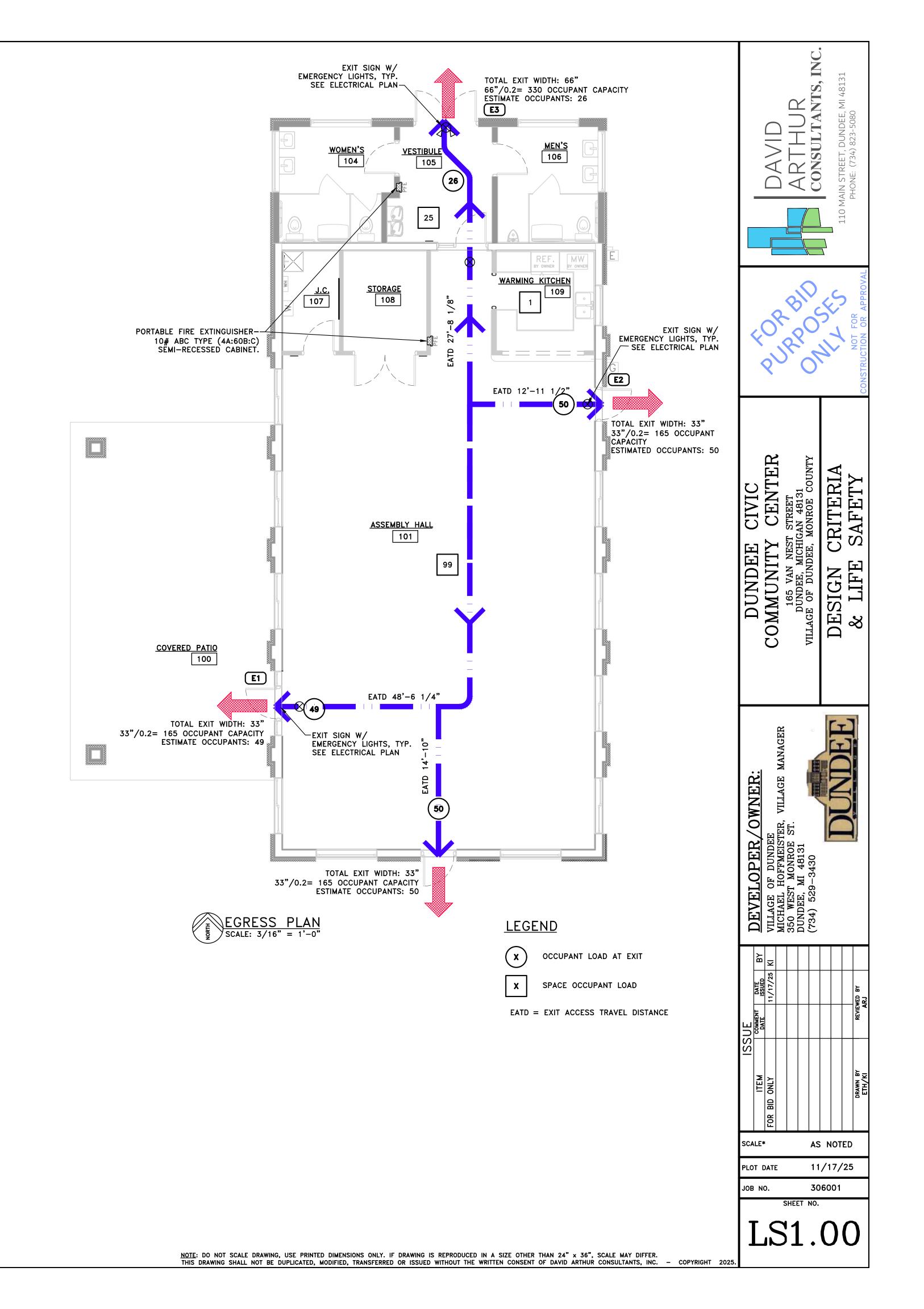
THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER.

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PLUMBING CODE:	MICHIGAN BUILDING CODE 20	DESIGN CR			
	MICHIGAN PLUMBING CODE 2	021 (MPC-2	2021)		
MECHANICAL CODE: ELECTRICAL CODE:	MICHIGAN MECHANICAL CODE NATIONAL ELECTRIC CODE 20	,			
ELLCTRICAL CODE.	MICHIGAN PART 8 TECHNICAL				
ACCESSIBILITY:	ICC/ANSI A117.1-2009 (AS				
ENERGY CODE: FIRE CODE:	MICHIGAN COMMERCIAL ENERGINTERNATIONAL FIRE CODE 20				MPC - 2021)
		JZ1 (11 C - ZC	JZI, AS NEI	LIVEINCE IIV	WIBC-2021)
PROJECT DESCRIPTION	RENOVATION OF THE EXISTING		JILDING PLUS	AN ADDITI	on of ada toilet
JSE GROUP(S):	ROOMS AND COVERED PATIO	_	ASSEMBLY-C	CMNTY HALL	MBC CH. 3
SEPARATION:		SINGLE USE	Ē		
RISK CATEGORY: TYPE OF CONSTRUCTI	ON.	II VB			MBC TABLE 1604.5
	HEIGHTS AND AREAS	A-3 (NS)			MBC SECTION 602
	ALLOWED:	: 40	1	FT/STORIES	MBC TABLE 504.3/504
	ACTUAL: ALLOWED:		1 S.F.	FT/STORIES	MBC TABLE 506.2
AREA	MODIFIED ALLOWED:			75.00%	MBC TABLE 506.2 MBC SECTION 506.2
BUILDING HEIGHT INC	REASE:	N/A			MBC SECTION 504.2
BUILDING AREA INCRE		1.00[(0.00 //	200)	7.0 /7.0	WD0 050710M 500 7
BUILDING AREA:	FRONTAGE:	100[(269/2	269) – 0.25] 30/30	MBC SECTION 506.3
THE THE THE THE	EXISTING BUILDING:	: 1,778	S.F.		
	ADDITION:		S.F.		
FIRE RESISTANT CONS	COVERED PATIO:	700	S.F.		
THE RESISTANT CONS	BEARING WALLS:	HOURS			MBC TABLE 601
	EXTERIOR:]
	INTERIOR: NON-LOAD BEARING WALLS:	: 0			.
	ROOF CONSTRUCTION:				↓
RATIN	NG PER SEPARATION DISTANCE:				MBC TABLE 602
INTERIOR FINISHES:	DRAFT STOPPING (ATTICS):	PROVIDED,	SEE ROOF F	RAMING PLI	MBC SECTION 718.4 MBC SECTION 803
MILKIOK FINISHES:	USE:	: A-3 (NS)			MIDE SECTION 603
	EXITS, EXIT PASSAGEWAYS:				
Pu	CORRIDORS AND EXIT WAYS: OOMS AND ENCLOSED SPACES:				<u> </u>
, K			<u> </u> Minimum, and	DOCFF-1	"pill test"
FIRE PROTECTION:		NOT REQUIR			MBC SECTION 903
		FA < 12,0	00 S.F. LOAD < 300		
STORIES WITHOUT OP					MBC SECTION 903.2.1
FIRE ALARM:		A-3 (NS)	NOT REQUIRI	FD	MBC SECTION 907 MBC SECTION 907.2.
			LOAD < 300		
PORTABLE FIRE EXTIN			\\0DED\TE		NDO TABLE 000 7(4)
	TYPE OF HAZARD: MINIMUM SIZE:	· ·	MODERATE		MBC TABLE 906.3(1)
	MAXIMUM FLOOR AREA OF 'A'				
MAXIMUM F	LOOR AREA PER EXTINGUISHER	*	•		
	MAXIMUM TRAVEL DISTANCE: REQUIRED:				.
	PROVIDED:	: 2			-
	SIZE/TYPE:		COED OYDING		-
		SEMI-RECE	SSED CABINE	T	-
	SIZE/TYPE: INSTALLATION	SEMI-RECES NONE			ED AT 48" AFF.
OCCUPANT LOAD:	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE	SEMI-RECE: NONE TOP OF FIF	RE EXTINGUIS S.F./OCCUP	HER MOUNT	ED AT 48" AFF. MBC TABLE 1004.1.2
OCCUPANT LOAD:	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS:	SEMI-RECE: NONE TOP OF FIF	RE EXTINGUIS	HER MOUNT	
OCCUPANT LOAD:	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL	SEMI-RECETOR NONE TOP OF FIFT S.F. 1483	RE EXTINGUIS S.F./OCCUP	HER MOUNT TOTAL 99 1 24	
OCCUPANT LOAD:	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN	SEMI-RECES NONE TOP OF FIF S.F. 1483 126	RE EXTINGUIS S.F./OCCUP. 15 200	HER MOUNT TOTAL 99 1	
OCCUPANT LOAD:	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE	SEMI-RECET NONE TOP OF FIF S.F. 1483 126 166	RE EXTINGUIS S.F./OCCUP. 15 200 7	HER MOUNT TOTAL 99 1 24	
	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE	SEMI-RECET NONE TOP OF FIF S.F. 1483 126 166	RE EXTINGUIS S.F./OCCUP. 15 200 7 15	HER MOUNT TOTAL 99 1 24 47	
	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE PATIO :	SEMI-RECE: NONE TOP OF FIF S.F. 1483 126 166 700	RE EXTINGUIS S.F./OCCUP. 15 200 7 15 TOTAL GENERAL EG	HER MOUNT TOTAL 99 1 24 47 171 RESS	
MEANS OF EGRESS: EGRESS WIDTH	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE PATIO	SEMI-RECE: NONE TOP OF FIF S.F. 1483 126 166 700	RE EXTINGUIS S.F./OCCUP. 15 200 7 15 TOTAL GENERAL EG	HER MOUNT TOTAL 99 1 24 47 171 RESS	MBC TABLE 1004.1.2
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MEANS OF EGRESS: EGRESS WIDTH	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE PATIO SEE PLANS FOR EGRESS WID MINIMUM: ACTUAL:	SEMI-RECE: NONE TOP OF FIF S.F. 1483 126 166 700 TH AND OC 2 3	RE EXTINGUIS S.F./OCCUP. 15 200 7 15 TOTAL GENERAL EG	HER MOUNT TOTAL 99 1 24 47 171 RESS	MBC TABLE 1004.1.2 MBC SECTION 1005.3 MBC SECTION 1006
MEANS OF EGRESS: EGRESS WIDTH	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE PATIO SEE PLANS FOR EGRESS WID MINIMUM: ACTUAL: COMMON PATH OF TRAVEL:	SEMI-RECE: NONE TOP OF FIF S.F. 1483 126 166 700 OTH AND OC : 2 : 3	RE EXTINGUIS S.F./OCCUP. 15 200 7 15 TOTAL GENERAL EG	HER MOUNT TOTAL 99 1 24 47 171 RESS	MBC TABLE 1004.1.2
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MEANS OF EGRESS: EGRESS WIDTH EXITS:	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE PATIO SEE PLANS FOR EGRESS WID ACTUAL: COMMON PATH OF TRAVEL: MAXIMUM: ACTUAL: ACCESS TRAVEL DISTANCE:	SEMI-RECE: NONE TOP OF FIF S.F. 1483 126 166 700 TH AND OC 2 3 75' -	RE EXTINGUIS S.F./OCCUP. 15 200 7 15 TOTAL GENERAL EG	HER MOUNT TOTAL 99 1 24 47 171 RESS	MBC TABLE 1004.1.2 MBC SECTION 1005.3 MBC SECTION 1006
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MEANS OF EGRESS: EGRESS WIDTH EXITS: EXIT Energ Code: Michigan Uniform Energe Use: Commercial	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE PATIO SEE PLANS FOR EGRESS WID MINIMUM: ACTUAL: COMMON PATH OF TRAVEL: MAXIMUM: ACTUAL: ACCESS TRAVEL DISTANCE: MAXIMUM: ACTUAL: sy Code Compliance	SEMI-RECE: NONE TOP OF FIF S.F. 1483 126 166 700 TH AND OC 2 3 75' - 200' SEE PLAN	RE EXTINGUIS S.F./OCCUP. 15 200 7 15 TOTAL GENERAL EG 0. CUPANT LOA	HER MOUNT TOTAL 99 1 24 47 171 RESS	MBC TABLE 1004.1.2 MBC SECTION 1005.3 MBC SECTION 1006 MBC TBL 1006.2.1 MBC SECTION 1017
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MEANS OF EGRESS: EGRESS WIDTH EXITS: Energ Code: Michigan Uniform Energ Use: Commercial Method: Prescriptive Zone: 5A Framing: Wood & Masonry Envelope: Roof-Attic: R-49 min Walls-above grade R-13 + R-	SIZE/TYPE: INSTALLATION SPECIAL HAZARD AREAS: USE HALL KITCHEN VESTIBULE PATIO SEE PLANS FOR EGRESS WID MINIMUM: ACTUAL: COMMON PATH OF TRAVEL: MAXIMUM: ACTUAL: ACCESS TRAVEL DISTANCE: MAXIMUM: ACTUAL: SY Code Compliance nergy Code 2021 (MUEC)/ASHAE 90.1-20	SEMI-RECE: NONE TOP OF FIF S.F. 1483 126 166 700 TH AND OC 2 3 75' - 200' SEE PLAN	RE EXTINGUIS S.F./OCCUP. 15 200 7 15 TOTAL GENERAL EG 0. CUPANT LOA	HER MOUNT TOTAL 99 1 24 47 171 RESS	MBC TABLE 1004.1.2 MBC SECTION 1005.3 MBC SECTION 1006 MBC TBL 1006.2.1 MBC SECTION 1017
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FILE NAME: C:\Users\etlho\David Arthur Consultants, Inc\David Arth



GENERAL DEMOLITION NOTES:

. ALL WORK TO BE IN ACCORDANCE WITH ALL CURRENT CODES IN AFFECT AN IN ACCORDANCE WITH AGENCIES HAVING JURISDICTION.

2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND WITHIN THESE PLANS OR WITH CURRENT SITE CONDITIONS.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL SITE SAFETY MEASURES AND GUIDELINES.

4. THE ARCHITECT/ENGINEER IS NOT RESPONSIBLE FOR EXISTING CONDITIONS, CONDITIONS DURING DEMOLITION OR ANY OTHER PART OF THE PROJECT.

5. PEDESTRIANS, PUBLIC AND ANY OTHER PERSONS NEAR THE CONSTRUCTION SHALL BE PROTECTED FROM THE CONSTRUCTION AREA THROUGH USE OF CONSTRUCTION BARRIERS. BARRIERS AND OTHER PROTECTION MEASURES SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH MBC AND IN ACCORDANCE WITH ALL GOVERNING AGENCY REQUIREMENTS. THE EXACT LOCATION OF THE PROTECTION FENCING/MEASURES TO BE PLACED AT THE EDGE OF CONSTRUCTION AND ADJUSTED AS CONSTRUCTION REQUIRES.

6. PORTABLE FIRE EXTINGUISHER(S), SURFACE MOUNTED MIN. 5# ABC TYPE, SHALL BE PROVIDED ON SITE DURING DEMOLITION & CONSTRUCTION IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE SECTION 3315.1. MINIMUM OF ONE TO BE PROVIDED AT EACH STAIRWAY ON EACH FLOOR, IN STORAGE AND CONSTRUCTION SHEDS, ANY SPECIAL HAZARD AREAS. EXACT LOCATION AND QUANTITY SHALL BE COORDINATED WITH THE BUILDING OFFICIAL PRIOR AND DURING DEMOLITION AND CONSTRUCTION.

. CONTRACTOR TO BE RESPONSIBLE FOR PROTECTING REMAINING SURFACES FROM PORTIONS TO BE DEMOLISHED. IT IS THE CONTRACTORS RESPONSIBILITY TO REPAIR ANY ADDITIONAL DEMOLITION DONE BEYOND WHAT IS REQUIRED AND TO MATCH THE EXISTING CONDITIONS.

B. WHERE COMPONENTS ARE REMOVED, ALL RESIDUAL GLUE, ADHESIVES, FASTENERS, ETC. TO BE REMOVED WITH MAJOR COMPONENTS.

9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL DEMOLITION ENGINEERING, INCLUDING TEMPORARY SUPPORTS/SHORING, AS REQUIRED FOR SITE AND PROJECT CONDITIONS.

10. REMOVE AND DISPOSE OF ALL MATERIALS LEGALLY OFF-SITE.

11. WHERE MATERIALS ARE UNCOVERED THAT ARE SUSPECTED OF BEING ASBESTOS CONTAINING MATERIALS, ALL WORK SHOULD STOP IMMEDIATELY. THE OWNER SHALL SECURE AN ENVIRONMENTAL ENGINEER/CONSULTANT TO PERFORM THE NECESSARY INVESTIGATION AND ISSUE A REPORT INDICATING ANY SUSPECTED ACM ON SITE. WHERE ACM ARE FOUND, THEY SHALL BE REMOVED IN ACCORDANCE WITH CURRENT RULES AND REGULATIONS.

12. DEMOLITION OF ANY ELECTRICAL SHALL INCLUDE REMOVAL OF ANY AND ALL ITEMS BACK TO THE NEAREST JUNCTION BOX OR PANEL BOARD.

13. THE OWNER SHALL HAVE THE FIRST RIGHT OF REFUSAL FOR ANY SALVAGEABLE, RECYCLABLE OR HISTORICALLY SIGNIFICANT MATERIALS. CONTRACTOR SHALL COORDINATE WITH OWNER ALL SUCH MATERIALS.

14. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A PROPOSAL TO INSPECT AND FAMILIARIZE THEMSELVES WITH THE SITE AND UNDERSTAND THE EXISTING CONDITIONS AND OVERALL SCOPE OF WORK REQUIRED TO COMPLETE THE SCOPE OF WORK TO MEET THE PROJECT OBJECTIVE. ANY AND ALL DISCREPANCIES AND CONCERNS ARE TO BE PRESENTED TO THE OWNER PRIOR TO SUBMITTING A PROPOSAL AND PROCEEDING WITH ANY WORK.

15. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, SERVICES, CONDUITS, DRAINS, ETC.; UNDERGROUND, OVERHEAD LINES OR BURIED, PRIOR TO THE START OF ANY WORK.

16. AN ATTEMPT HAS BEEN MADE TO SHOW AS MUCH INFORMATION AS POSSIBLE REGARDING EXISTING CONDITIONS. THESE DRAWINGS ARE NOT AS-BUILT DRAWINGS AND DO NOT SHOW EVERY DETAIL OF THE EXISTING BUILDING. IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE THE EXISTING BUILDING PRIOR TO SUBMITTING A PROPOSAL. ADDITIONAL ITEMS, NOT SHOWN ON THE DRAWINGS OR NOTED TO BE REMOVED, INTERFERING WITH THE COMPLETE REMOVAL OF THE PRIMARY REMOVAL ITEMS NOTED, SHALL BE REMOVED WITHOUT ADDITIONAL COST TO THE OWNER.

17. WHERE NEW FINISHES ARE TO BE INSTALLED ON REMAINING ITEMS, REMOVE ALL EXISTING FINISHES TO SUBSTRATE BELOW. PATCH, OR RESTORE THE SUBSTRATE TO THE CONDITION REQUIRED BY THE NEW MATERIAL MANUFACTURERS SPECIFICATION AND BEST PRACTICE RECOMMENDATIONS.

18. EXISTING STRUCTURAL ELEMENTS ARE NOT TO BE REMOVED UNTIL PERMANENT OR TEMPORARY MEASURES ARE IN PLACE.

19. REMOVAL OF FOUNDATION OR FOOTINGS TO INCLUDE REMOVAL OF THE ENTIRE FOUNDATION OR FOOTING BELOW GRADE. LEAVING OF ANY UNDERGROUND COMPONENT IS NOT PERMITTED.

20. ALL CUTTING AND REMOVAL OF EXISTING BUILDING COMPONENTS SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. ANY ADDITIONAL REMOVAL OVER WHAT IS NOTED OR REQUIRED TO MEET THE SCOPE OF WORK, SHALL BE REPLACED, TO MATCH EXISTING/REMAINING CONDITIONS, AT THE CONTRACTORS EXPENSE.

21. EXISTING COMPONENTS NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED TO MAXIMUM PRACTICAL EXTENT BASED ON EXISTING CONDITIONS. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR FLOOR SO THAT THEY ARE COMPLETELY CONCEALED. OPENINGS LEFT IN WALLS, CEILING, ETC. WHERE EQUIPMENT AND PIPING, CONDUIT, ETC. ARE REMOVE AND NOT REPLACED SHALL BE PATCHED NEATLY WITH SIMILAR MATERIALS TO ADJACENT CONSTRUCTION.

22. CONTRACTOR RESPONSIBLE TO ENSURE ANY DEMOLITION ON THE EXTERIOR OF THE BUILDING, OR WHAT IS TO BE THE EXTERIOR OF THE BUILDING. IS PATCHED. FILLED IN AND LEFT IN A WEATHERPROOF CONDITION, INCLUDING PATCHING AND FILLING ALL RESULTING HOLES WITH SIMILAR MATERIAL. ANY DAMAGE TO THE REMAINING BUILDING SHALL BE REPAIRED/REPLACED AT THE CONTRACTORS EXPENSE.

23. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER WHERE UTILITY SERVICES NEED TO BE TEMPORARILY TURNED OFF DURING DEMOLITION. THE CONTRACTOR SHALL ENSURE ANY UTILITY, PLUMBING, GAS. ELECTRICAL. ETC. ARE TURNED OFF BACK TO A VALVE. SHUT-OFF. BREAKER. ETC. IN THE PORTION OF THE BUILDING WHICH IS TO REMAIN OR BACK TO THE MAIN SERVICE DISCONNECT POINT. WHERE THE SERVICE NEEDS TO BE SHUT DOWN, THE CONTRACTOR SHALL NOTIFY THE OWNER TO HAVE THE NECESSARY SERVICE SHUT DOWN PRIOR TO THE START OF ANY DEMOLITION.

24. REMOVAL OF WALLS SHALL INCLUDE ALL MECHANICAL, ELECTRICAL AND PLUMBING. ALL ELECTRICAL SHALL BE REMOVED BACK TO THE NEAREST JUNCTION BOX, PANEL OR DISCONNECT. ALL PLUMBING SHALL BE REMOVED AND CAPPED OFF BEYOND AREA OF DEMOLITION. REMOVAL SHALL ALSO INCLUDE ALL PLATES, FINISHES, ADHESIVES, ETC. DOWN TO BARE SUBSTRATE TO REMAIN.

25. REMOVAL OF ANY WALL PENETRATIONS TO INCLUDE REPAIR AND FILLING OF EXISTING WALL TO MATCH ADJACENT MATERIALS AND FINISH. ALL PENETRATIONS IN EXTERIOR WALLS TO ALSO ENSURE FULL WATER TIGHT FINISH.

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KEYED DEMOLITION NOTES:

(A) REMOVE EXISTING WINDOW, CONCRETE SILL, FRAME AND ACCESSORIES TO MASONRY OPENING

SAWCUT AND REMOVE EXISTING MASONRY WALL TO NOTED NEW OPENING DIMENSIONS

REMOVE EXISTING STUD WALL TO DIMENSIONS & CONFIGURATION NOTED ON PROPOSED FLOOR PLAN

REMOVE EXISTING DOOR, FRAME AND ACCESSORIES TO MASONRY OPENING

E REMOVE EXISTING WALL TO NEW OPENING **DIMENSION**

REMOVE EXISTING STUD WALL

G REMOVE EXISTING STUD WALL TO ROOF

REMOVE EXISTING BRICK VENEER

REMOVE EXISTING CONCRETE SIDEWALK

(J) REMOVE EXISTING ROOFING TO ROOF DECKING

REMOVE EXISTING FASCIA, SOFFIT, GUTTERS

REMOVE EXISTING GAS METER PIPING & SERVICE TO OUTSIDE PROPOSED ADDITION. CAP AND ABANDON EXISTING SERVICE LINE IN ACCORDANCE WITH UTILITY REQUIREMENTS.

REMOVE EXISTING ELECTRIC METER AND SERVICE

REMOVE EXISTING MILLWORK

REMOVE EXISTING EXHAUST DUCT THROUGH ROOF

REMOVE EXISTING PVC VENT

REMOVE EXISTING EXTERIOR LIGHT FIXTURE, REPAIR RESULTING HOLE(S) WITH SIMILAR WALL

REMOVE EXISTING WINDOW IN GABLE WALL, FILL-IN EXISTING OPENING WITH SIMILAR WALL MATERIAL

(S) REMOVE EXISTING WOOD FRAMED GABLE WALL WINDOW. REINSTALL NEW FRAMED WALL ON **EXISTING BLOCK WALL**

REMOVE EXISTING PLANTER, TIMBERS & LANDSCAPING, & SOIL

CEILING/ATTIC: REMOVE ALL EXISTING CEILING LIGHTS, CONDUIT, WIRING, FIXTURES & DEVICES, EXIT SIGNS, CROWN MOULDING

REMOVE EXISTING FURNACE, DUCTWORK, ELECTRICAL CONNECTIONS, GAS PIPING

REMOVE EXISTING WATER SERVICE AND PIPING TO BELOW SLAB

REMOVE EXISTING PLUMBING FIXTURES, ACCESSORIES, DRAIN AND SUPPLY PIPING

REMOVE EXISTING WOOD FRAMED STAIRS & STAIR

Z REMOVE EXISTING COAT RACK

EXISTING MASONRY WALL TO HAVE BROKEN BLOCKS REMOVED AND REPLACED, CRACKED MORTAR JOINTS TO BE TUCK POINTED. REPLACE WITH SOLID BLOCK UNLESS REBAR IS PRESENT. FULL GROUT. NUMBER OF BLOCKS AND LENGTH OF TUCK POINTING LISTED

REMOVE EXISTING PLUMBING PIPING

REMOVE GYPSUM BOARD, BOTH SIDES OF WALL

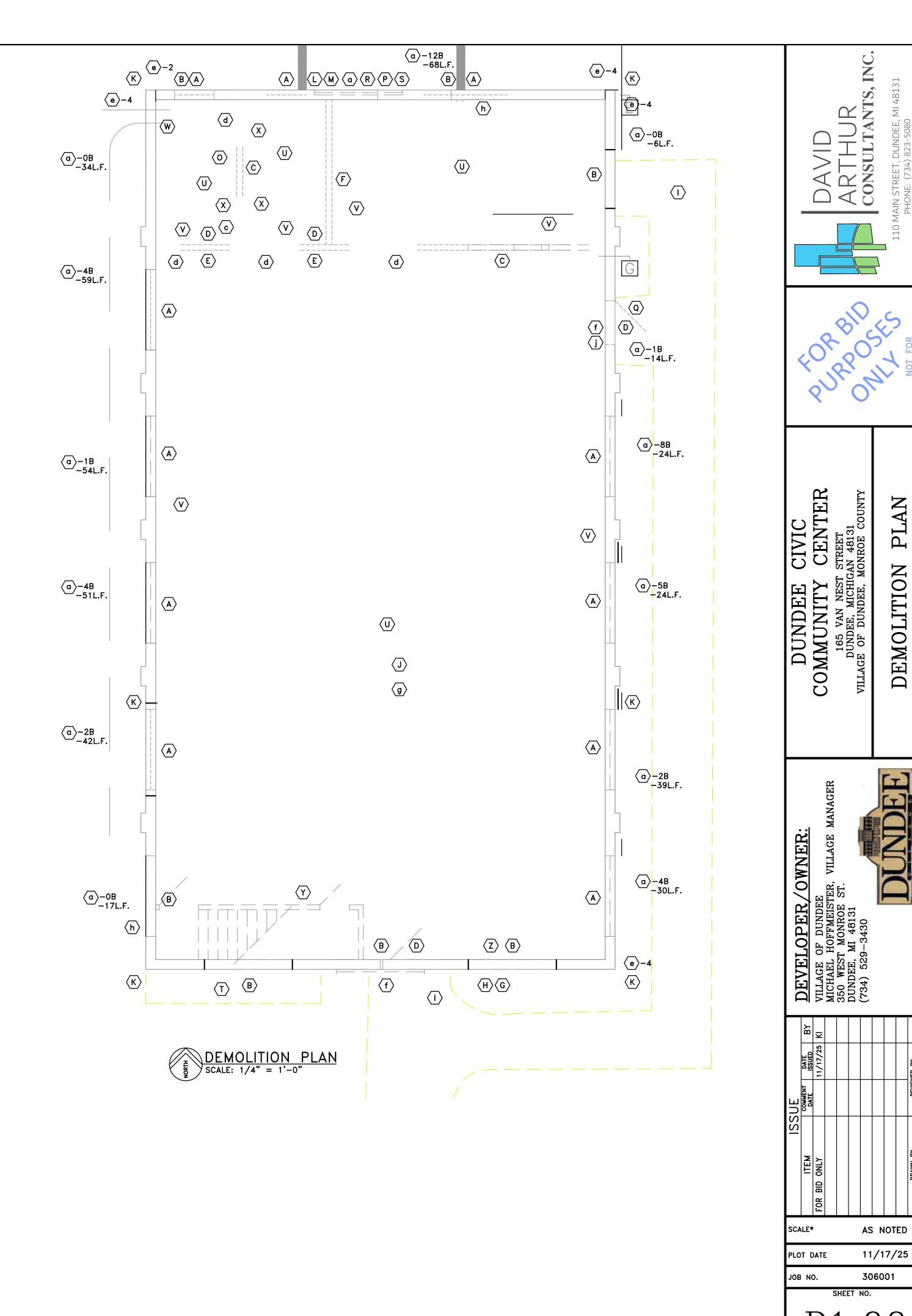
REMOVE AND REPLACE FOUNDATION BLOCKS, QUANTITY NOTED AT EACH LOCATION. REPLACE WITH SOLID BLOCK UNLESS REBAR IS PRESENT, FULL GROUT.

REMOVE EXISTING CONCRETE SLAB AT DOOR AND 1 BLOCK EACH SIDE OF OPENING. REPLACE WITH CONCRETE WHERE DOOR TO REMAIN OR WITH MASONRY WHERE DOOR IS TO BE REMOVED.

REMOVE EXISTING INSULATION AND DEBRIS IN FLOOR OF ATTIC

REMOVE EXISTING BLOCK TO 8" BELOW FLOOR LEVEL, REPLACE WITH CONCRETE, FLUSH WITH FLOORING, AS NOTED

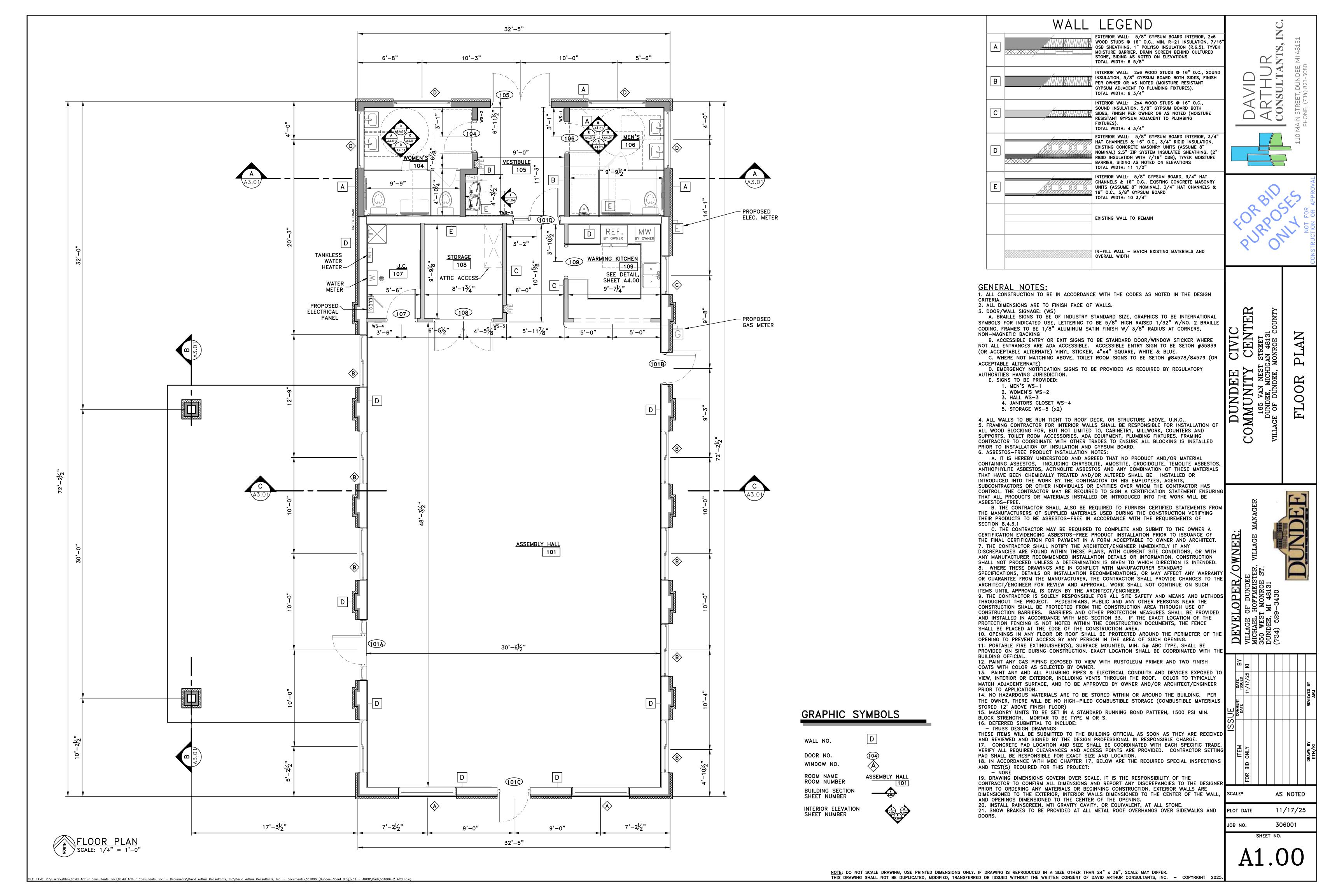
REMOVE EXISTING OPENING HEADER AND BLOCK TO PROPOSED ROUGH OPENING

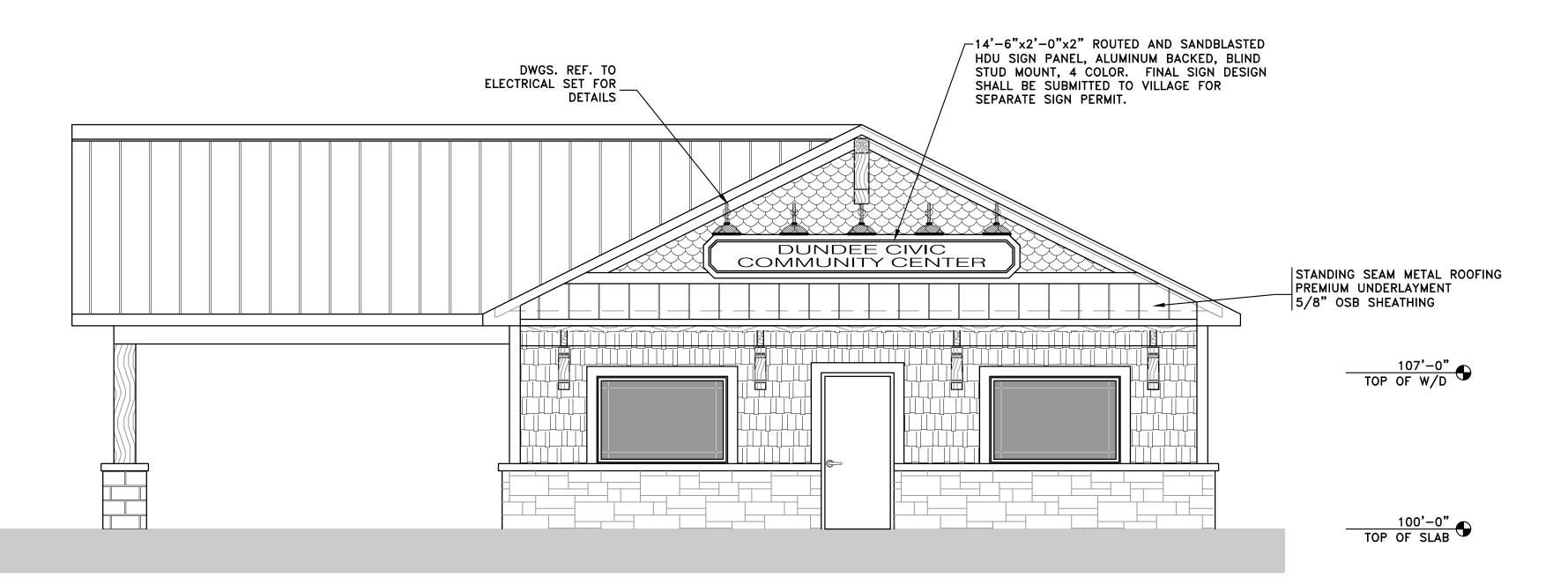


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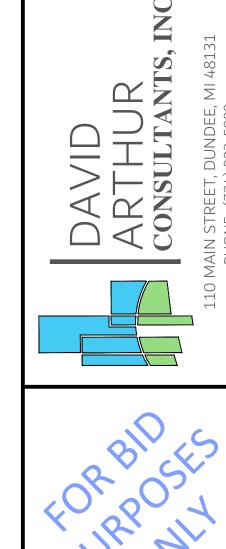


SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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MICHIGAN 48131
UDEE, MONROE COUNTY
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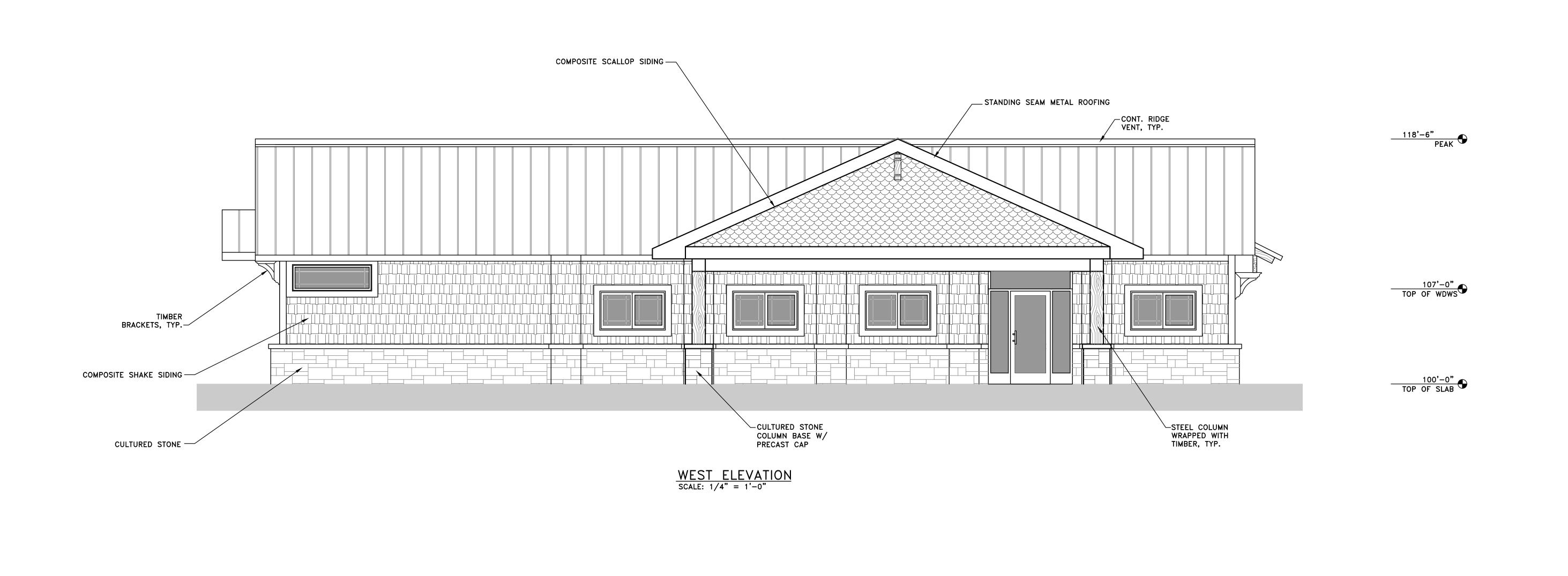
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EAST ELEVATION
SCALE: 1/4" = 1'-0"

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DUNDEE CIVIC

MMUNITY CENTER

165 VAN NEST STREET

DUNDEE, MICHIGAN 48131

LAGE OF DUNDEE, MONROE COUNTY

EAST & WEST

ELEVATIONS DUNDEE
COMMUNITY
165 VAN NEST
DUNDEE, MICHIG,
VILLAGE OF DUNDEE, M

DEVELOPER/OWNER:
VILLAGE OF DUNDEE
MICHAEL HOFFMEISTER, VILLAGE MA
350 WEST MONROE ST.
DUNDEE, MI 48131
(734) 529-3430

AS NOTED SCALE*

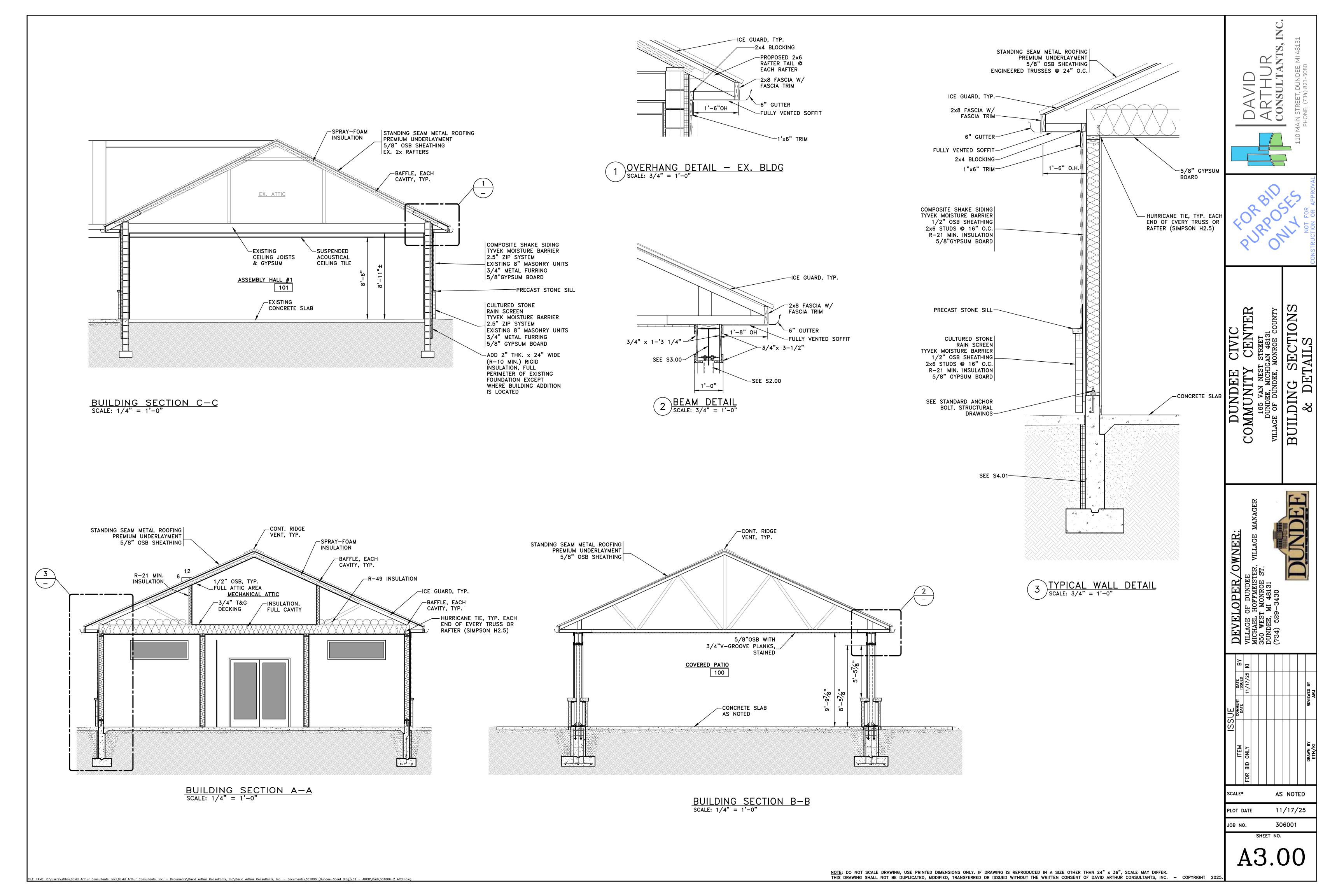
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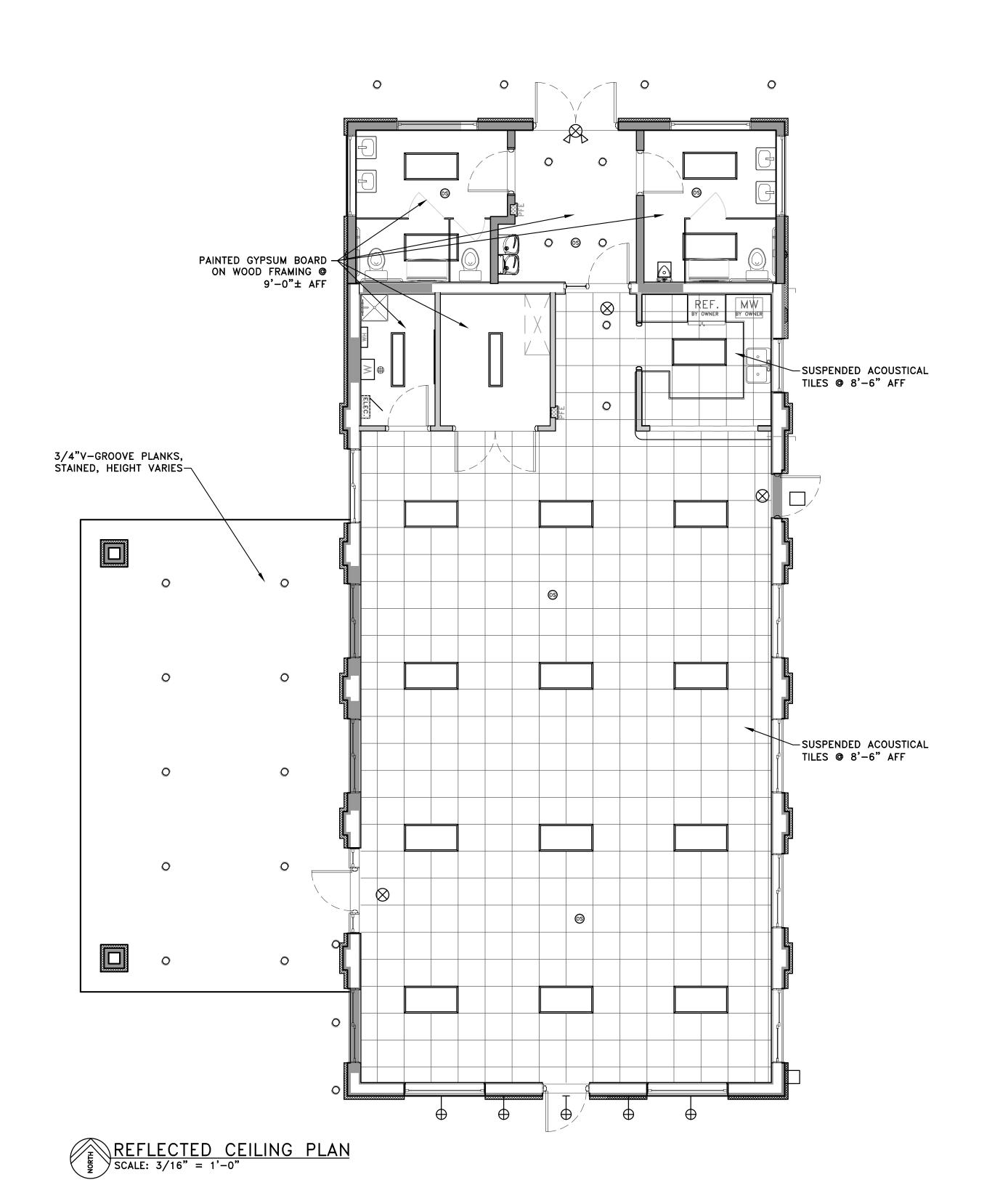
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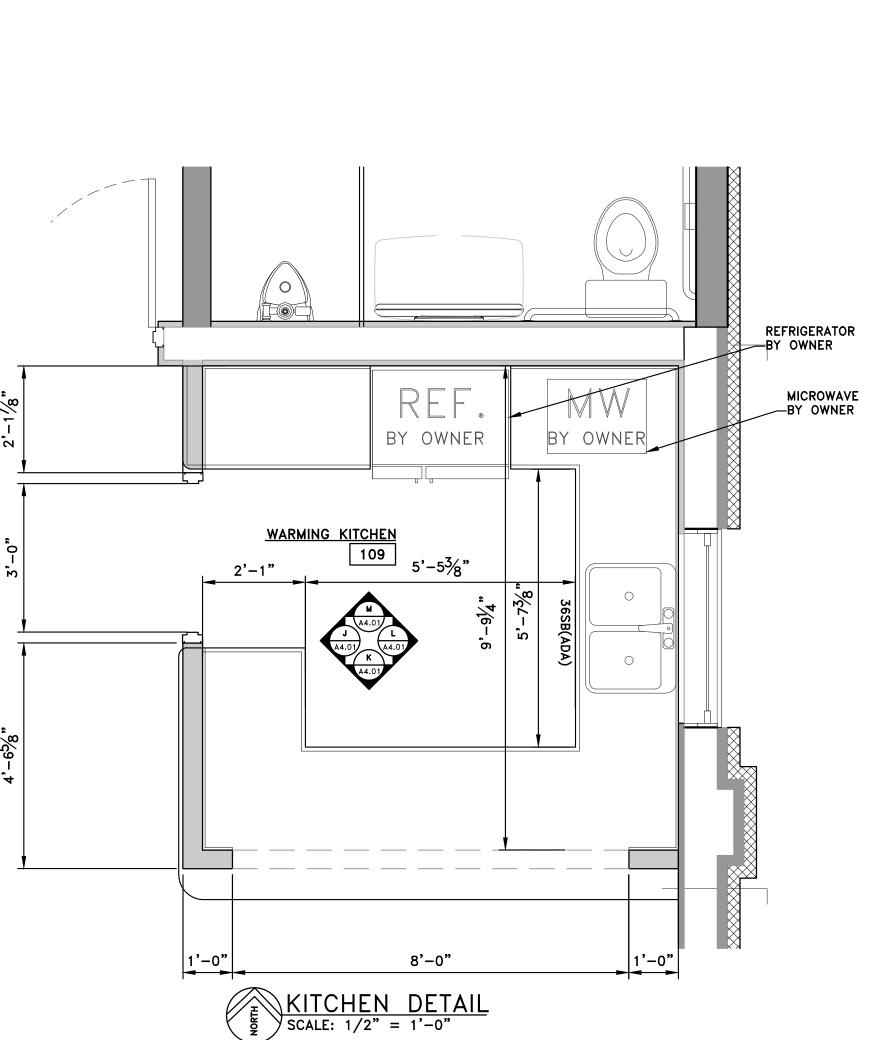
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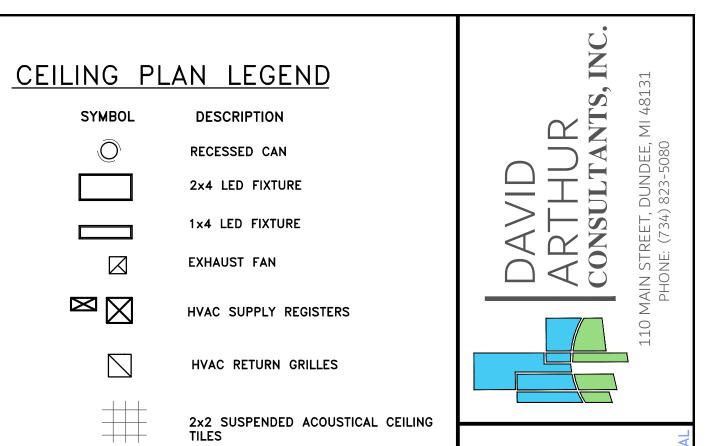
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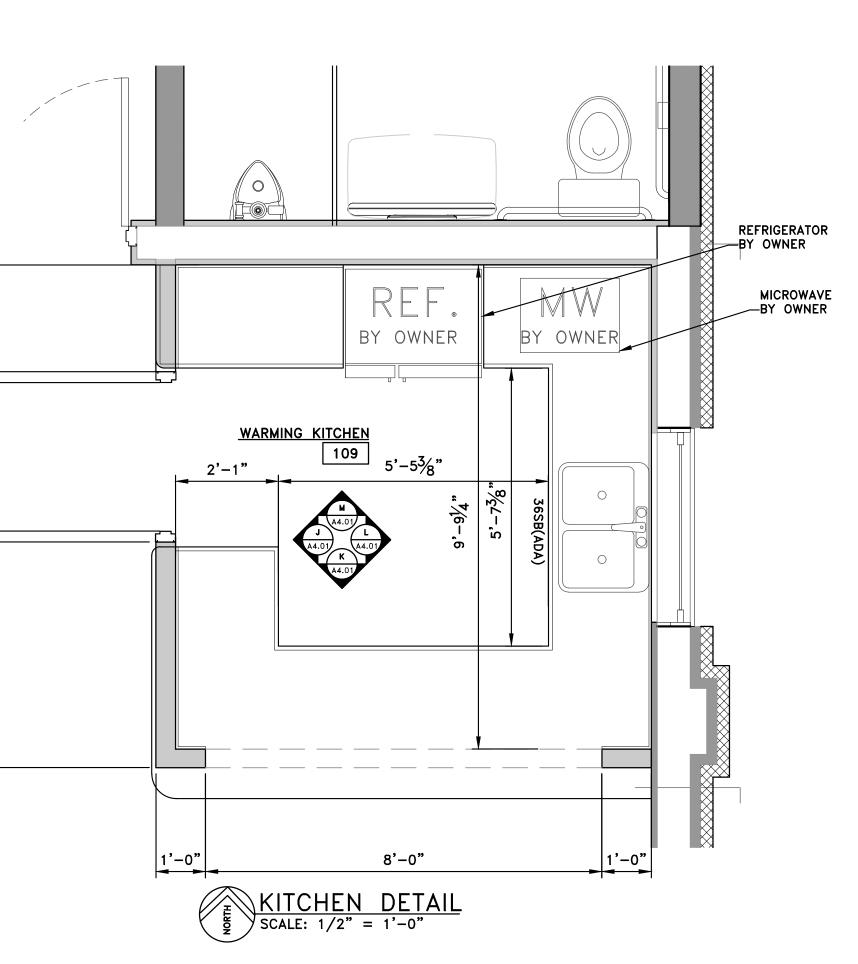




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COMMUNITY
165 VAN NEST
DUNDEE, MICHIC DEVELOPER/OWNER:
VILLAGE OF DUNDEE
MICHAEL HOFFMEISTER, VILLAGE MA
350 WEST MONROE ST.
DUNDEE, MI 48131
(734) 529-3430

CIVIC CENTER

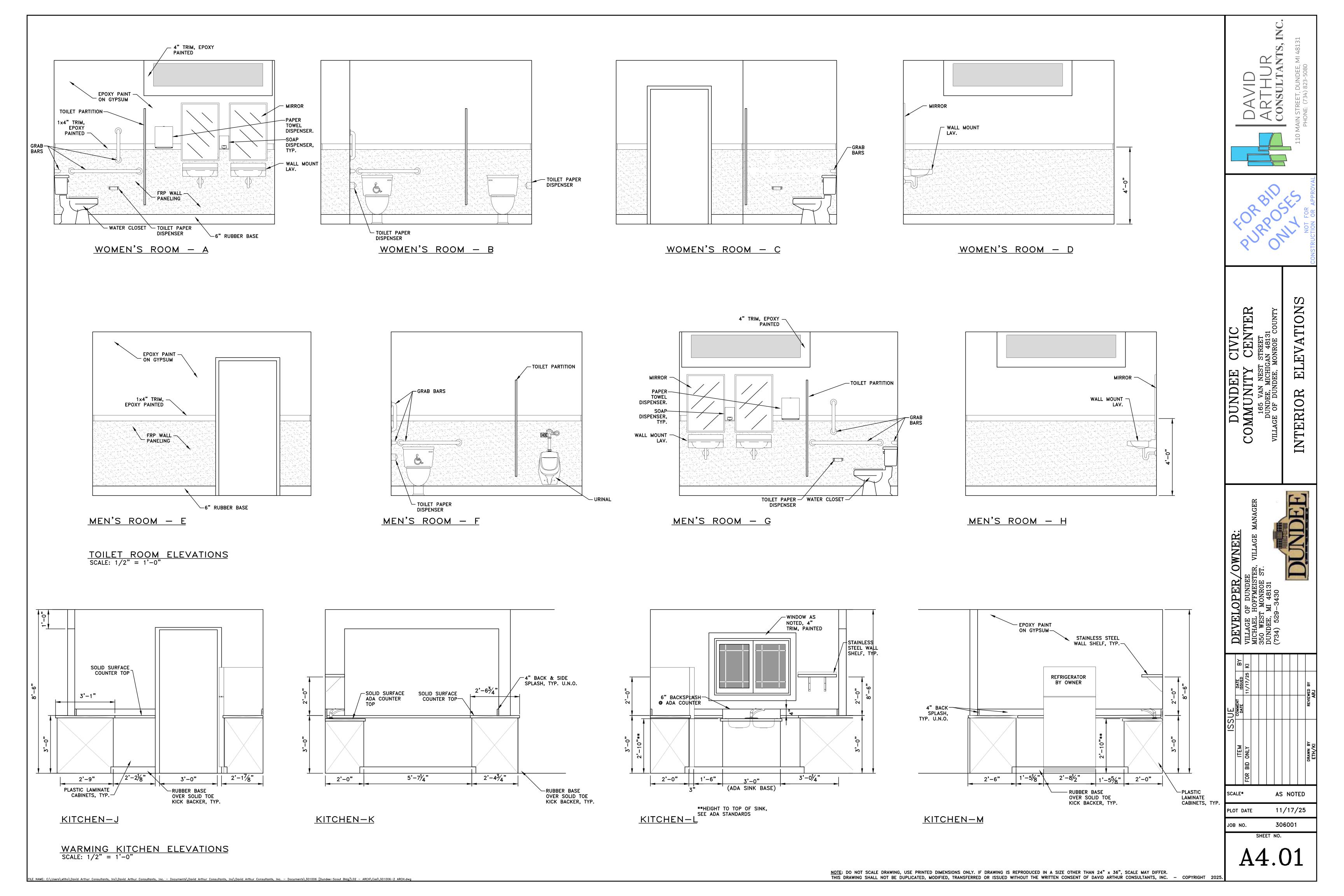
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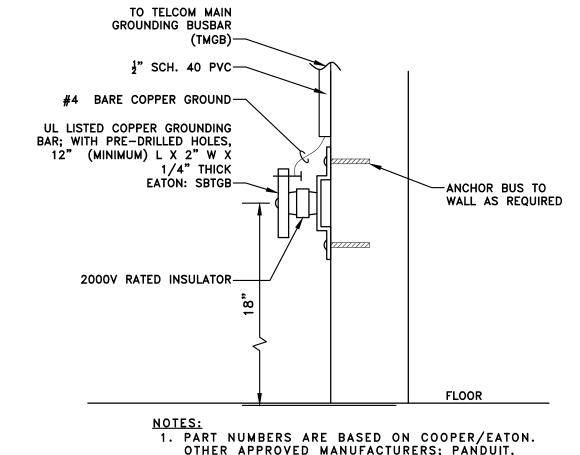
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DOOR SCHEDULE - Dundee Civic Community Center GENERAL Door Frame	11/17/2025 HARDWARE SETS SET #1	WINDOW SCHEDULE	
LOCATION NO SS SET AND	3 HINGES 1 RIM EXIT DEVICE W/ EXTERIOR LEVER 1 CLOSER	/ INDIVIDUAL INDIVIDUAL UNIT UNIT UNIT UNIT (APPROX.)* GLAZING TYPE 보는 및 보는	NTS,
PENING RATING RATING RAME WILL RAME WILL RATING RAME WILL RAM	Remarks 1 WEATHER SEAL 1 DOOR SWEEP 1 ADA THRESHOLD	A 5'-11 7/8" 4'-0" 0.28 TINTED, LOW-E SUN PICTURE H-10/11 J-10/11 S-1/2 WOOD WINDOW W/ VINYL ANDERSEN, P6040, PRAIRIE GRILLES	JUNDEE, 33-5080
To To To To To To To To	SET #2 3 HINGES	B 4'-11 1/4" 2'-11 1/4" 0.31 TINTED, LOW-E SUN GLIDING H-12 J-12 S-3 WOOD WINDOW W/ VINYL ANDERSEN, G53, PRAIRIE GRILLES	XT
101B 101 Exterior None 1 3/4" Insulated Steel 3'-0" 7'-0" D2 Hollow Metal, welded 2" 2" F3 1 H-2 J-2 101C 101 Exterior None 1 3/4" Insulated Steel 3' 0" 7' 0" D2 Hollow Metal, Welded 2" 2" F3 1 H-7 J-7 101D 101 105 None 1 3/4" Aluminum - Storefront 3' 0" 7' 0" D1 Aluminum - Storefront 2" 2" F4 2 H-9 J-9	1 RIM EXIT DEVICE W/ INTERIOR LEVER 1 CLOSER 1 WALL BUMPER	3'-11 1/4" 2'-11 1/4" 0.31 TINTED, LOW-E SUN GLIDING H-12 J-12 S-3 WOOD WINDOW W/ VINYL ANDERSEN, P43, PRAIRIE GRILLES	DAR CON CON HONE: (7
104 105 104 None 1 3/4" Wood 3' 0" 7' 0" D2 Hollow Metal, Welded 2" 2" F3 5 H-7 J-7 105 105 Exterior None 1 3/4" Aluminum - Storefront 6'-0" 7' 0" D4 Aluminum - Storefront 2" 2" F2 6 H-4 J-4 106 105 106 None 1 3/4" Wood 3' 0" 7' 0" D2 Hollow Metal, Welded 2" 2" F3 5 H-7 J-7	SET #3 3 HINGES	© 6'-0" 2'-0" 0.28 TINTED, LOW-E SUN PICTURE H-11 J-11 S-4 WOOD WINDOW W/ VINYL ANDERSEN, CUSTOM, P6020,	110 MA
107 101 107 None 1 3/4" Wood 3'-0" 7' 0" D2 Hollow Metal, welded 2" 2" F3 3 H-8 J-8 108 101 108 None 1 3/4" Wood 6'-0" 7'-0" D3 Hollow Metal, welded 2" 2" F2 4 H-8 J-8	1 LOCK SET — STORA 1 MOP PLATE 1 KICK PLATE	AGE EXTERIOR CLADDING FRIVACT GLASS, FRAIRIE GRIELES FIGURE 5'-0" 2'-8" 0.28 TINTED LOW-E SUN PICTURE H-11 J-11 S-4 WOOD WINDOW W/ VINYL ANDERSEN, CUSTOM, PRAIRIE	
109 101 109 None N/A N/A N/A N/A Hollow Metal, welded 2" 2" F3 N/A H-2 J-2 NOTES:	SET #4 6 HINGES 1 LOCK SET — STORA	EXTERIOR CLADDING GRILLES	
1. ALL DOOR HARDWARED TO BE ADA COMPLIANT 2. ALL DOOR HANDLES TO BE LEVER TYPE	2 MOP PLATE 2 KICK PLATE	* U-VALUE BASED ON TOTAL UNIT ** UNIT MEASUREMENTS MAY VARY SLIGHTLY. *** SEE THIS SHEET FOR DETAILS	810,45
3. ALL WOOD DOORS TO BE SOLID CORE4. ALL DOOR HARWARED FINISHES TO BE BRUSHED OR SATIN CHROME (26D OR 32D)5. SEE THIS SHEET FOR DETAILS	SET #5 3 HINGES PUSH/PULL HARDWAR	<u>STEEL LINTELS:</u> FOR OPENINGS UP TO 6' - 3"x3"x1/4"	(0800) 1 E
	1 CLÓSERS 2 KICK PLATES	FOR OPENINGS OVER 12' — SEE STRUCTURAL PLANS ALL STEEL LINTELS TO HAVE A MINIMUM OF 4" BEARING EACH SIDE	I NEW TON TON THE REAL PROPERTY OF THE REAL PROPERT
	SEL #6 6 HINGES 2 FLUSH BOLTS 1 DEAD LATCH/PADDI	WINDOW AS NOTED SPRAY FOAM INSULATION, TYP. TREATED WINDOW BUCK	CONSTR
	SET #6 6 HINGES 2 FLUSH BOLTS 1 DEAD LATCH/PADDL 1 CYLINDER 2 C-PULLS 2 DUMMY BARS	WINDOW AS NOTED SPRAY FOAM INSULATION, TYP. SILL STONE SILL STONE LP TRIM 1x4 TRIM, PAINTED SIDING AS NOTED SUMMOW AS NOTED SUMMOW AS NOTED SUMMOW AS NOTED 1x4 TRIM, PAINTED SPRAY FOAM INSULATION, TYP. SPRAY FOAM INSULATION	
	2 CLOSERS 2 DROP PLATES 2 DOOR SWEEPS 1 ADA THRESHOLD 1 WEATHER STRIP	TYVEK MOISTURE BARRIER ZIP SYSTEM INSULATED SHEATHING 3/4" RIGID INSULATION SHEATHING 3/4" HAT CHANNELS TYVEK MOISTURE BARRIER 5/8" GYPSUM CULTURED STONE AS NOTED ON ELEVATIONS EX. 8x8x16 BLOCK WALL ZIP SYSTEM INSULATED ZIP SYSTEM INSULATED SHEATHING 2x6 STUD WALL RAIN SCREEN 2x6 STUD WALL SIDING AS NOTED ON SIDING AS NOTED O	MO
	1 WEATHER STRIP	CULTURED STONE AS NOTED ON ELEVATIONS S—1 S—2 TYVEK MOISTURE BARRIER ZIP SYSTEM INSULATED SHEATHING SHEATHING S—3 S—4 TYVEK MOISTURE BARRIER ZIP SYSTEM INSULATED SHEATHING S—5 S—6 S—7 S—7 S—7 S—7 S—7 S—7 S—7	ER ONLY
3'-0" 6'-0"		SIDING AS NOTED ON ELEVATIONS SIDING AS NOTED ON ELEVATIONS ON ELEVATION	VIC EET BB131 OE CO IS
		CONT. FLASHING	CI CI STRI GAN 4 MONR
		SPRAY FOAM INSULATION, TYP. SPRAY FOAM INSULATION INSULATION, TYP. SPRAY FOAM INSULATION INSULA	EEE TANGER NEEE, OR EE, ED
		LP TRIM AND EXTENSION JAMB, PAINTED SEALANT DOOR AS NOTED LP TRIM AND EXTENSION JAMB, PAINTED HOLLOW METAL, WELDED DOOR AS NOTED DOOR AS NOTED LP TRIM AND EXTENSION JAMB, PAINTED HOLLOW METAL, WELDED DOOR AS NOTED DOOR AS NOTED DOOR AS NOTED	JND JND Se van MDEE, DUN CH.
		H-1 $H-2$ $H-3$ $H-4$	DU MM MM 16 DUN AGE O
DOOR ELEVATIONS SCALE: NONE	SIDING AS NOTED ON ELEVATIONS 75%" TYVEK MOISTURE BARRIER 2x6 STUD WALL	6¾" 6¾" 6¾" 6¾" 2x6 STUD WALL EX. 8x8x16 BLOCK WALL 5/8" GYPSUM 3/4" HAT CHANNELS 3/4" HAT CHANNELS	HII
SCALE: NONE 6'-4"	CONT. FLASHING 7/16" SHEATHING THEADER AS NOTED 2x NAILER, PAINTED	5/8" GYPSUM DOOR AS NOTED The Ader as noted The	
	LP TRIM—OVERHEAD DOOR LP JAMB TRIM—WEATHER SEAL	DOOR AS NOTED DOOR AS NOTED DOOR AS NOTED 1x EXTENSION JAMB, PAINTED	EH EH
	H-5	H-6 H-7 H-8 H-9	MANAG
			LAGE LAGE
			NN AIL
	1x4 IRIM, PAINTED 1x EXTENSION JAMB, PAINTED 3/4" RIGID INSULATION ALUMINUM FRAME 3/4" HAT CHANNELS HOLLOW M WELDED F	7///////// 5/4 HAI CHANNELS 5/8" GYPSUM 5/8" GYPSUM 5/8" GYPSUM 5/8" GYPSUM	VDEE STEELSTEELSTEELSTEELSTEELSTEELSTEELST
	DOOR AS NOTED SPRAY FOAM INSULATION, TYP. SEALANT TYVEK MOISTURE BARRIER DOOR AS N SPRAY INSULATION, TYVEK MOISTURE BARRIER SEA	T M M M T T T T T T T T T T T T T T T T	OPE OPF DUI MONF MI 481 MI 4830
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F1 F2 F3 F4 FRAME ELEVATIONS SCALE: NONE	J-1	J-2 J-3.1 J-3.2 J-4	VILL MICH 350 DUN (734
Project: DUNDEECIMC COMMUNITY CENTER DAC Job#: 301006 Date: 11/17/2025		AND THE PARTY OF	∑ B Z
INTERIOR FINISH SCHEDULE Room		The protector, 5/8" Gypsum 5/8" Gypsum 1x4 Trim, Painted 1x4 Trim,	DATE ISSUED 1/17/25 1/17/25 D BY
Number Room Name Floor Walls Base Ceiling Height Notes		5/8" GYPSUM EX. 8x8x16 BLOCK WALL TX FILLER, PAINTED 3/4" HAT CHANNELS DOOR AS NOTED DOOR AS NOTED TX FILLER, PAINTED 3/4" HAT CHANNELS	E PATE 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	•	HOLLOW METAL, WELDED FRAME TX FILLER, PAINTED 1x4 TRIM, PAINTED 5/8" GYPSUM DOOR AS NOTED	NSC
scot It It It It It It It		J-6 J-7 J-8 J-9	EM EY AV BY
VCT Poxy Pain		1x4 TRIM, PAINTED	
100 Patio O O O O O 8'-6" S'-6" S'-6" S'-6" D D D D D D D D D		1x EXTENSION JAMB, PAINTED 3/4" RIGID INSULATION PAINTED 3/4" HAT CHANNELS SPRAY FOAM INSULATION, TYP. SIDING AS NOTED 1x EXTENSION JAMB, PAINTED SPRAY FOAM INSULATION, TYP. EX. 8x8x16 BLOCK WALL 1x EXTENSION JAMB, PAINTED SPRAY FOAM INSULATION, TYP. 1x EXTENSION JAMB, PAINTED 3/4" RIGID INSULATION SPRAY FOAM INSULATION, TYP. BLOCK WALL 1x EXTENSION JAMB, PAINTED 3/4" RIGID INSULATION SPRAY FOAM INSULATION, TYP. BLOCK WALL	
104 Women's Toilet Room O O O O O O 9'-0" 105 Vestibule O O O O O 9'-0"		ON ELEVATIONS CONT. FLASHING ZIP SYSTEM INSULATED SHEATHING ZIP SYSTEM INSULATED SHEATHING ZIP SYSTEM INSULATED SHEATHING WINDOW BUCK WINDOW BUCK WINDOW BUCK WINDOW BUCK WINDOW BUCK WINDOW AS NOTED TREATED WINDOW BUCK WINDOW BUCK ON ELEVATIONS	SCALE* AS NOTED PLOT DATE 11/17/25
106 Men's toilet Room O O O O O 9'-0" 107 Mechanical O O O O 9'-0" 108 Storage O O O O 9'-0"		LP TRIM TREATED WINDOW BUCK SPRAY FOAM 1x4 TRIM, PAINTED TREATED WINDOW AS NOTED LP TRIM SIDING AS NOTED ON ELEVATIONS	JOB NO. 306001
109 Warming Kitchen O O O S'-6"		INSULATION, TYP. IN EXTENSION JAMB, PAINTED 1x EXTENSION JAMB, PAINTED	SHEET NO.
		H-12 J-10 J-11 J-12	A4.02
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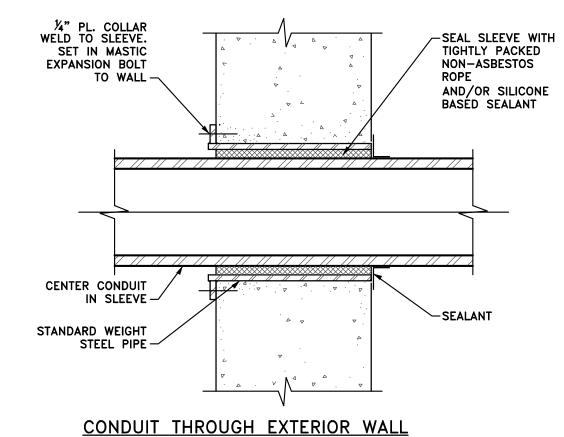
UILDING NAME: ROJECT:		E CIVIC CO DNSTRUCT		TY CENT	ER			LIENT: ROJECT	NO:		VILLAGE DV-0011	E OF DUNDI 19	EE	DATE:	6/18/2025
ANEL ID:	PP-1														
ANEL LOCATION:	107 MEC	CHANICAL	ROOM												
PANEL DESCRIPTION: FEEDER / CONDUIT SIZE:	240	PHASE 1 + 1 - # 6 G	3	/2"C	HZ 60	POLE 42	KAIC 22	MOUN SURF			NTRL 100%	GND 100%			
MAI N:	AMP 225	CONN MCB													
KT LOAD	I	LOAD (VA))			BRKR		BRKR				LOAD (VA)		LOAD	CKT
NO. DESCRIPTION		RECEP		COND.	POLE	E AMP	PH	AMP	POLE	COND		RECEP		DESCRIPTION	NO.
1 RECEP - 101 (N&W), EXTERIOR		1000		#12	1	20	Α	20	1	#12	600			FUR #2	2
3 RECEP - 101 (S)		800		#12	1	20	В	20	1	#12	1550			FUR #1	4
5 RECEP - 101 (E)		800		#12	1	20	Α	20	1	#12	1640			CU-2	6
7 RECEP - 109 (E), EXTERIOR		600		#12	1	20	В	50	2	#8	1920			CU-1	8
9 RECEP - 109 (E)		440		#12	1	20	Α	X			1920				10
11 REFRIGERATOR - 109		720		#12	1	20	В	15	1	#12	1109			ERV-1	12
13 MICROWAVE - 109		1500		#12	1	20	A	20	1					SPARE	14
15 RECEP - 109 (W), 108, ATTIC		1200 600		#12 #12	1	20	В	20	1					SPARE SPARE	16 18
17 RECEP - 107 (TTB) 19 RECEP - 109 (N,S,E)		1000		#12	1	20	A B	20	1					SPARE	20
21 RECEP - EXT. (W/N)		1000		#12	1	20	A	20	1	#12			72		22
RECEP - EXT. (W/S)		800		#12	1	20	В	20	1	#12			690		24
25 DRINKING FOUNTAIN		600		#12	1	20	A	20	1	#12			480		26
27 WATER HEATER			240		1	20	В	20	1	#12			462		28
29 RECEP - 104, 105, 106		1000		#12	1	20	Α	20	1	#12			50	LIGHTS - 100	30
ENTRY MONITORS		440		#12	1	20	В	20	1	#12	240		226	LIGHTS - 103,104,105,106,107,1	
space					1		Α		1					space	34
space					1		В		1					space	36
space					1		A		1					space	38
space space					1		В		1					space	40
					1.		A							space	42
SUBTOTALS (VA)		12500	240								8979		1980		
	LTG	RECEP	MECH						PH		LOAD	IMBALANC	E		
LARGEST LOAD (VA)			3840								(VA)		(%)		
CONNECTED LOAD (VA)	1980		9219						Α		11702		2.52		
DEMAND FACTOR	1.0		1.0						В		11997				
DEMAND LOAD (VA)	1980	11250	9219												
TOTAL CONNECTED LOAD TOTAL DEMAND LOAD		VA 23699 22449	AMPS 98.7 93.5				REMARKS NEC = (10 l		есер @	0 100%) + (Rema	aining Recep	o @ 50%)		
FEEDER SIZE			99.6												



OTHER APPROVED MANUFACTURERS; PANDUIT, LEGRAND, AND HUBBELL.

2. TWO-HOLE COMPRESSION LUGS AND JOINT COMPOUND SHALL BE USED FOR ALL TERMINATIONS.

GROUND BUS DETAILS - TELCOM



	1						
Symbol	Label	Manufacturer	Catalog Number	Description	Lumens Per Lamp	LLF	Wattage
	А	LITHONIA LIGHTING	2FSL4 48L LP835	6IN LDN, 3000K, 3000LM, WHITE, CRI80	4896	1.0	38.5
	A/EM	LITHONIA LIGHTING	2FSL4 48L LP835 EL14L	6IN LDN, 3000K, 3000LM, WHITE, CRI80, 90 MINUTE EMERGENCY BATTERY PACK,	4896	1.0	38.5
0	В	LITHONIA LIGHTING	LDN6 35/20 LO6WR	6IN LDN, 3500K, 2000LM, WHITE, CRI80	1732	1.0	0.6
0	в/ЕМ	LITHONIA LIGHTING	LDN6 35/20 LO6WR ELR	6IN LDN, 3500K, 2000LM, WHITE, CRI80 WITH 90 MINUTE EMERGENCY BATTERY PACK, MIN. 10W CONSTANT POWER	1732	1.0	0.6
O WP	С	LITHONIA LIGHTING	WF4 REG SWW5 90 CRI MWM6	4" RECESSED BAFFLE LED DOWNLIGHT	400	1.0	5.0
	E	LITHONIA LIGHTING	SBL4 3000LM 80CRI 35K	SQUARE-BASKET LED WRAPAROUND, SURFACE MOUNT,	3236	1.0	25.5
	F	LITHONIA LIGHTING	2GTL 30L A19 3500K	2'x4' LED RECESSED TROFFER, ACRYLIC LENS	3000	1.0	33.3
\longmapsto	Н	LITHONIA LIGHTING	EML17 RT 49LED 350MA 4K R4 GLF MVOLT QSME	MUNICH PENANT, EUROTIQUE FAMILY, PENDANT, RINGED BASE, WALL MOUNT BRACKET, ROTATE THROW TOWARD BUILDING, COLOR SELECTED BY OWNER	5000	1.0	55.6
+	J	LEVITON	49875	ONE-PIENCE GLAZED PORCELAIN LAMP HOLDER, OUTLET BOX MOUNT, WHITE, 9 WATT LED LAMP	800	1.0	9
\otimes	Х	LITHONIA LIGHTING	LQM S W 3 R 120/277 EL N M6	LED EXIT SIGN WITH RED FACE AND WHITE HOUSING W/ AUTOMATIC EMERGENCY LIGHT, 90 MINUTE MIN. BATTERY PACK			0.71
A	X1	LITHONIA LIGHTING	LHQM LED R HO M6	LED EXIT SIGN WITH RED FACE AND WHITE HOUSING W/ AUTOMATIC EMERGENCY LIGHT, 3W REMOTE CAPACITY, 90 MINUTE MIN. BATTERY PACK			4.3
D	RH	LITHONIA LIGHTING	ELA QWP	SINGLE REMOTE LED HEAD. INTERCONNECT TO ADJACENT EXIT SIGN. PROVIDE 90 MINUTE MIN. EMERGENCY OPERATION. COLOR: WHITE			1.5
EXTERIOR FIX	TURE S	CHEDULE					
	S-A	Lithonia Lighting	DSX1 LED P5 35K 80CRI T4M HS	D-Series Size 1 Area Luminaire P5 Performance Package 3500K CCT 80 CRI Type 4 Medium Houseside Shield	13846	1	138.1649
	S-B	Lithonia Lighting	DSXO LED P1 35K 80CRI T3M	D-Series Size O Area Luminaire P1 Performance Package 3500K CCT 80 CRI Type 3 Medium	4310	1	33.21
	S-C	Lithonia Lighting	DSXO LED P1 35K 80CRI TFTM	D—Series Size O Area Luminaire P1 Performance Package 3500K CCT 80 CRI Forward Throw	4404	1	33.21
0	S-D	Lithonia Lighting	WF6 REG SWW5	6" RECESSED BAFFLE LED DOWNLIGHT	459	1	5.83
0	S-E	Lithonia Lighting	DSXB LED 12C 700 30K ASY	D-SERIES BOLLARD WITH 12 3000K LEDS OPERATED AT 700mA AND ASYMMETRIC DISTRIBUTION	2173	1	31

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| Fixture Schedule

SYMBOL	TYPE	MANUFACTURER*	DESCRIPTION	
	EF	GREENHECK	EXHAUST FAN, SEE MECHANICAL DRAWING FOR SPECIFICATIONS, U.L. LISTED W/GFCI CONNECTION, PRE-WIRED OUTLET BOX. INTERCONNECT TO ROOM OCCUPANCY SENSOR.	120/1/60
FELEC.		-	NEW LIGHTING/POWER DISTRIBUTION PANEL. 120/208V., THREE PHASE, (GE, WESTINGHOUSE, ITE, SQUARE D, OR EQUAL). PROVIDE CIRCUIT BREAKERS PER PANEL SCHEDULE & WIRING FOR EACH PER NEC. LABEL ALL PANEL SCHEDULES ON DOOR. VERIFY WHERE UNDERGROUND POWER SERVICE IS COMING INTO THE BUILDING AND COORDINATE WITH UTILITY.	120/208/3/60
ф	_	LEVITON	DUPLEX CONVENIENCE OUTLET, 20 A., 2 POLE, WITH GROUND (NEMA 5-20R) COLOR WHITE OR AS SELECTED BY OWNER. PLASTIC COVER PLATE. M.H. AT 18" TO BOTTOM OF BOX UNLESS NOTED OTHERWISE.	120
\oint_{GFCI}	-	LEVITON	DUPLEX OUTLET AS SPEFICIED ABOVE W/ GROUND FAULT CIRCUIT INTERRUPTOR	120
48" AFF	-	-	DUPLEX OUTLET AS SPECIFIED ABOVE, MOUNTED AT A SPECIFIC HEIGHT ABOVE FINISH FLOOR (AFF) TO THE CENTERLINE OF ELECTRICAL BOX.	-
∯ _{GFCI}	_	LEVITON	GFCI DUPLEX OUTLET AS SPECIFIED ABOVE WITH WEATHER RESISTANT COVER WITH CORDS PLUGGED IN	-
#	-	LEVITON	FOUR-IN-ONE OUTLET, 20A 120V, 2 POLE, WITH GROUND. METAL BOX FOR RECESSED IN CONCRETE FLOORS, PLASTIC WEATHERPROOF COVER PLATE WITH REMOVABLE CAPS FOR EACH OUTLET. COLOR TO MATCH CARPETING, COORDINATE WITH OWNER. COLOR WHITE OR AS SELECTED BY OWNER.	
0	-	-	MOTOR EQUIPMENT ITEM (HVAC FAN, ETC.) — SIZE, PHASE, VOLTAGE, & FUNCTION AS SO NOTED. REFER ALSO TO ELECTRICAL NOTES AND PANEL SCHEDULES. PROVIDE DISCONNECT SWITCH OR GFI OUTLET AS REQUIRED BY CODE.	AS NOTED
\$	_	LEVITON	SINGLE-POLE QUIET SWITCH, 20 AMP, PLASTIC COVER PLATE, WHITE OR AS SELECTED BY OWNER, COLOR OF SWITCH AND COVER PLATE TO MATCH, U.N.O. 48" AFF MAX. TO CENTERLINE.	120
\$ ₃	-	LEVITON	THREE-WAY QUIET SWITCH, 20 AMP, PLASTIC COVER PLATE, WHITE OR AS SELECTED BY OWNER, COLOR OF SWITCH AND COVER PLATE TO MATCH, U.N.O. 48" AFF MAX. TO CENTERLINE.	120
\$ _D	-	LEVITON	PRESET SLIDE DIMMER, SINGLE POLE, 120 VOLT, 20 AMP, WHITE OR IVORY, PLASTIC COVER PLATE OR AS SELECTED BY OWNER.	120
Δ	-	LEVITON	NETWORK OUTLET. PROVIDE RECESSED BOX & 3/4" (U.N.O.) EMT OR PVC CONDUIT TO IT ROOM. EXACT TERMINATION POINT TO BE COORDINATE WIT OWNER. CONCEAL ALL CONDUITS IN WALLS IN FINISH SPACES, UNLESS DIRECTED DIFFERENTLY BY OWNER. BOXES TO BE 18" TO CENTERLINE U.N.O. ABOVE FINISH FLOOR. PROVIDE 1—CAT 6 CABLE FROM BOX TO TERMINATION POINT IN IT ROOM. COVER PLATE TO BE AS DIRECTED BY OWNER	-
	-	-	SAFETY SWITCH, WP INDICATES NEMA 3R, FUSED, U.N.O. VERIFY SIZE WITH ATTACHED LOAD AND MANUFACTURER SPECIFICATIONS	-
P	-	-	PHOTOCELL TO BE INTEGRAL TO THE FIXTURE WHERE NOTED AND TRIGGERED INDIVIDUALLY. EXTERNAL PHOTOCELL WHERE MULTIPLE FIXTURES TO BE CONNECTED. LOCATE REMOTE PHOTOCELL SENSOR IN THE GENERAL AREA OF THE FIXTURE, FACING NORTHEASTERLY IF POSSIBLE, ARROW INDICATES GENERAL DIRECTION PHOTOCELL SHOULD FACE. COORDINATE EXACT LOCATION OF REMOTE SENSOR WITH ARCHITECT PRIOR TO INSTALLATION.	-
M	_	-	MECHANICAL TIMER, TO BE SET IN INDOOR METAL OR PLASTIC BOX, EASILY ACCESSIBLE. TIMER, OFF AND MANUAL OVERRIDE OPTIONS. TO BE LOCATED IN THE MECHANICAL ROOM #107.	_

ELECTRICAL SPECIFICATION & GENERAL NOTES:

- 1. ALL WORK TO BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE AND MICHIGAN BUILDING CODE AS NOTED IN THE PROJECT DESIGN CRITERIA.
- 2. UTILITY, PLAN REVIEW, BUILDING PERMIT & OTHER RELATED FEES SHALL BE BY ELECTRICAL CONTRACTOR. CONTRACTOR TO COORDINATE & SCHEDULE INSPECTIONS WITH APPROPRIATE AGENCIES HAVING JURISDICTION & INSTALL ALL SYSTEMS IN CONFORMANCE WITH FEDERAL, STATE, & LOCAL CODES AND AGENCY REQUIREMENTS. CONTRACTOR TO CONTACT RELATED UTILITY COMPANIES (POWER, TELEPHONE, ETC.), COORDINATE ALL WORK WITH THEIRS, & VERIFY DIVISION OF RESPONSIBILITIES BEFORE COMMENCING ANY WORK.
- 3. INSTALL EQUIPMENT AND MATERIALS IN COMPLIANCE WITH THE CURRENT APPLICABLE VERSION OF THE:
 - NATIONAL ELECTRICAL CODE (NEC)
- 2. LIFE SAFETY CODE (NFPA-101) 3. STATE OF MICHIGAN DEPARTMENT OF CONSUMER AND INDUSTRY SERVICES, BUREAU OF CONSTRUCTION CODES AND FIRE SAFETY
 - 4. AUTHORITY HAVING JURISDICTION
- 5. MANUFACTURERS' INSTRUCTIONS
- ONLY PROVIDE EQUIPMENT AND MATERIALS FROM THE MANUFACTURERS SPECIFIED.
- 4. COORDINATE ALL INTERRUPTIONS OF ELECTRICAL SERVICE TO THE EXISTING FACILITY, A MINIMUM OF ONE WEEK IN ADVANCE, THROUGH THE OWNER'S ON-SITE REPRESENTATIVE.
- 5. COORDINATE TEMPERATURE, LOW VOLTAGE, FIRE ALARM/SECURITY SYSTEM, MOTORS, PUMPS, TELEPHONE & COMPUTER/DATA ELECTRICAL WORK WITH THAT OF OTHERS AND MANUFACTURER'S CRITERIA FOR COMPLETE OPERATIONAL & FUNCTIONAL SYSTEMS, & EXTENT OF WORK BY EACH
- 6. VERIFY MOUNTING HEIGHTS AND LOCATIONS OF ALL RECEPTACLES, BOXES, SWITCHES, DEVICES, ETC. WITH THE GOVERNING CODES AND WITH THE OWNER PRIOR TO INSTALLATION.
- 7. ELECTRICAL CONTRACTOR TO SUBMIT AND REVIEW MANUFACTURER'S CATALOG CUT SHEETS OF LIGHT FIXTURES, ETC. WITH OWNER & ARCHITECT PRIOR TO ORDERING. ADVISE OWNER IF ANY DIFFERENCE IN COST, QUANTITY, OR QUALITY THAN THAT SHOWN ON ELECTRICAL DRAWINGS. CONFIRM AND RESOLVE ANY DIFFERENCES WITH OWNER PRIOR TO ORDERING. OTHERWISE OWNER TO ASSUME SUCH TO BE PROVIDED AS SHOWN HEREIN AND AS PART OF HIS BID (WITH NO CHANGE/CHANGE ORDERS).
- 8. ALL WIRING SHALL BE COPPER (SOLID OR STRANDED) SIZED TO HANDLE THE EQUIPMENT CONNECTED AND PER LOCAL AND NATIONAL CODES. ALL WIRING TO BE ENCLOSED IN GALVANIZED STEEL CONDUIT OR MC TYPE. ANY EXTERIOR CONDUIT OR CONDUIT EXPOSED TO SUN. SHALL BE UV RESISTANT. WIRE AND CABLE SHALL BE SINGLE CONDUCTOR COPPER, WIRE SHALL BE TYPE THHN-2 OR XHHW-2 INSULATION RATED 90 DEGREES C, 600 VOLTS. WIRE NO.12 WAG AND LARGER SHALL BE STRANDED.
- 9. ELECTRICAL EQUIPMENT TO BE RECESSED, U.N.O.. PROVIDE PLASTIC LAMINATE PANEL DESIGNATION LABELS.
- 10. SEE MECHANICAL DRAWING FOR THERMOSTAT LOCATIONS.
- 11. CIRCUIT BREAKERS. PROVIDE ALSO WHERE "SPARES" NOTED ON PANEL SCHEDULES.
- 12. FINAL CONNECTIONS TO LIGHTING FIXTURES SHALL BE 1/2" MINIMUM FLEXIBLE METALLIC CONDUIT, MANUFACTURED WIRING SYSTEMS, OR GALVANIZED STEEL TYPE MC CABLE, ALL WITH STEEL FITTINGS. FINAL CONNECTIONS TO MOTORS AND EQUIPMENT SUBJECT TO VIBRATION OR REMOVAL FOR MAINTENANCE SHALL BE LIQUID TIGHT FLEXIBLE METALLIC CONDUIT WITH STEEL LIQUID TIGHT FITTINGS.
- 13. BATTERY BACK-UP EXIT AND EMERGENCY LIGHTS SHALL BE FED FROM THE SAME CIRCUIT AS ADJACENT ROOM LIGHTING AND BE CONNECTED AHEAD OF ANY LOCAL SWITCHES.
- 14. INSTALL A GFI RECEPTACLE WITHIN 25' OF ANY EXTERIOR MECHANICAL EQUIPMENT.
- 15. OTHER THAN EXISTING ELECTRICAL EQUIPMENT NOTED TO REMAIN, ALL OTHER ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE NEW AND LABELED BY UNDERWRITERS LABORATORIES (UL) ELECTRICAL TESTING LABORATORIES (ETL) OR MET LABORATORIES (MET) OR OTHER RECOGNIZED LABORATORY.
- 16. CONDUCTORS BELOW GRADE OR SUBJECT TO MOISTURE SHALL BE XHHW.
- 17. PROVIDE FACTORY SERIES COORDINATION FOR ALL CIRCUIT BREAKERS (INCLUDING ALL BRANCH BREAKERS). RELATIVE TO "UPSTREAM" BREAKERS, SO THAT ONLY THE BREAKER CLOSEST IN THE CIRCUIT TO THE LOAD TRIPS UPON AN OVERLOAD OF FAULT CONDITION.
- 18. POWER DISTRIBUTION EQUIPMENT SUPPLIER SHALL PROVIDE EQUIPMENT APPROPRIATELY RATED AND BRACED TO ACCOMMODATE THE AVAILABLE FAULT CURRENT AT THE UTILITY COMPANY TRANSFORMER SECONDARIES. THE SUPPLIER SHALL ACCORDINGLY PROVIDE ANY RELATED CALCULATIONS SO THAT THEIR EQUIPMENT IS PROPERLY COORDINATED FOR THE AVAILABLE FAULT CURRENT. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE SUPPLIER WITH COPIES OF THE ELECTRICAL DOCUMENTS AS REQUIRED SO THAT PROPERLY RATED/BRACED EQUIPMENT IS PROVIDED UNDER THE BASE BID.
- 19. ALL WORKING CLEARANCES ARE TO BE PROVIDED, AND MAINTAINED WHERE WORKING WITH EXISTING CONDITIONS, AT ALL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH N.E.C. AND GOVERNING CODES. A MINIMUM OF 3'-0" CLEARANCE TO BE PROVIDED AT ALL ELECTRICAL PANELS.
- 20. THE PLANS SHOWN ARE DIAGRAMMATIC ONLY AND DO NOT INTEND TO SHOW EVERY DETAIL OF THE ELECTRICAL DESIGN. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENSURING COMPLIANCE WITH ALL N.E.C. REQUIREMENTS. THIS INCLUDES NOT ONLY EQUIPMENT SHOWN ON THE PLANS, BUT ALSO EQUIPMENT AND DEVICES SHOWN IN THE RISER DIAGRAM AND ANY OTHER EQUIPMENT NECESSARY PER MANUFACTURERS REQUIREMENTS OR AS NEEDED FOR A COMPLETE OPERATIONAL SYSTEM.
- 21. COORDINATE ALL EXTERIOR WORK WITH AFFECTED UTILITIES AND THE OWNER. PROVIDE THE EXCAVATION, BACKFILL, COMPACTION AND TESTING NECESSARY TO INSTALL THE UNDERGROUND RACEWAYS SHOWN ON THE PLANS AS REQUIRED. REPAIR ALL LAWNS, LANDSCAPE, PLANTINGS AND OTHER EXTERIOR FINISHES TO MATCH THE ADJACENT AREAS AT THE TIME OF COMPLETION OF THE PROJECT. BACKFILL AND COMPACT TRENCHES TO GRADE FOR FINAL GRADING/FINISH BY OTHER TRADES.
- 22. LOW VOLTAGE CONTROL WIRING FOR MECHANICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
- 23. PROVIDE ALL TEMPORARY LIGHTING REQUIRED THROUGHOUT THE PROJECT. REMOVE ANY TEMPORARY LIGHTING ONCE PERMANENT FIXTURES ARE OPERATIONAL. MAINTAIN LAMPS IN ALL FIXTURES, TEMPORARY AND PERMANENT, THROUGHOUT THE PROJECT.
- 24. ELECTRICAL CONTRACTOR TO RUN POWER TO ALL OVERHEAD DOOR OPENERS AND DOOR OPERATORS, ALL PROPOSED EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS CONNECTION REQUIREMENTS.
- 25. FOR EACH PIECE OF EQUIPMENT, IF NO COLOR CODING SYSTEM EXISTS FOR INDICATED SYSTEM FUNCTION AND VOLTAGE, COLOR CODE CIRCUITS AS FOLLOWS:
- THREE PHASE POWER 208/120 VOLTS:
- PHASE X(A): BLACK PHASE Y(B): RED
- PHASE Z(C): BLUE
- NEUTRAL: WHITE
- GROUND: GREEN PROVIDE A NAMETAG ON EACH IDENTIFYING THE PANEL AND CIRCUIT NUMBER FEEDING THE DEVICE. NAMETAGS SHALL CONSIST OF BLACK TEXT PERMANENTLY LAMINATED TO ADHESIVE BACKED CLEAR NYLON OR MYLAR TAPE. MARK JUNCTION BOX COVERS USING A 'SHARPIE' TYPE

PERMANENT MARKER WITH THE PANEL AND BREAKER NUMBERS OF THE CIRCUITS.



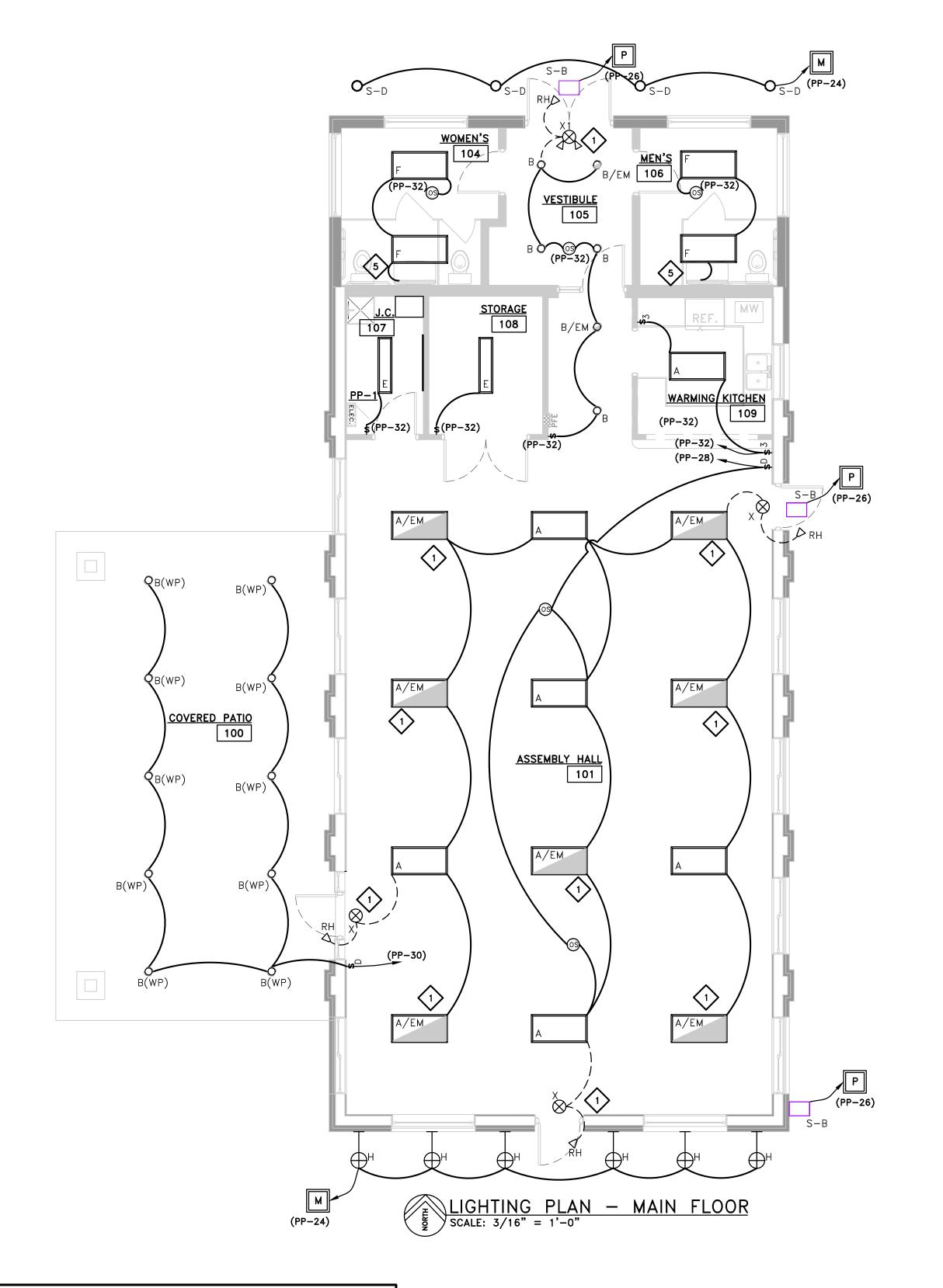
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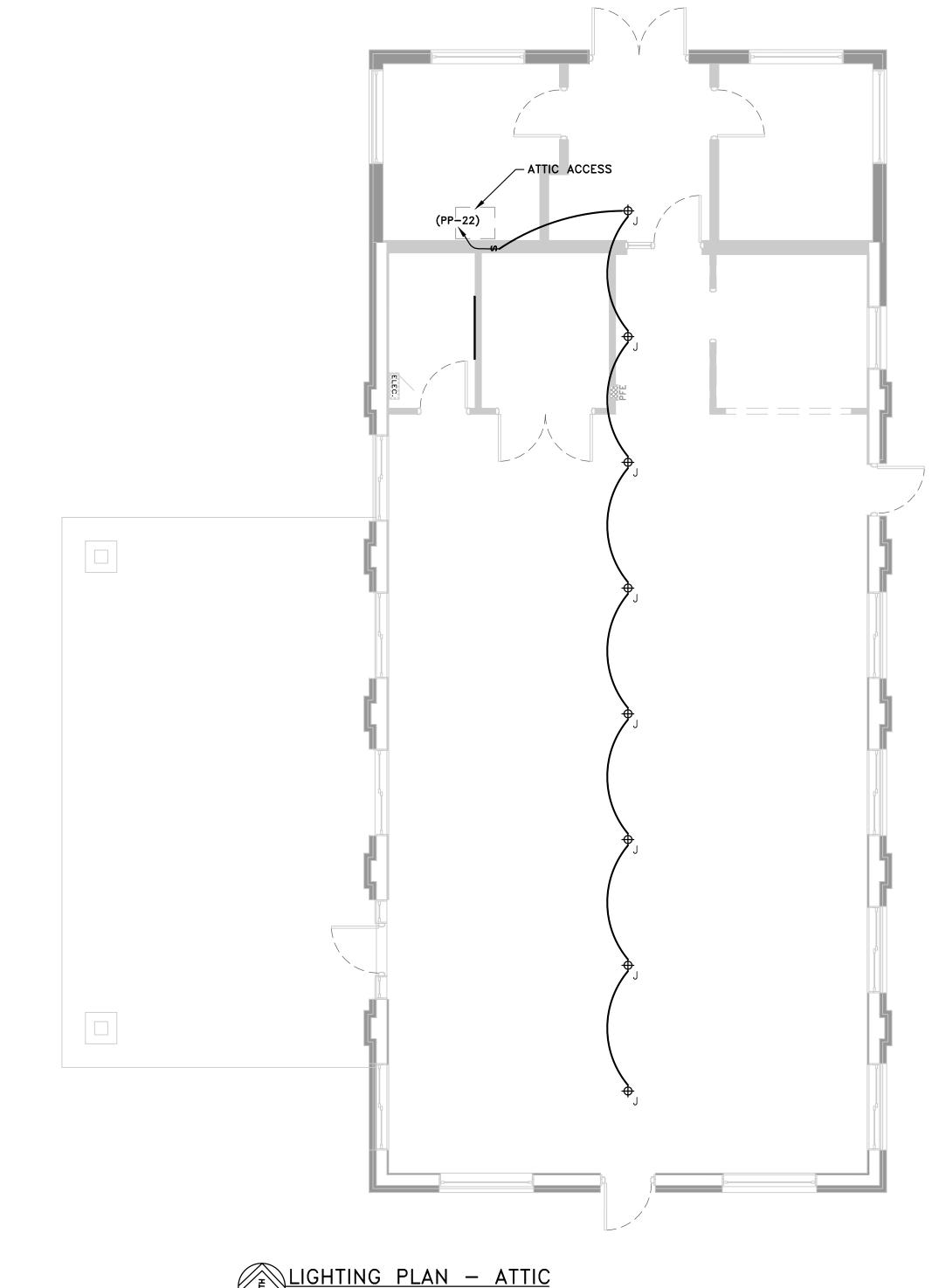
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AS NOTED 11/17/25 PLOT DATE

306001 SHEET NO.

NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER. THIS DRAWING SHALL NOT BE DUPLICATED, MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2029



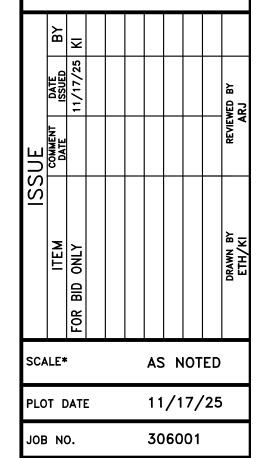


GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2017 VERSION OF THE NEC, AND WITH ALL INSTRUCTIONS PROVIDED BY THE AHJ.
- THE EC SHALL OBTAIN ALL PERMITS AND CERTIFICATIONS OF INSPECTION AS REQUIRED FOR THE BENEFICIAL USE OF THE BUILDING BY THE OWNER.
- PROVIDE DEDICATED (NON-SHARED) NEUTRAL CONDUCTORS FOR ALL RECEPTACLE CIRCUITS.
- 4. IN GENERAL, ALL RECEPTACLES SHALL BE MOUNTED AT 18" TO CENTERLINE AFF, UNLESS NOTED OTHERWISE. COORDINATE THE EXACT MOUNTING HEIGHTS OF RECEPTACLES OVER COUNTER TOPS WITH THE ARCHITECTURAL TRADES.

REFERENCED NOTES:

- 1. CONNECT EMERGENCY FIXTURES TO THE HOT (NON-SWITCHED) SIDE OF THE LIGHTING CIRCUIT. TYPICAL ALL EM TYPE FIXTURES.
- 2. PROVIDE MECHANICAL TIMERS 3, INSTALL PER MANUFACTURERS REQUIREMENTS. HEIGHT TO BE 42" O.C. TO CENTERLINE
- 3. PROVIDE 120VAC SERVICE TO OH DOOR MOTOR OPERATOR. MOTOR OPERATOR BY OTHERS. FIELD VERIFY EXACT REQUIREMENTS AND CONNECTION POINTS IN THE FIELD. CIRCUIT AS NOTED.
- 4. SEE GROUND BAR DETAIL, SHEET E4.00.
- 5. FRACT HP EX FAN, BY MECH TRADES. INTERCONNECT TO ROOM OCCUPANCY SENSOR
- 6. PROVIDE POWER TO TANKLESS WATER HEATER, CIRCUIT TO #27. COORDINATE EXACT CONNECTION WITH MANUFACTURER REQUIREMENTS.
- 7. PROVIDE NETWORK AND RECEPTACLE @ 80" AFF FOR WINDOW MONITOR.
- 8. TELEPHONE AND NETWORK TERMINATION BOARD, 4'x4'x3/4"

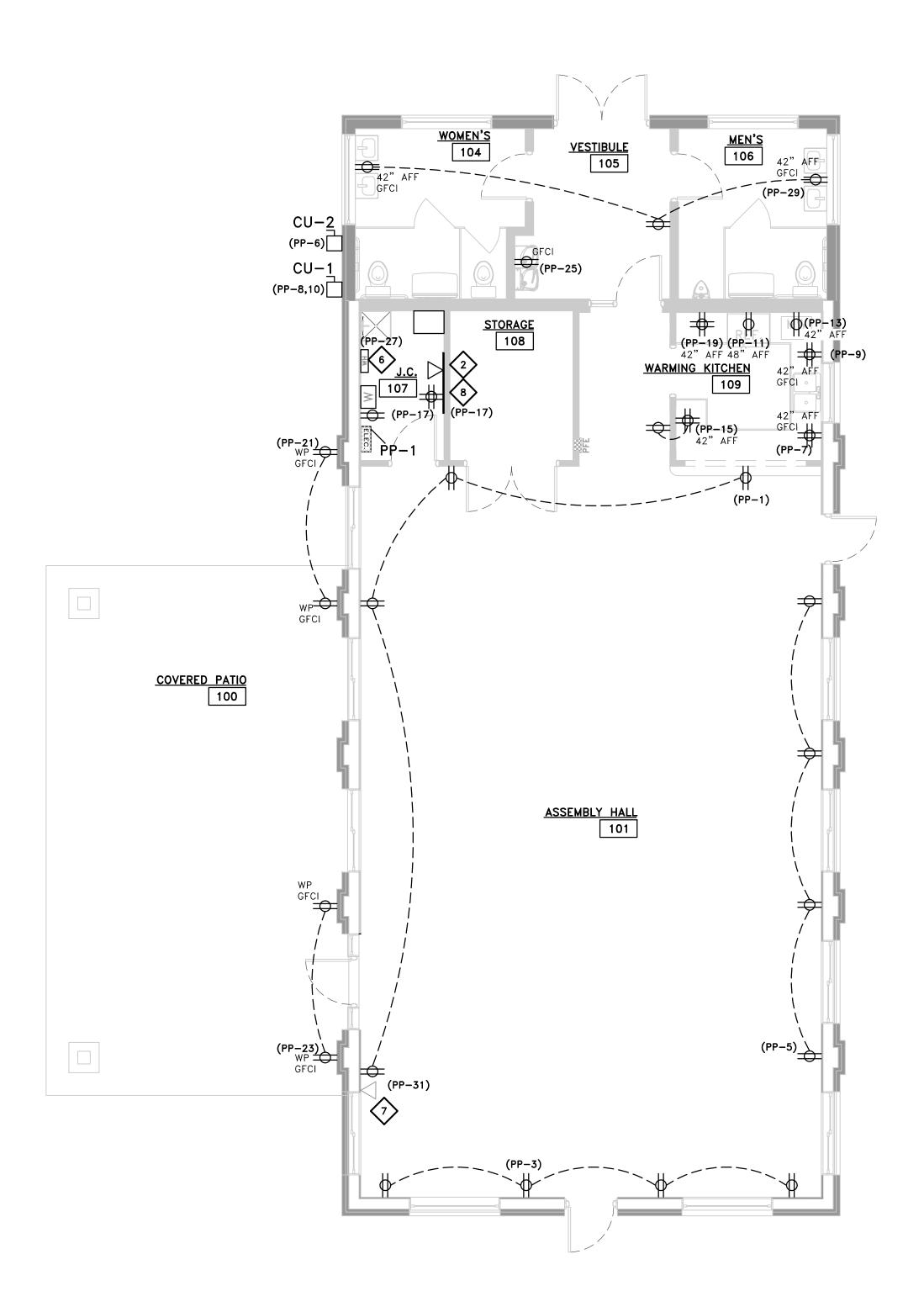


LIGHTING

DUNDEE

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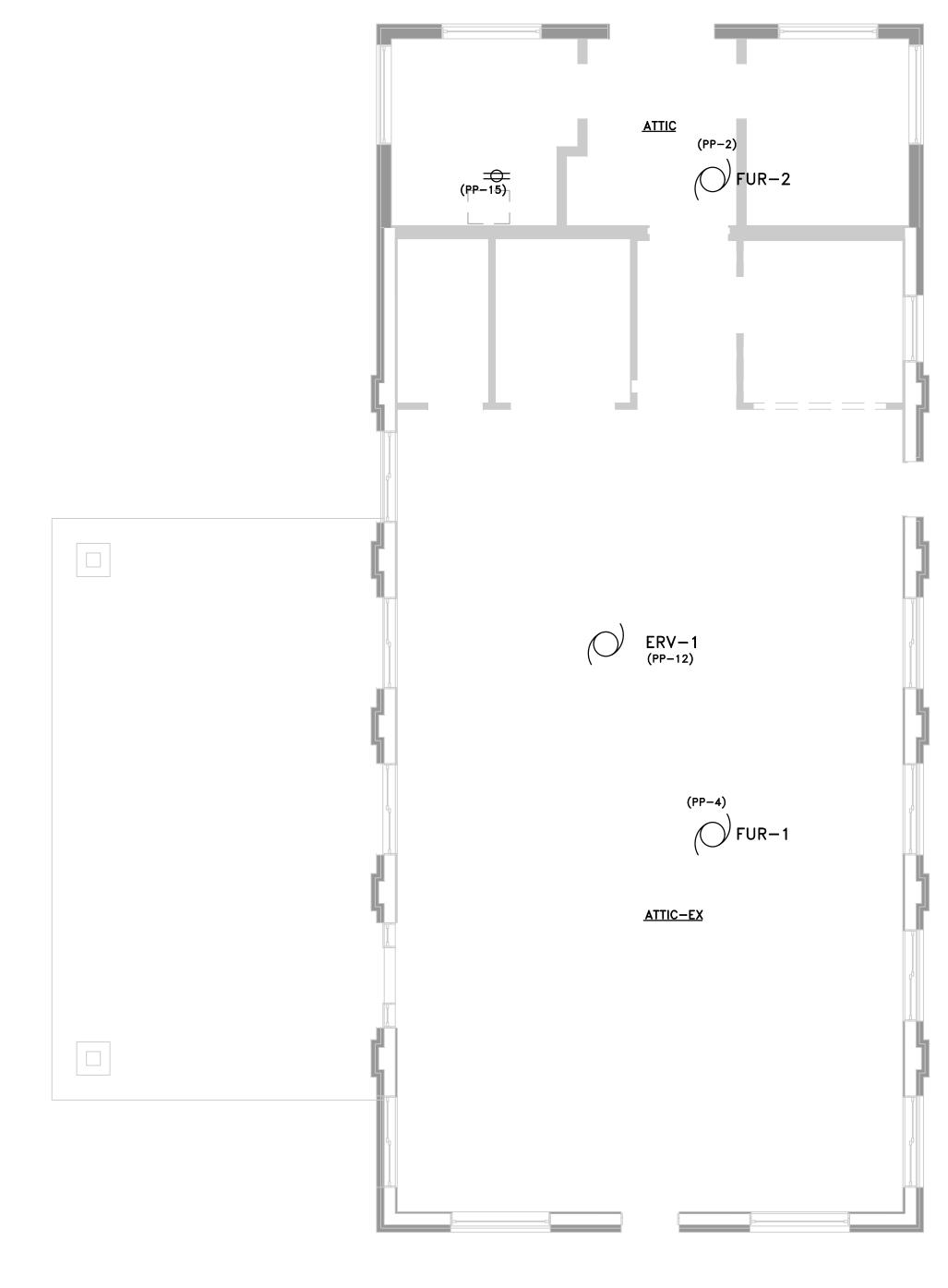


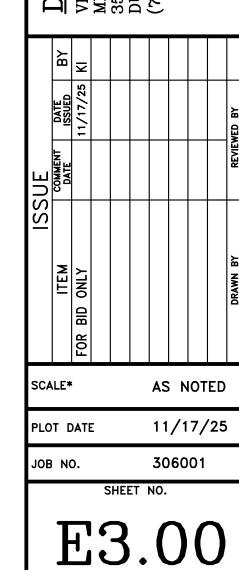
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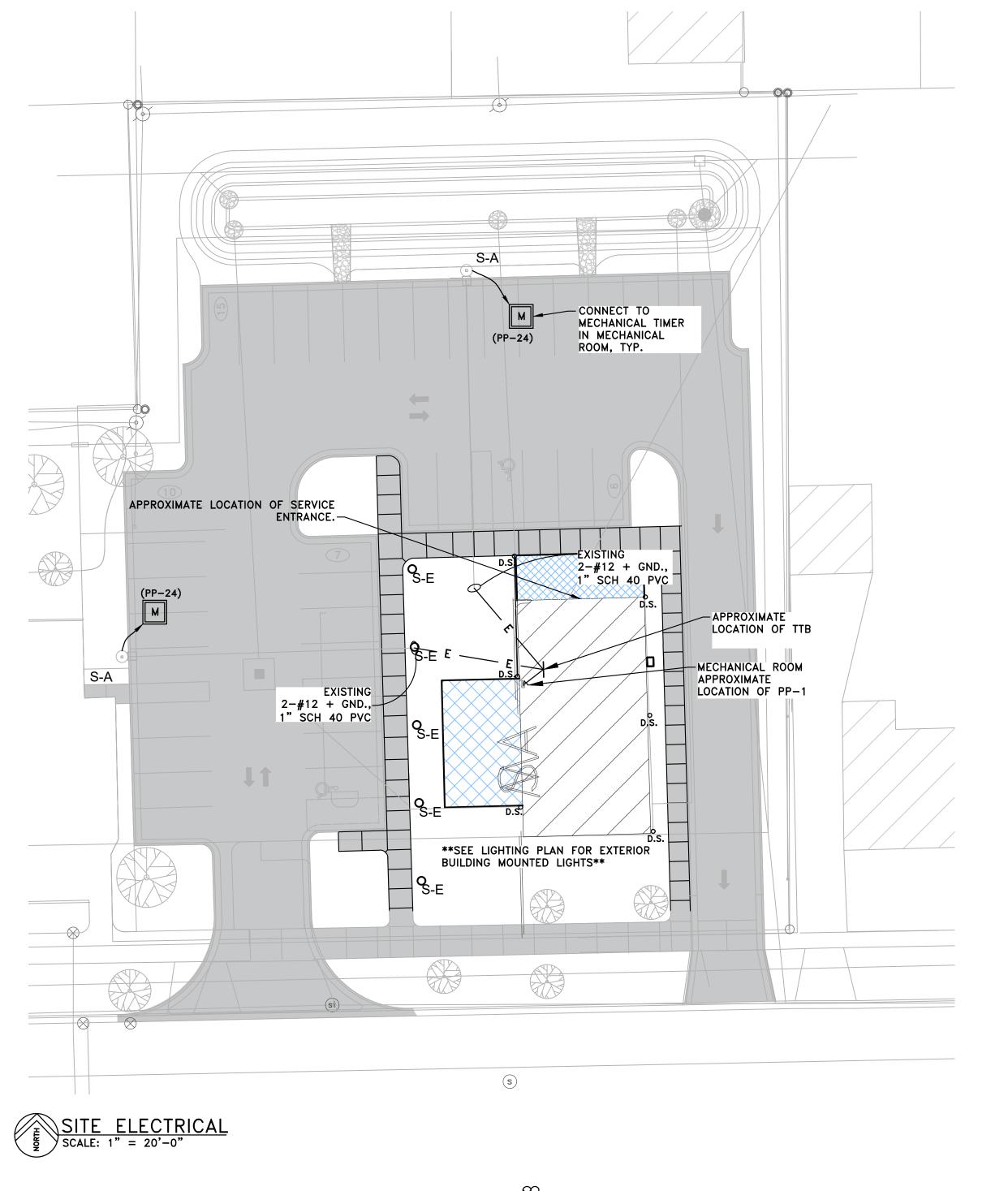
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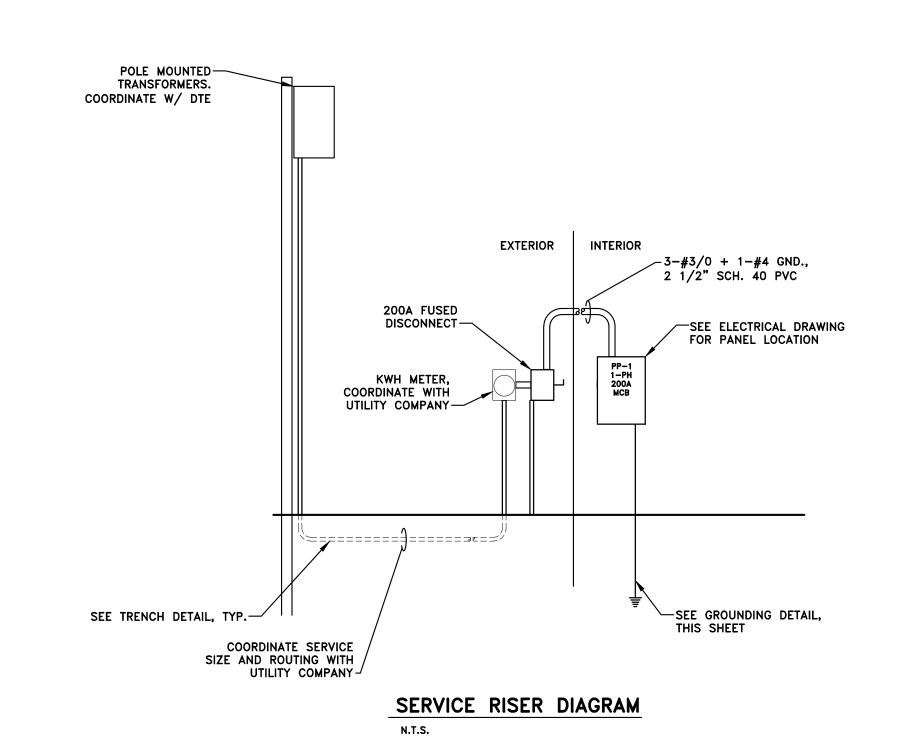


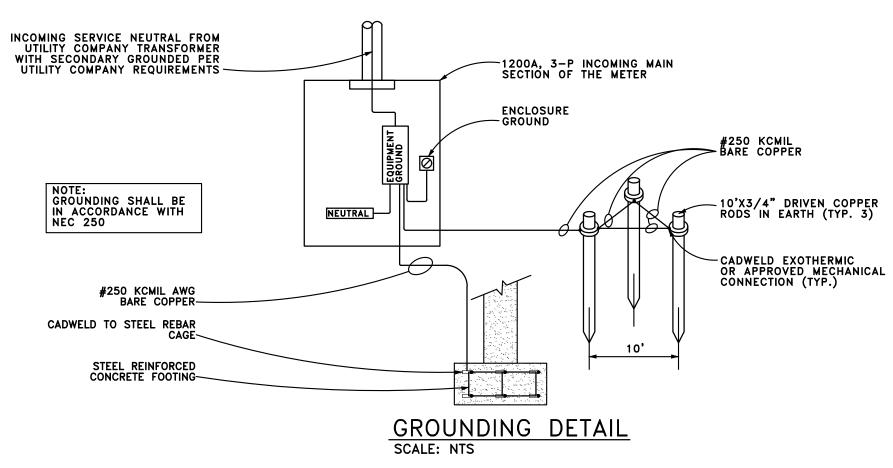
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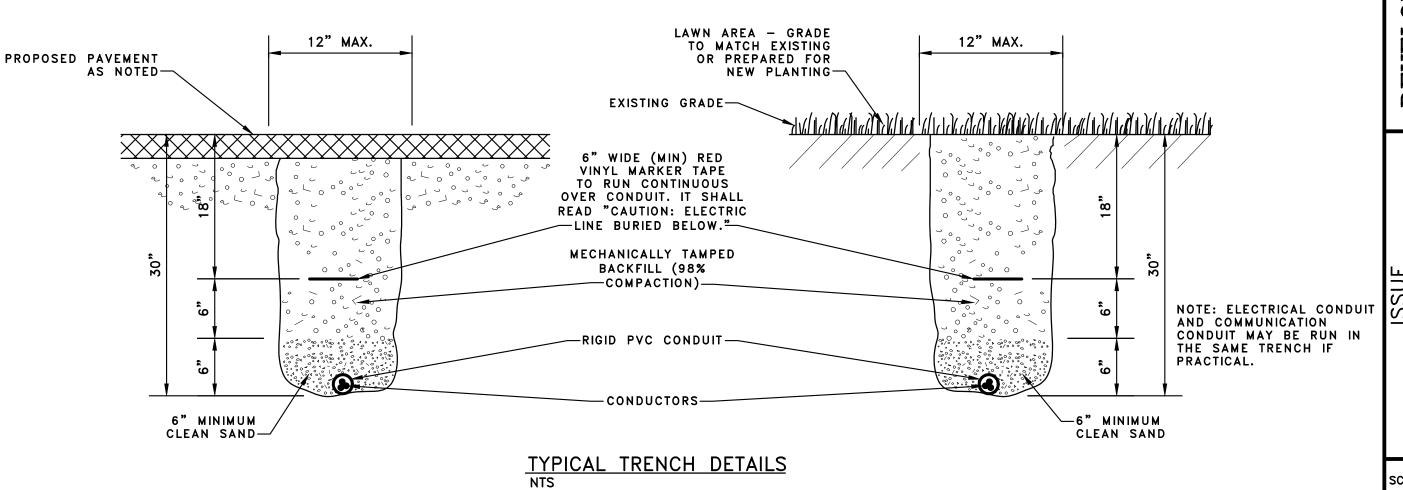


Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	S-A	2	Lithonia Lighting	DSX1 LED P5 35K 80CRI T4M HS	D-Series Size 1 Area Luminaire P5 Performance Package 3500K CCT 80 CRI Type 4 Medium Houseside Shield	1	13846	1	138.1649
0	S-E	2	Lithonia Lighting	DSXB LED 12C 700 30K ASY	D-SERIES BOLLARD WITH 12 3000K LEDS OPERATED AT 700mA AND ASYMMETRIC DISTRIBUTION	1	2173	1	31





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THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

Know what's **below. Call** before you dig.

E4.00 NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER.

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PLOT DATE

DET DUNDEE COMMUNITY ELECTRIC

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DEVELOPER/OWNER:
VILLAGE OF DUNDEE
MICHAEL HOFFMEISTER, VILLAGE MA
350 WEST MONROE ST.
DUNDEE, MI 48131
(734) 529-3430

AS NOTED

11/17/25

306001

SHEET NO.

MECHANICAL H.V.A.C. GENERAL AND SPECIFICATION NOTES:

1. ALL WORK TO BE IN CONFORMANCE WITH ALL CODES NOTED IN THE PROJECT DESIGN CRITERIA.

2. REGISTERS, GRILLES, & DIFFUSERS SHALL BE BY TITUS OR APPROVED ALTERNATE. ALL SIZES & CFM RATINGS SHALL BE AS NOTED ON PLAN. STEEL FRAME FINISH SHALL BE PREFINISHED WHITE COLOR.

3. ALL MAIN DUCTS ARE DESIGNED AT 0.10 FRICTION AND 900-1200 FPM VELOCITY MAXIMUM. TURNING VANES (DUAL BLADE TYPE) SHALL BE PROVIDED ON ALL 90° ELBOW FITTINGS OR SHALL BE PROVIDED WITH RADIUSED CORNERS. BRANCH DUCTS ARE DESIGNED AT 0.10 FRICTION AND 500-850 FPM MAXIMUM. PROVIDE MANUAL (BLADE TYPE) BALANCING DAMPER, WHICH CAN BE LOCKED IN ANY POSITION, AT ALL BRANCH TAKE-OFFS. SUPPLY AIR BRANCH TAKE-OFFS SHALL BE SCOOP & DAMPER TYPE ELBOWS. ALL DIRECTION CHANGES SHALL BE MADE BY ROUNDED HEELS/TRANSITIONS. ALL BRANCH DROPS ARE TO HAVE FLEXIBLE/CANVAS CONNECTOR. SUPPLY & RETURN AIR ROUND BRANCH DUCTS TO BE SHEET METAL.

4. FLEXIBLE DUCT CONNECTIONS MAY BE USED PROVIDED THEY DO NOT EXCEED LENGTHS PERMITTED BY THE MICHIGAN MECHANICAL CODE. ALL DUCT WORK SHALL BE 26 GAGE GALVANIZED STEEL (NO. 1 PRIME FINISH) PER SMACNA DUCT CONSTRUCTION STANDARDS & ASHRAE GUIDE.

5. ALL DUCT JOINTS & SEAMS (LONGITUDINAL & TRANSVERSE) ARE TO BE SEALED WITH CLEAR SILICONE DUCT SEALANT (3M OR UNITED) FOR AIRTIGHT SEAL.

6. NET FREE AREA DUCT DESIGN DIMENSIONS ARE SHOWN ON DRAWINGS.

7. THERMOSTAT TO BE PROGRAMMABLE (5-2) DIGITAL WALL MOUNTED AND SHALL HAVE STANDARD 'COOL-OFF-HEAT' SUB-BASE SWITCHES WITH 'FAN ON' OR 'AUTOMATIC' OPERATION FUNCTIONS. THERMOSTATS TO BE MOUNTED AT 4'-0" AFF. PER ACCESSIBLITY CODES.

8. MECHANICAL CONTRACTOR TO OBTAIN REQUIRED PERMITS & INSPECTIONS WITH LOCAL UTILITY & INSPECTION AGENCIES & PAY ALL APPLICABLE PLAN REVIEW/PERMIT FEES. COORDINATE WORK WITH AND DETERMINE/VERIFY DIVISION OF RESPONSIBILITIES/REQUIREMENTS WITH UTILITY, PLUMBING OR ELECTRICAL CONTRACTOR, OR OWNER BEFORE COMMENCING ANY WORK.

9. MECHANICAL VENTILATION DESIGN REQUIREMENTS PER CURRENT EDITION OF THE MICHIGAN MECHANICAL CODE TABLE 403.3.1.1

10. AIR BALANCE TESTING & SETTING OF VOLUME DAMPERS TO DESIGN CFM'S REQUIRED WITHIN BUILDING. CONTRACTOR TO SUBMIT TEST REPORT TO THE OWNER & ARCHITECT/ENGINEER.

11. DESIGN OUTDOOR TEMPERATURES SHALL BE 86° F (DRY BULB) IN SUMMER AND 0° F IN WINTER. INDOOR DESIGN TEMPERATURES SHALL BE 78° F IN SUMMER AND 72° F IN WINTER. HEATING DEGREE DAYS (65) FOR MONROE COUNTY IS 5997.

12. THESE HVAC PLANS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO SHOW EVERY DETAIL OF CONSTRUCTION OR LOCATION OF PIPING, DUCTWORK, OR EQUIPMENT. WHERE BUILDING CONSTRUCTION MAKES IT ADVISABLE OR NECESSARY TO CHANGE LOCATION OF PIPING, DUCTWORK, EQUIPMENT, ETC WITHOUT INCREASING THE COST OF THE WORK, THE CONTRACTOR SHALL PERFORM SUCH WORK WITH THE CONSENT OF THE ENGINEER.

13. CUTTING AND PATCHING IN NEW CONSTRUCTION DONE BY THE CONTRACTOR BECAUSE OF INITIAL FAILURE TO PROVIDE FOR ACESS OPENINGS AND SPACES SHALL BE DONE AT NO COST TO THE OWNER.

14. ALL MITERED ELBOWS ON SUPPLY AND RETURN DUCTWORK TO HAVE DOUBLE THICKNESS TURNING VANES.

15. ALL DUCTS TO BE STANDARD ROUND OR RECTANGULAR SHEET METAL WHERE CONCEALED. ALL EXPOSED DUCTS TO BE SPIRAL, FACTORY

16. M.U. AIR FOR SYSTEMS #1 & #2 TO BE SUPPLIED FROM ERV #1 & ERV #2 RESPECTIVELY. M.U. AIR FOR SYSTEM #3 SHALL TO BE ADDED TO THE SYSTEM THROUGH A DUCT TO THE EXTERIOR WALL AS NOTED. PROVIDE MOTORIZED DAMPER ON M.U. AIR DUCT INTERCONNECTED TO HVAC UNIT TO AUTOMATICALLY SHUT WHEN SYSTEM NOT IN USE.

17. EXHAUST FAN DUCTS SHALL BE SHEET METAL WITH BACK DRAFT DAMPERS & CONNECTED TO WALL OR ROOF CAPS AS NOTED. COORDINATE SLEEVE AND ROOF BOOT WITH MANUFACTURER RECOMMENDATIONS AND CONSTRUCTION SITUATION.

18. ALL DUCTS TO BE INSULATED ACCORDING TO THE FOLLOWING. DUCTS LOCATED IN AN UNHEATED ATTIC SHALL HAVE A MINIMUM R-8, DUCTS LOCATED OUTSIDE THE BUILDING SHALL HAVE A MINIMUM R-12. ALL DUCTS TOTALLY WITHIN CONDITIONED SPACE TO HAVE A MINIMUM R-3. ANY OTHER DUCTS SHALL BE COORDINATED WITH THE ARCHITECT/ENGINEER.

19. ALL LOW VOLTAGE & CONTROL WIRING FOR ALL MECHANICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL

20. ALL SUPPLY DUCTS TO HAVE ACCESSIBLE BALANCING DAMPER.

21. GAS LINE SHALL BE THREADED PIPE, SCHEDULE 40 BLACK STEEL, PER ASTM A-53 & USED WHERE EXPOSED, ACCESSIBLE, & ABLE TO BE USED PER PLUMBING CODE & NATURAL GAS PIPING REGULATIONS. THREADED FITTINGS SHALL BE 300 LB. WOG PER ASTM A-197M.1. PROVIDE BRANCH LINE ISOLATION VALVES, DIRT LEGS, AND UNIONS TO EACH PIECE OF GAS EQUIPMENT.CORRUGATED STAINLESS STEEL TUBING (CSST)(TYPE 304 ALLOY, ASTM A240) WITH POLYETHYLENE JACKET (ASTM E84) WITH MECHANICAL BRASS FITTINGS SHALL BE PERMITTED WHERE CODE ALLOWS, WITH NO CONCEALED FITTINGS AND SHALL BE RUN CONTINUOUS WHERE POSSIBLE ELIMINATING AS MANY FITTINGS AS POSSIBLE.

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S.A./R.A. REGISTER/DIFFUSER SCHEDULE ①

LABEL	TYPE	FINISH	TITUS MODEL No.*
SA-1	12"x24" LAY-IN CEILING DIFFUSER, ROUND NECK	WHITE	TDC SERIES
SA-2	LINEAR SLOT DIFFUSER	WHITE	ML-39 ②
SA-3	ROUND CEILING SUPPLY	WHITE	TMR SERIES
RA-1	PERFORATED CEILING RETURN, FLUSH FACE, LAY-IN, STEEL	WHITE	PAR SERIES
RA-2	ROUND CEILING RETURN	WHITE	TMR SERIES
RA-3	WALL GRILLE-0° DEFLECTION®	WHITE	TITUS 350-ZRL

*OR EQUIVALENT BY LIMA, TUTTLE & BAILEY ① THIS SCHEDULE IS FOR BIDDING PURPOSES. IT IS THE CONTRACTORS RESPONSIBILITY FOR SUBMITTING A BALANCED SYSTEM AND TO UTILIZE DIFFUSERS ACCORDINGLY

② NUMBER OF SLOTS AS NOTED ON PLAN

3 SIZE AND MOUNTING HEIGHT AS NOTED ON PLAN

4 NECK SIZE AS NOTED ON PLAN

EF-1	EF-2
GREENHECK	GREENHECK
SP-B150	SP-B150
150	150
CEILING	CEILING
#104 WOMEN'S T/R	#106 MEN'S T/R
0.125	0.125
128/1.7	128/1.7
120/1/60	120/1/60
WALL	WALL
A	A
	GREENHECK SP-B150 150 CEILING #104 WOMEN'S T/R 0.125 128/1.7 120/1/60 WALL

<u>MECHANICAL (H.V.A.</u>

A. INTERCONNECT WITH ROOM LIGHTS

1. ALL EXHAUST FANS TO BE DIRECT DRIVE WITH SOLID STATE SPEED CONTROL, U.N.O. 2. ALL CEILING, IN-LINE AND CABINET FAN TO HAVE INTEGRAL

BACKDRAFT DAMPER 3. ALL EXTERIOR TERMINATION POINTS TO HAVE BIRD SCREEN

GE	GENERAL MECHANICAL LEGEND					
SYMBOL	DESCRIPTION					
	SUPPLY DUCTWORK					
	RETURN DUCTWORK					
	EXHAUST DUCTS					
⊠⊗−	SUPPLY AIR DIFFUSER CEILING					
	RETURN OR EXHAUST AIR REGISTER CEILING					
	EXHAUST FAN					
	MANUAL VOLUME DAMPER (M.V.D.)					
S.D.	SMOKE DETECTOR					
Ī	SPACE THERMOSTAT MOUNTING HEIGHT PER ADA (48" AFF)					
-	FLEXIBLE DUCTWORK					
—	FIRE DAMPER					

CAL (H.V.A.C.) SCHEDULE,	REGISTERS	/GRILLES/	<u> DIFFUSERS</u>	SCHEDULE,	&	LEGEND:	
DES	SCRIPTION		•	•				MARK	

FUR-1	NATURAL GAS-FIRED HORIZONTAL, FORCED-AIR, 120,000 BTUH HEATING CAPACITY, 90% AFUE OR HIGHER EFFICIENCY, 2000 CFM SUPPLY AIR	CU-
	CAPACITY. COMBUSTION AIR INTAKE & EXHAUST PIPING TO & FROM THE ROOF, CORK/RUBBER VIBRATION ISOLATION PADS, 3/4" PVC CONDENSATE	
	DRAIN PIPE OUTLETTING TO NEAREST DRAIN. HIGH VELOCITY FILTER. CASED COIL ("A" OR SLANT) HORIZONTAL. 60,000 NOMINAL COOLING CAPACITY, PACKED STOCK. PROVIDE CONTROL WIRING TO & FROM THERMOSTAT.	

(115/1/60, 12.9A, MIN. 15A BRKR)(TRANE TDX120 OR EQUIVALENT)

NATURAL GAS-FIRED HORIZONTAL, FORCED-AIR, 40,000 BTUH HEATING CAPACITY, 90% AFUE OR HIGHER EFFICIENCY, 800 CFM SUPPLY AIR CAPACITY. COMBUSTION AIR INTAKE & EXHAUST PIPING TO & FROM THE CU-2 ROOF, CORK/RUBBER VIBRATION ISOLATION PADS, 3/4" PVC CONDENSATE DRAIN PIPE OUTLETTING TO NEAREST DRAIN. HIGH VELOCITY FILTER. CASED COIL ("A" OR SLANT) HORIZONTAL. 24,000 NOMINAL COOLING CAPACITY, PACKED STOCK. PRÓVIDE CONTROL WIRING TO & FROM THERMOSTAT. PROVIDE IN-LINE HEATER ON ALL MIN. AIR DUCTS, 55° MIN TEMP TO UNIT. (115/1/60, 4.7A, MIN. 15A BRKR)(TRANE TDC024 OR EQUIVALENT)

DESCRIPTION

REMOTE AIR COOLED CONDENSING UNIT TO HAVE NET COOLING CAPACITY OF 60,000 BTUH, 5 TONS WITH SEER 15 MIN., 2000 CFM COILS AT FURNACE PLENUM, 3/4" CONDENSATE PVC DRAIN, INSULATED PRECHARGED REFRIGERANT LIQUID AND SUCTION PIPING AND SERVICE VALVES, AND CONTROL WIRING BETWEEN A.C. UNIT, THERMOSTAT AND FURNACE. SET ON LEVEL CONCRETE BASE. WEATHER PROTECTIVE CABINET, ENCLOSED FAN MOTOR, 208/230/1/60, 32 AMP, 3-#8 WIRES (VERIFY), 50 AMP BRANCH CIRCUIT BREAKER, TUBE/ALUMINUM FIN COIL, COMPRESSOR PROTECTION CYCLE PROTECTOR, SOLENOID VALVE, AND OTHER OPTIONAL EQUIPMENT FOR COMPLETE OPERATIONAL H.V.A.C. SYSTEM, ADJACENT 120 V. GFI/WP RECEPTACLE.

REMOTE AIR COOLED CONDENSING UNIT TO HAVE NET COOLING CAPACITY OF 24,000 BTUH, 2 TONS WITH SEER 15 MIN., 2000-2100 CFM COILS AT FURNACE PLENUM, 3/4" CONDENSATE PVC DRAIN, INSULATED PRECHARGED REFRIGERANT LIQUID AND SUCTION PIPING AND SERVICE VALVES, AND CONTROL WIRING BETWEEN A.C. UNIT, THERMOSTAT AND FURNACE. SET ON LEVEL CONCRETE BASE. WEATHER PROTECTIVE CABINET, ENCLOSED FAN MOTOR, 208/230/1/60, 14 AMP, 3-#10 WIRES (VERIFY), 25 AMP BRANCH CIRCUIT BREAKER, TUBE/ALUMINUM FIN COIL, COMPRESSOR PROTECTION CYCLE PROTECTOR, SOLENOID VALVE, AND OTHER OPTIONAL EQUIPMENT FOR COMPLETE OPERATIONAL H.V.A.C. SYSTEM, ADJACENT 120 V. GFI/WP RECEPTACLE.

<u>AIRFLO</u>	W CALCULATIONS			<u>OUTDOOR</u>	<u>OUTDOOR</u>	AREA	AIR TO	ZONE ZONE			REQUIRED				
_ NUMBER	ROOM	S.F.(3)(7)	OCCUP.(P _Z)	BREATHING ZONE(R _P)	BREATHING AIR (CFM)	$\frac{OUTDOOR}{RATE(R_a)}$	BREATHING ZONE (CFM)	<u>OUTDOOR</u>	$V_{\rm bz}) V_{\rm OZ} (=V_{\rm OT})$		TOTAL	<u>NOTES</u>			
## #101	HALL #1 (EXISTING)	1483	119	7.5	890	0.06	71	979	1223	0	1223	MAKE-IIP	AIR PROVIDE	D THROUGH F	FRV #1
#101 W #102	WARMING KITCHEN	126	1	5	5	0.06	6	11	14	0	14	MARL OF	AIR TROVIDE	o minocom i	-ι· · π ·
.,															
#103	STORAGE	200	1	0	0	0	0	0	0	0	0	_			
#104	WOMEN'S T/R	119	0	0	0	0	0	0	0	150	150	_			
₹ #105	VESTIBULE	166	0	5	120	0.06	8	130	162	0	162	_			
ሧ [#] 106	MEN'S T/R	108	24	0	0	0	0	0	0	150	150	_			
N #107	MECHANICAL	30	0	5	0	0.12	3	4	5	0	5	-			
• •											0				

1. NATURAL VENTILATION AT FOUR EXTERIOR PASSAGE DOORS IS ALSO AVAILABLE BUT NOT INCLUDED WITH THE CALCULATIONS. INFILTRATION NOT INCLUDED.

2. OCCUPANCY CALCULATIONS MAY NOT MATCH OTHER EGRESS OCCUPANCY CALCULATIONS WITHIN THE CONSTRUCTION DRAWINGS. DEPENDING ON DIFFERENT AGENCY REQUIREMENTS, THE WORSE CASE OF OCCUPANT LOAD WAS USED FOR THESE CALCULATIONS WHICH DOES NOT IMPACT THE DESIGNED OCCUPANT LOAD FOR THE

3. FLOOR AREAS SHOWN MAY DIFFER FROM OTHER FLOOR AREAS NOTED WITHIN THE CONSTRUCTION DRAWINGS. FLOOR AREAS USED ARE DETERMINED IN ACCORDANCE WITH THE NECESSARY CODE CRITERIA FOR MECHANICAL

4. E_z FACTOR = 0.8.

6. ESTIMATED EXISTING AIR FLOW CALCULATIONS SHOWN FOR REFERENCE AND COMPARISON FROM PREVIOUS RESTAURANT USE TO CURRENT REQUIREMENTS. ORIGINAL EXHAUST REQUIREMENTS FOR TOILET ROOMS = 75 CFM PER WATER CLOSET OR URINAL.

7. GROSS FLOOR AREA NOTED UNLESS NET FLOOR AREA REFERENCED WITH (N)

8. TOILET ROOM EXHAUST FANS: INTERMITTENT, 70 CFM MIN.

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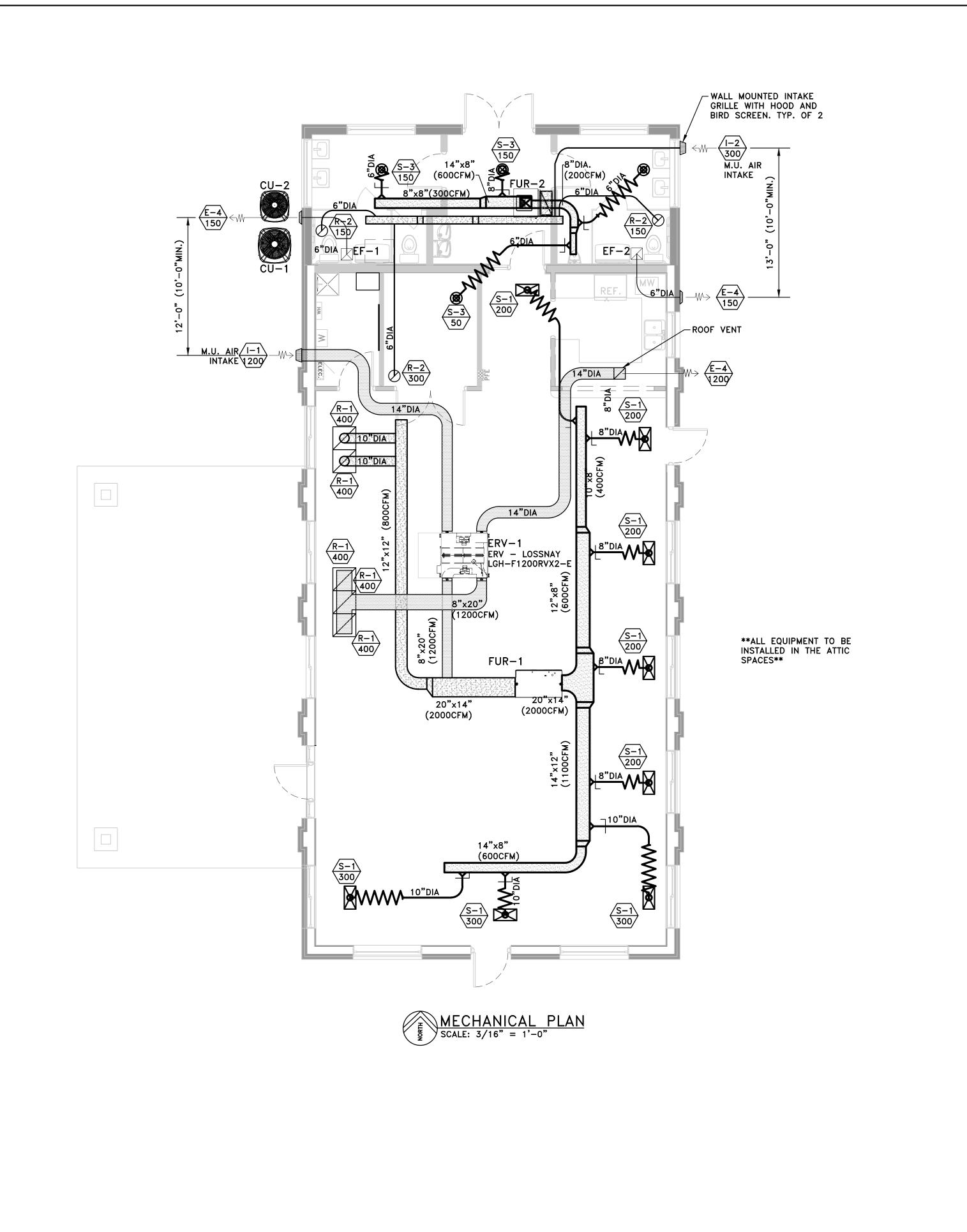
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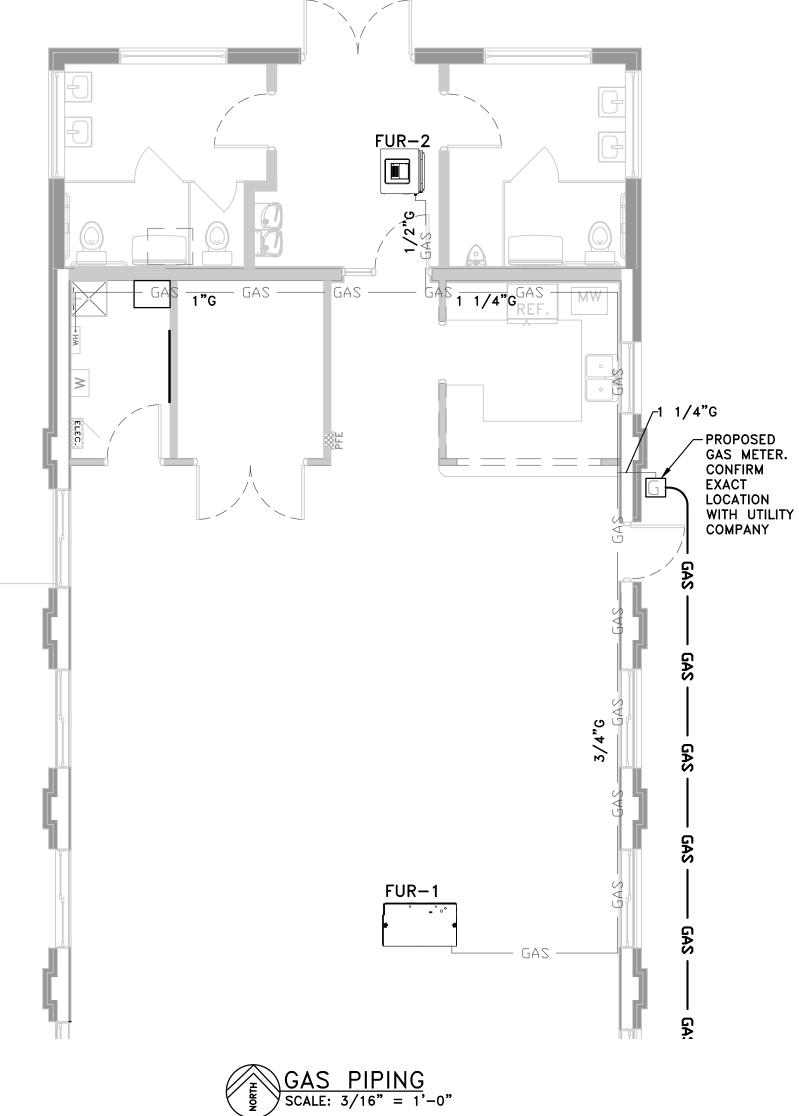
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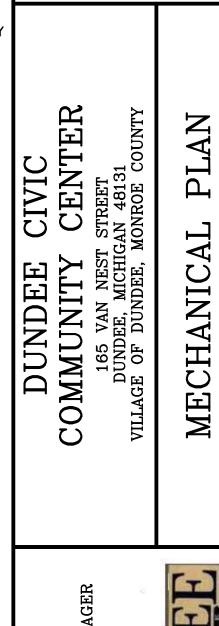
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AS NOTED 11/17/25 PLOT DATE

> 306001 SHEET NO.









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PLUMBING GENERAL NOTES & SPECIFICATIONS:

1.1 THE ENTIRE SET OF CONSTRUCTION DRAWINGS ARE TO BE REVIEWED THOROUGHLY BY THE PLUMBING CONTRACTOR FOR ANY DISCREPANCIES, CONFLICTS, INTERFERENCES, OR COLLISIONS WITHIN HIS TRADE OR WITH ANY OTHER TRADES. THE ENGINEER/ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS ARE DISCOVERED. WHEN THE PLUMBING CONTRACTOR CONFIRMS THE MANUFACTURER AND MODEL TO BE USED FOR THE PROJECT, IT SHALL BE HIS RESPONSIBILITY TO COORDINATE ALL INSTALLATION DETAILS WITH OTHER TRADES, AS WELL AS CONFIRM ALL ADA REQUIREMENTS HAVE BEEN MET, AND THAT THE SPECIFIED EQUIPMENT WILL FIT INTO THE CONDITIONS PRESENTED FOR THIS PROJECT.

1.2 THESE PLUMBING PLANS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO SHOW EVERY DETAIL OF CONSTRUCTION OR LOCATION OF PIPING OR EQUIPMENT. THE PLUMBING CONTRACTOR SHALL CONFORM TO THE INTENT OF THE MOST RECENT REVISED SET OF DRAWINGS. WHERE BUILDING CONSTRUCTION MAKES IT ADVISABLE OR NECESSARY TO CHANGE THE LOCATION OF PIPING, EQUIPMENT, ETC. WITHOUT INCREASING THE COST OF THE WORK, AFFECTING OTHER TRADES OR NEGATIVELY AFFECTING THE PROJECT CRITICAL PATH. THE PLUMBING CONTRACTOR SHALL PERFORM SUCH WORK WITH THE CONSENT OF THE ARCHITECT/ENGINEER. IF IT IS ADVISABLE TO ADJUST THE LOCATION OF ANY PLUMBING FIXTURE, THE PLUMBING CONTRACTOR SHALL VERIFY ANY ADJUSTMENT WITH THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION. CUTTING AND PATCHING IN NEW CONSTRUCTION DONE BY THE PLUMBING CONTRACTOR BECAUSE OF INITIAL FAILURE TO PROVIDE FOR OPENINGS AND SPACES SHALL BE DONE AT NO COST TO THE OWNER.

1.3 WHERE DIMENSIONS, EQUIPMENT, LOCATIONS, ELEVATIONS AND LAYOUT ARE SHOWN FOR EXISTING CONDITIONS, IT IS FOR REFERENCE PURPOSES ONLY. THE PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, EQUIPMENT AND MATERIALS PRIOR TO STARTING CONSTRUCTION.

1.4 ALL PLUMBING CONTRACTORS BIDDING THE PROJECT SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SITE, EXISTING CONDITIONS AND MATERIALS UNDER WHICH THE PROJECT WILL BE PERFORMED. ANY AND ALL DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER IMMEDIATELY, AND PRIOR TO SUBMITTING A BID, FOR DIRECTION AND/OR CLARIFICATION. FAILURE TO DO SO WILL BE DEEMED AS AN ACCEPTANCE OF THE EXISTING CONDITIONS WITH NO ADDITIONAL COST WILL BE CONSIDERED FOR ANY DISCREPANCIES AFTER THE CONTRACT HAS BEEN AWARDED.

1.5 PROVIDE A MINIMUM OF ONE(1) YEAR LABOR AND MATERIAL WARRANTY ON ALL WORK UNLESS NOTED OTHERWISE.

2.0 PRODUCTS-

2.1 MANUFACTURERS AND MATERIALS SPECIFIED HEREIN ARE INCLUDED AS THE BASIS OF DESIGN. ALTERNATE MANUFACTURERS OF SIMILAR EQUIPMENT AND MATERIALS ARE SUBJECT TO ARCHITECT/ENGINEER APPROVAL PRIOR TO SUBMITTAL OF THE BID ONLY. SUBSTITUTIONS AFTER THE BIDS ARE SUBMITTED MAY BE CONSIDERED WITH THE OWNERS APPROVAL AND MAY NOT BE ACCEPTED, WHEREAS THE ORIGINALLY SPECIFIED EQUIPMENT AND MATERIALS WILL BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO JUSTIFY AND PROVE MINIMUM ESTABLISHED STANDARDS OF THE BASIS OF DESIGN HAVE BEEN MET AND OR EXCEEDED ALONG WITH JUSTIFICATION FOR THE CHANGE IN EQUIPMENT, MANUFACTURER OR MATERIALS, INCLUDING DIFFERENCE IN COST AND LEAD TIME.

2.2 ALL PLUMBING TRENCHES TO BE FILLED WITH SAND, CRUSHED LIMESTONE (#8) OR SCREENINGS, FULL HEIGHT OF EXCAVATION (OR TO FINISH GRADE WHICHEVER IS HIGHER) INSTALLED IN 6" MAX. LIFTS. EACH LIFT TO BE COMPACTED TO 95% RELATIVE COMPACTION.

2.3 DRAIN, WASTE, & VENT PIPING BELOW GRADE, ABOVE FLOOR LINE, UP TO A POINT OF 5' BEYOND FOUNDATION WALL (BUILDING PLUMBING LINE), IN WALLS, ABOVE CEILING OR TO ROOF SHALL BE SCHEDULE 40 PVC & SOLVENT WELDED/GLUED FITTINGS, U.N.O. AND SHALL COMPLY WITH ASTM D2665, D2564, D3311, AS APPLICABLE. PLASTIC SHALL NOT BE USED IN AREAS WHERE TEMPERATURE OF CONTENTS MAY EXCEED 140°F. PIPE SLOPE: 2 1/2"ø OR LESS – 1/4"/FT. MIN., 3"ø-6"ø – 1/8"/FT MIN., 8"ø – OR LARGER – 1/16"/FT. MIN.

2.4 UNDERGROUND WATER - TYPE "K" COPPER TUBE (ASTM B88-83A) WITH NO JOINTS (SOLDER PRESSURE RATED FITTINGS WHERE JOINTS REQUIRED) OR CROSS LINKED POLYETHYLENE (PEX-A)(ASTM F876, F877, F1960) WITH NO CONCEALED FITTING OR FITTINGS IF POSSIBLE, OTHERWISE ASTM F1960 COLD EXPANSION FITTINGS. INTERIOR ABOVE GROUND - SOLDERED COPPER TYPE 'L' PIPE & FITTINGS TO BE IN ACCORDANCE WITH ASME B16.18 OR ASME B16.22 OR CROSS LINKED POLYETHYLENE (PEX) AS NOTED ABOVE.

2.5 PROVIDE FIBERGLASS THERMAL INSULATION AT ALL DOMESTIC HOT & COLD WATER PIPING. INSULATION TO CONFORM TO ASTM C547 CLASS I WITH C=0.26 MAXIMUM (BTU-IN/HR-SQ.FT.-DEG.F.@75). VAPOR BARRIER SHALL HAVE WHITE KRAFT PAPER EXTERIOR AND GLASS FIBER REINFORCEMENT INSULATION. INSTALL IN ALL CONCEALED LOCATIONS (WALLS, UNDER SLAB, & ATTIC). 1/2" INSULATION AT PIPES 3/4" AND SMALLER, 1" INSULATION AT PIPES OVER 3/4". SUCH SHALL BE BY MANVILLE (MICRO-LOK 650 AP-T) OR EQUAL BY OWENS CORNING, CERTAINTEED, OR KNAUF. (PLUMBING CONTRACTOR HAS THE OPTION OF USING 1/2" TO 3/4" THICK TUBULAR CLOSED CELL FLEXIBLE FOAM WRAP-AROUND TYPE AS MANUFACTURED BY ARMSTRONG (AP ARMAFLEX), RUBATEX OR EQUAL.) COMPOSITE INSULATION TO HAVE A FLAME SPREAD RATING OF NOT OVER 25 AND A SMOKE DEVELOPMENT RATING OF NOT HIGHER THAN 450.

PLUMBING GENERAL NOTES & SPECIFICATIONS (CONT.): PRODUCTS - CONTINUED

2.6 ALL WATER HEATERS TO HAVE: PRESSURE RELIEF VALVE, SHUT-OFF VALVES ON BOTH HOT & COLD WATER TO ISOLATE UNIT DURING REPAIR OR REPLACEMENT, RELIEF DISCHARGE PIPE WITH AN AIR GAP CONNECTION AT THE BUILDING DRAIN SYSTEM, DRAIN PAN AS NEEDED, EXPANSION TANK. GAS FIRED WATER HEATERS TO HAVE A DIRT LEG AND ISOLATION VALVE LOCATED ON THE GAS CONNECTION. MAXIMUM TEMPERATURE TO BE SET AT 140°F. TEMPERATURE LIMITING MIXING VALVE MAY BE PLACED AT THE WATER HEATER WHERE NO KITCHEN EQUIPMENT OR OTHER EQUIPMENT REQUIRES THE HIGH TEMPERATURE SUPPLY.

2.7 WATER-HAMMER ARRESTORS, IN ACCORDANCE WITH ASSE 1010 (MPC 604.9), SHALL BE PROVIDED AT ALL PLUMBING FIXTURES (HOT & COLD) WITH QUICK CLOSING VALVES.

2.8 PROVIDE STAINLESS STEEL OR CHROME PLATED COPPER TRAPS, ARMS, EXTENSIONS, ETC. AT PLUMBING FIXTURES WHERE EXPOSED TO VIEW. ALL OTHERS TO BE PVC. VERIFY WHICH MATERIALS USED WHERE WITH OWNER. PROVIDE STAINLESS STEEL ESCUTCHEONS AT ALL WALL, FLOOR, OR CEILING PIPE PENETRATIONS. FILL ALL OPENINGS AROUND SLEEVES OR AROUND PIPES IN SLEEVES IN FIRE RATED ASSEMBLIES, WITH APPROVED FIRE BARRIER SYSTEM (CALCIUM SILICATE BLOCK, SILICON FOAM, PUTTY OR CAULK) AND SEALED AT BOTH ENDS. TRUEBRO LAV. GUARDS OR EQUAL TO BE INSTALLED AT ALL ACCESSIBLE FIXTURES WITH EXPOSED

2.9 SEE FIXTURE SCHEDULE FOR ADDITIONAL EQUIPMENT, ACCESSORIES AND EQUIPMENT.

2.10 RETURN AIR PLENUM RATED PIPING AND ACCESSORIES TO BE USED WHERE ANY PLENUM TO ACT AS THE HVAC RETURN CHASE. VERIFY W/ HVAC DESIGN IF PLENUM RATED ITEMS ARE INTENDED ON THIS PROJECT. PLASTIC PIPE SHALL NOT BE USED IN ANY RETURN AIR PLENUM RATED APPLICATION.

3.0 EXECUTION & CLOSE-OUT-

3.1 ALL PLUMBING EQUIPMENT AND SYSTEMS TO BE INSTALLED IN ACCORDANCE TO THE CURRENT MICHIGAN

3.2 THE PLUMBING CONTRACTOR SHALL FURNISH, ASSEMBLE, INSTALL, CONNECT, AND FINISH ALL FIXTURES, ACCESSORIES, TRIM, ETC., AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY INTENDED INSTALLATION, SURROUNDING CONDITIONS, CONDITIONS DURING CONSTRUCTION AND PRIOR TO INSTALLATION, DIMENSIONS, BLOCKING, CLEARANCES OF ALL EQUIPMENT AND ACCESSORIES, ETC. AND COMPARE WITH THESE DRAWINGS AND MANUFACTURERS REQUIREMENTS. WHERE A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND MANUFACTURERS RECOMMENDATIONS, THE MANUFACTURER SHALL TYPICALLY GOVERN. ANY DISCREPANCIES SHALL BE PRESENTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING.

3.3 THE PLUMBING CONTRACTOR SHALL PROVIDE A COMPLETE INSTALLATION OF ALL FIXTURES, ACCESSORIES, EQUIPMENT, VALVES, TRAPS, SUPPLY LINES, SEALANT, HANGERS, SUPPORTS, ANCHORS, CARRIERS, ETC. FOR INSTALLATIONS SPECIFIC FOR THIS PROJECT.

3.4 ALL FIXTURES SHALL BE SET LEVEL AND PLUMB AS REQUIRED, AND IN A NEAT AND UNIFORM MANNER. ALL CONNECTIONS, SUPPORTS AND INSTALLATIONS SHALL BE SET AT RIGHT ANGLES, UNLESS DIRECTED

3.5 PATCH ADJACENT EXISTING SURFACES WHERE WORK IS PERFORMED TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.

3.6 INTERCONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE THE INTERFERENCE WITH STANDARD FACILITY OPERATIONS. AN ANTICIPATED SCHEDULE SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW AND COORDINATION WITH OWNER FOR SCHEDULE APPROVAL AND APPROVED. SHUT-DOWNS SHALL ONLY OCCUR WITH THE WRITTEN APPROVAL FROM THE ENGINEER/ARCHITECT.

3.7 THE PLUMBING CONTRACTOR SHALL PROVIDE FIELD INSTRUCTION, TRAINING, SYSTEM DEMONSTRATION, MAINTENANCE PROCEDURES TO THE OWNER, AND ANY PERSONNEL SELECTED BY THE OWNER.

3.8 PIPES PASSING THROUGH CONCRETE OR MASONRY WALLS AND FLOORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED AGAINST EXTERNAL CORROSION. PROVIDE A METAL OR PVC SLEEVE AT ANY PENETRATION. ANNULAR SPACES BETWEEN SLEEVES AND PIPES SHALL BE FILLED AND TIGHTLY CAULKED PROVIDING A WATER TIGHT JOINT. A METAL SLEEVE AND FIRE CAULKING TO BE USED AT ANY FIRE RATED ASSEMBLIES.

3.9 PIPES PASSING THROUGH OR UNDER FOOTINGS OR FOUNDATION WALL SHALL BE COVERED TO ELIMINATE ANY LOAD FROM BEARING ON THE PIPE OR A SLEEVE (PVC OR OTHER APPROVED MATERIAL) WHICH IS TWO PIPE SIZES GREATER THAN THE PIPE PASSING THROUGH HE WALL.

3.10 NO FRAMING MEMBER MAY BE CUT, NOTCHED OR ALTERED IN EXCESS OF THE LIMITATIONS OF THE MICHIGAN BUILDING CODE OR PER MANUFACTURER'S SPECIFICATIONS. NO ALTERATIONS TO TRUSSES OR STRUCTURAL MEMBERS ARE PERMITTED UNLESS APPROVED BY THE MANUFACTURER. ANY CHANGES OR ALTERATIONS MADE TO ANY STRUCTURAL FRAMING OR TRUSS MEMBER WHICH EXCEEDS ALLOWABLE SPECIFICATIONS, SHALL BE REPLACED BACK TO ORIGINAL CONDITION AT NO COST TO THE OWNER.

3.11 THE PLUMBING CONTRACTOR SHALL PROVIDE ANY SLEEVES OR ASSEMBLY METHODS FOR PENETRATIONS THROUGH ANY ASSEMBLY OR ELEMENT. THE SYSTEM INSTALLED SHALL PREVENT THE SPREAD OF FIRE AND

3.12 PROVIDE EASILY ACCESSIBLE ISOLATION VALVES (BRASS OR BALL TYPE) AT EACH INDIVIDUAL BRANCH LINE SERVING A ROOM OR ZONE. SHUT-OFF VALVES SERVING SINKS, WATER CLOSETS & OTHER FIXTURES ABOVE FLOOR LINE AND WHERE EXPOSED TO VIEW SHALL BE CHROME

PLUMBING GENERAL NOTES & SPECIFICATIONS (CONT.): EXECUTION & CLOSE-OUT - CONTINUED

3.13 ALL PIPE HANGERS AND SUPPORTS SHALL SUPPORT PIPE, EQUIPMENT AND CONTENTS. HANGERS, SUPPORTS AND STEEL TO BE INSTALLED PER MPC, MANUFACTURER AND INDUSTRY STANDARDS.

3.14 THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL SYSTEM PRESSURE AND OR LEAKAGE TESTING. ALL POTABLE WATER SYSTEM LINES SHALL BE DISINFECTED PER THE METHODS DESCRIBED IN SECTION 610 OF THE CURRENT MPC.

3.15 ALL FIXTURES TO HAVE A MIN. OF 1/2"ø WATER SUPPLY; HOT OR COLD UNLESS OTHERWISE SPECIFIED IN MANUFACTURER'S SPECIFICATIONS.

3.16 MAIN WATER SUPPLY TO BE RUN BELOW SLAB, AT NOTED LOCATIONS. PLUMBING TO BE RUN WITHIN WALL CAVITIES OR WITHIN PLENUM SPACE. ALL PLUMBING TO BE

3.17 TRAP SEALS ARE TO BE INSTALLED IN ALL FLOOR DRAINS, U.N.O. INDIVIDUAL PRIMERS OR DISTRIBUTION BLOCKS ARE AS NOTED ON DRAWINGS AND IN PLUMBING

3.18 ALL VENT LINES ARE TO BE SLOPED TOWARD DRAINS TO PREVENT STANDING WATER. STANDARD SLOPES APPLY TO INDIVIDUAL PIPE SIZES.

3.19 CONDENSATE LINES, INCLUDING THE AUXILIARY AND SECONDARY DRAIN SYSTEM, TO BE TERMINATED AS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE CURRENT EDITION OF MICHIGAN PLUMBING CODE. CONDENSATE LINES TO BE PVC. U.N.O. A DRAIN OR STACK SHALL BE UTILIZED WHEN LOCATED IN A REMOTE SECTION OR AN ADJACENT FLOOR DRAIN OR A SERVICE SINK SHALL BE UTILIZED. VERIFY WITH MANUFACTURER'S RECOMMENDATION BASED ON SITUATION. CONDENSATE PUMPS ARE PERMISSIBLE WITH PRIOR APPROVAL OF THE ARCHITECT/ENGINEER AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND CURRENT MPC REQUIREMENTS FOR PIPE MATERIAL, SIZE AND LOCATION. COORDINATE WITH THE HVAC CONTRACTOR FOR CONDENSATE DRAIN LINES AT INTERIOR AIR HANDLER UNITS. ALL DRAINS TO BE INSTALLED FOR GRAVITY FLOW TOWARD THE OUTLET AND SHALL NOT PROVIDE ANY SPACE FOR PONDING WITHIN THE PIPE.

3.20 FULL OPEN VALVES TO BE PROVIDED AT THE FOLLOWING LOCATIONS AS A MINIMUM: WATER DIRECTION PIPE AT THE ENTRANCE INTO THE BUILDING, DISCHARGE SIDE OF THE WATER METER & BOTH SIDES OF EVERY WATER HEATER. A SHUTOFF VALVE TO BE PROVIDED AT EVERY PLUMBING FIXTURE, SUPPLY PIPE OF EACH HOSE BIB/WALL HYDRANT, AT EACH SUPPLY LINE TO EACH APPLIANCE OR MECHANICAL EQUIPMENT. ISOLATION VALVES TO BE INSTALLED ON BRANCH LINES SERVING GROUPS OF FIXTURES, SUCH AS TOILET ROOMS OR PORTIONS OF A BUILDING. VALVES TO BE BRASS, GATE OR BALL TYPE. WHERE EXPOSED TO VIEW, VALVES SHALL HAVE A CHROME FINISH. EASY ACCESS TO ALL VALVES SHALL BE PROVIDED. COORDINATE WITH ARCHITECT/ENGINEER IF AN ACCESS DOOR/PANEL WILL NEED TO BE INSTALLED FOR VALVE ACCESS.

3.21 TEMPERED WATER SHALL BE PROVIDED TO EACH HAND WASHING FACILITY. TEMPERED WATER TO ANY PUBLIC FIXTURE SHALL NOT EXCEED 110°C BY MEANS OF AN ACCESSIBLE TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070.

3.22 EVERY TRAP AND TRAPPED FIXTURES SHALL BE VENTED IN ACCORDANCE WITH ONE OF THE VENTING METHODS SPECIFIED IN CHAPTER 9 OF THE PLUMBING CODE. ROUTING SHOWN ON PLANS ARE FOR REFERENCE ONLY. EXACT ROUTING TO BE COORDINATED BY THE PLUMBING CONTRACTOR BASED ON CONDITIONS AT TIME OF INSTALLATION. VERIFY AND CONFIRM ALL ROOF PENETRATIONS WITH ARCHITECT/ENGINEER PRIOR TO

3.23 ALL VENTS THROUGH THE ROOF SHALL BE 3" MIN. ANY DECREASE IN PIPE SIZE SHALL BE MADE MORE THAN 12" BELOW THE ROOF OR INSIDE OF WALL

3.24 THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES ASSOCIATED WITH FOR HIS WORK.

3.25 AS-BUILT DRAWINGS SHALL BE PROVIDED AT THE COMPLETION OF THE PROJECT AND SHALL INCLUDE ALL SHUT-OFF AND BRANCH VALVE LOCATIONS AND LABELS, PIPE ROUTING, IF DIFFERENT THAN SHOWN ON THE DRAWINGS, OR OTHER DEVIATIONS FROM THE PLANS. WHERE NO CHANGES WERE MADE FROM THE DRAWINGS, A SIGNED PLAN SHALL BE SUBMITTED THAT NOTES NO CHANGES WERE MADE AND ALL WAS INSTALLED EXACTLY PER PLANS.

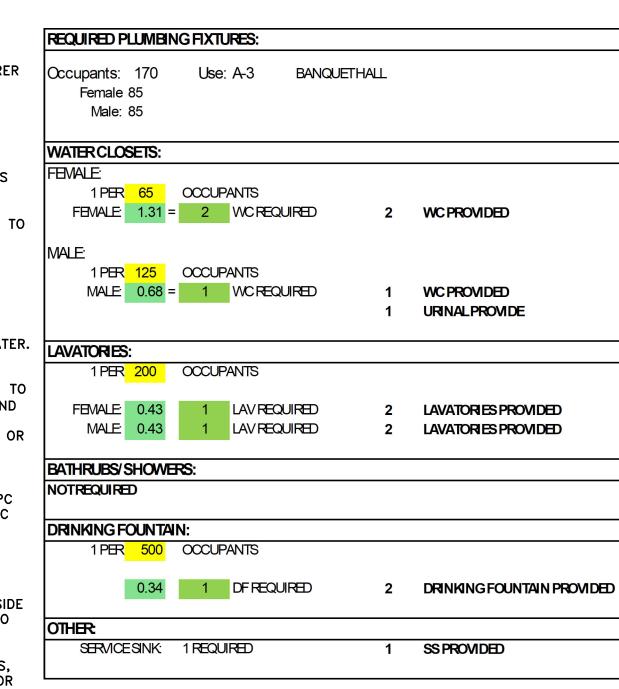
3.26 THE PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. ANY AND ALL BLOCKING REQUIRED SHALL BE COORDINATED AND CONVEYED TO THE FRAMING CONTRACTOR. WHERE BLOCKING IS NOT INSTALLED, IT SHALL BE THE PLUMBING CONTRACTORS RESPONSIBILITY FOR ANY ADDITIONAL COSTS FOR INSTALLATION OF NECESSARY BLOCKING. ANY AND ALL REPAIRS REQUIRED FOR BLOCKING INSTALLATION. OR FOR ANY ADDITIONAL BRACKETS, ANCHORS, ETC. REQUIRED FOR PROPER INSTALLATION. COORDINATE ALL ROUTING WITH THE GENERAL CONTRACTOR, MECHANICAL CONTRACTOR AND ELECTRICAL CONTRACTOR.

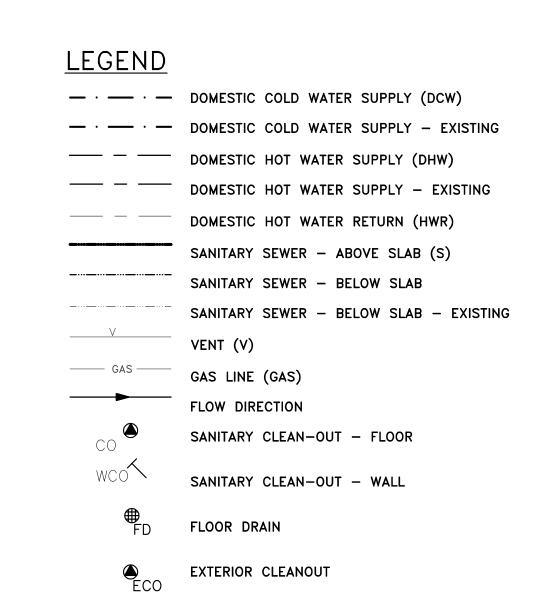
3.27 ALL VENTS AND FLUES TO BE LOCATED A MINIMUM OF 10'-0" FROM ANY FRESH AIR INTAKE. ALL VENTS AND FLUES TO BE COORDINATED WITH MECHANICAL

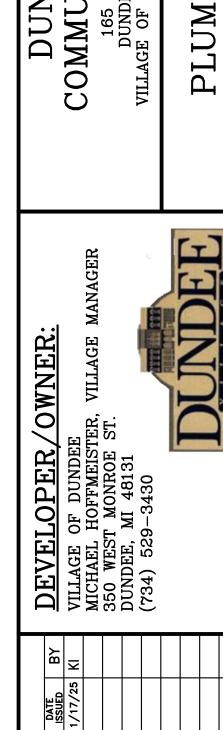
3.28 ALL ROOF MOUNTED EQUIPMENT WHICH REQUIRES SERVICE OR ANY TYPE OF REGULAR MAINTENANCE SHALL NOT BE INSTALLED WITHIN 10'-0" OF THE EDGE OF ANY

3.29 INSTALLATION OF PLUMBING LINE IN EXTERIOR WALL TO BE AVOIDED IF POSSIBLE. WHERE THEY ARE INSTALLED IN EXTERIOR WALLS, THEY SHALL BE KEPT AS CLOSE AS POSSIBLE TO THE INTERIOR FACE TO PREVENT FREEZING AND SHALL BE PROTECTED FROM FUTURE DAMAGE VIA STEEL PLATES OR OTHER NON-INTRUSIVE MEASURES.

3.30 COORDINATE ALL WORK WITH OTHER TRADES







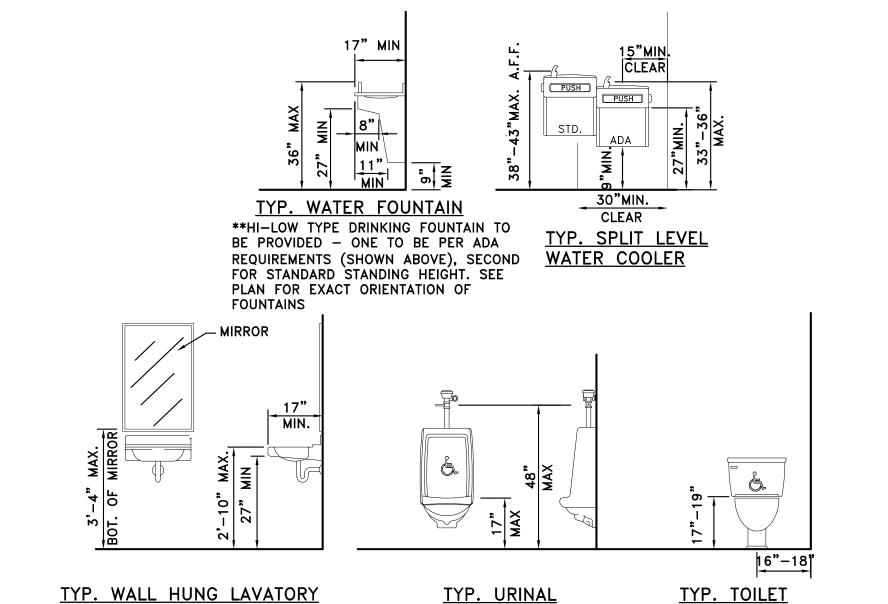
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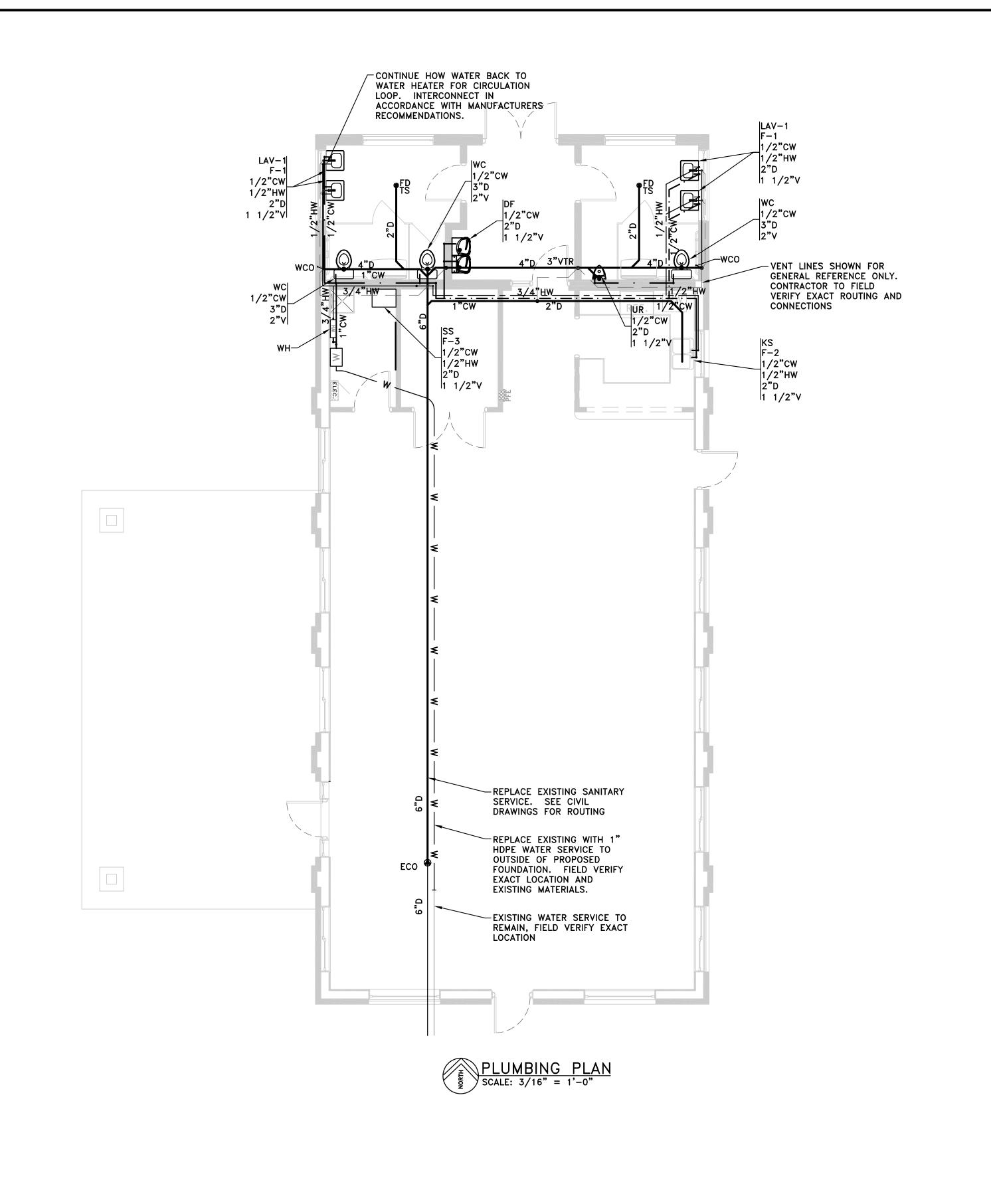
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DUNDEE CIVIC
COMMUNITY CENTER
165 VAN NEST STREET
DUNDEE, MICHIGAN 48131
VILLAGE OF DUNDEE, MONROE COUNTY

PLUMBING

DE DUNDEE
HOFFMEISTER, VILLAGE MANAGER
MONROE ST.
MI 48131
9-3430

DEVELOPER/OWN

VILLAGE OF DUNDEE

MICHAEL HOFFMEISTER, VILL
350 WEST MONROE ST.
DUNDEE, MI 48131
(734) 529–3430

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ITEM COMMENT DATE BY

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PLOT DATE 12/13/25

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THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

GENERAL FOUNDATION NOTES:

STRENGTH OF 3000 PSI AT 28 DAYS.

- CONSTRUCTION AND ERECTION OF STRUCTURAL CONCRETE TO COMPLY WITH ACI 301 AND ACI 318. CONCRETE REINFORCING TO COMPLY WITH ACI 301 AND ACI 318. CAST IN PLACE CONCRETE WORK TO COMPLY WITH ACI 301 AND ACI 318. FLOOR AND SLAB CONSTRUCTION TO BE IN ACCORDANCE WITH ACI 302.1R.
- 2. REINFORCING STEEL: IN ACCORDANCE WITH ACI 315ASTM A615, 60 KSI YIELD GRADE. DEFORMED BILLET STEEL BARS, UNFINISHED; OR ASTM A616, 60 KSI YIELD GRADE, DEFORMED RAIL STEEL BARS, UNFINISHED.
- WELDED WIRE FABRIC: ASTM A185, PLAIN WIRE, SHEET FORM. ROLLED FABRIC NOT PERMITTED. OVERLAP WIRE FABRIC ONE WIRE SPACING PLUS 2".
- CHAIRS. BOLSTERS. BAR SUPPORTS AND SPACERS TO BE STEEL AND BE OF SHAPE AND SIZES AS REQUIRED FOR PROPER SUPPORT OF REINFORCING.
- 5. FOUNDATIONS, PIER FOOTINGS AND OTHER STRUCTURAL CONCRETE TO HAVE A COMPRESSIVE
- CONCRETE IN FLOOR SLABS AND SIDEWALKS TO HAVE A COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS.
- UNLESS NOTED OTHERWISE, MAINTAIN CONCRETE COVER FOR REINFORCEMENT AS FOLLOWS: COVERAGE COLUMN TIES AND BEAM STIRRUPS 1 1/2 INCH FOOTINGS AND CONCRETE FORMED AGAINST EARTH 3 INCH SLABS ON FILL 1 1/2 INCH ALL OTHER 2 INCH
- 8. PROVIDE FORMED OR SLEEVED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN OR PASSING THROUGH CONCRETE MEMBERS. INSURE THAT THESE OPENINGS DO NOT VIOLATE STRUCTURAL REQUIREMENTS OF THE MEMBER.
- 9. PLACEMENT OF CONCRETE UNDER WATER IS NOT PERMITTED.
- 10. DO NOT PLACE ANY CONCRETE UNTIL ALL INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENTS, AND THE INSPECTOR HAVE BEEN MADE AND APPROVAL GIVEN TO POUR. DO NOT POUR SLABS UNTIL INSULATION AND WATERPROOFING INSTALLATION IS COMPLETE AND HAVE BEEN OBSERVED BY THE INSPECTOR.
- 11. PROVIDE PROPER PROTECTION OF POURED CONCRETE FROM HEAT IF OVER 90 DEGREES, FROM FREEZING, AND FROM RAIN OR GROUND WATER. POURED CONCRETE IS TO BE PROTECTED FROM FREEZING FOR 48 HOURS AFTER POURING. COLD WEATHER CONCRETE INSTALLATION TO BE IN ACCORDANCE WITH ACI 306R. HOT WEATHER CONCRETE INSTALLATION TO BE IN ACCORDANCE WITH ACI 305R.
- 12. LAP REINFORCING BARS: 40 BAR DIAMTERS BUT NOT LESS THAN 18". EQUIVALENT PRE-BENT BARS TO BE PROVIDED AT ALL CORNERS AND INTERSECTIONS, PROVIDING LAP DISTANCES AS NOTED.
- 13. EACH WALL SHALL BE PLUMB TO WITHIN 1/8" PER 8 FOOT OF LENGTH. EACH WALL SHALL BE STRAIGHT TO WITHIN 1/4" PER 10 FEET OF LENGTH. ALL FLOORS SHALL BE LEVEL TO WITHIN 1/4" PER 20 FOOT OF LENGTH. ALL FLOORS SHALL BE TRUE TO WITHIN 1/4" PER 10 FEET.
- 14. THE CONCRETE/FOUNDATION CONTRACTOR TO NOTIFY THE OWNER AND ELECTRICAL CONTRACTOR PRIOR TO POURING TO ENSURE THE PROPER GROUNDING/BONDING MEASURES ARE IN PLACE PRIOR TO POURING. THE ELECTRICIAN AND OWNER SHALL BE NOTIFIED AS EARLY AS POSSIBLE AS TO WHEN THE CONCRETE IS BEING POURED TO PROVIDE ADEQUATE TIME FOR THE ELECTRICAL WORK TO BE COMPLETED AND INSPECTED; 72 HOUR MINIMUM NOTICE SHALL BE GIVE PRIOR TO POURING. IT SHALL BE THE RESPONSIBILITY OF THE FOUNDATION CONTRACTOR TO ENSURE THE ELECTRICIAN IS COMPLETED AND APPROVED WITH THE REQUIRED WORK PRIOR TO POURING OF FOUNDATION AND/OR FOOTING. NOTIFY THE ENGINEER/ARCHITECT IF ANY ISSUES ARISE WHICH DELAY THE PROJECT.
- 15. BOTTOM OF FOOTINGS SHALL BE A MINIMUM OF 42" BELOW FINISH GRADE AND BEARING ON UNDISTURBED SOIL OF THE CAPACITY NOTED. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE NOTED IN THESE DRAWINGS OR WITH FIELD CONDITIONS.
- 16. ALL ENTRAINMENT FOR CONCRETE EXPOSED TO THE EXTERIOR TO BE 5 TO 7%.
- 17. THESE PLANS ARE SPECIFIC TO THIS SITE ONLY. NO OTHER USE IS PERMITTED
- 18. THE CONTRACTOR SHALL VERIFY THAT ALL CONCRETE INSERTS, SLEEVES, PENETRATIONS AND BURIED CONNECTIONS ARE CORRECTLY LOCATED AND RIGIDLY SECURED PRIOR TO PLACEMENT
- 19. UNLESS NOTED OTHERWISE, ALL CORNERS TO HAVE BENT BARS, 2'-6" EACH WAY OR 48 BAR DIAMETERS (WHICHEVER IS GREATER) WRAPPING THE CORNER AND SECURELY CONNECTED TO CONTINUOUS REBAR IN WALL. MATCH SIZE AND SPACING OF HORIZONTAL
- 20. ALL ACCESSORIES SHALL BE AS SPECIFIED IN THE LATEST EDITION OF THE ACI DETAILING HANDBOOK AND THE CONCRETE REINFORCING INSTITUTE DESIGN CENTER.
- 21. POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE DRAWINGS UNLESS APPROVED IN WRITING BY THE ENGINEER OF RECORD. SEE DRAWINGS FOR ANCHOR DIAMETER, SPACING AND MIN. EMBEDMENT.
- 22. SPECIAL INSPECTION IS REQUIRED FOR ALL POST-INSTALLED ANCHORS. THE GENERAL CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE ANCHOR MANUFACTURER FIELD REPRESENTATIVE AND SUBCONTRACTOR PERFORMING THE ANCHOR INSTALLATION TO CONFIRM INSTALLATION GUIDELINES AND REQUIREMENTS. THE CONTRACTOR SHALL SEND A RECORD COPY OF THE MEETING NOTES TO THE DESIGN TEAM.

- **GENERAL STRUCTURAL STEEL NOTES:** . STEEL WIDE FLANGE SHAPES: ASTM A992, GRADE 50 UNLESS OTHERWISE INDICATED.
- 2. STEEL ANGLE AND CHANNEL SHAPES, PLATES AND BARS: ASTM A36 UNLESS OTHERWISE
- COLD-FORMED STEEL TUBING: ASTM A500, GRADE B.
- 4. STEEL PIPE: ASTM A53, TYPE E OR S, GRADE B.
- ANCHOR RODS, BOLTS, NUTS AND WASHERS: ASTM A36 FOR UNHEADED RODS, AND ASTM A307, GRADE A FOR HEADED BOLTS, UNLESS OTHERWISE INDICATED.
- HIGH STRENGTH ANCHOR BOLTS: ASTM A449 THREADED ROD.
- NON-HIGH STRENGTH BOLTS, NUTS AND WASHERS: ASTM A307, GRADE A; CARBON STEEL, HEX-HEAD BOLTS; CARBON STEEL NUTS; AND FLAT, UNHARDENED STEEL WASHERS. PROVIDE PLAIN, UNCOATED FINISH, UNLESS OTHERWISE INDICATED.
- HIGH STRENGTH BOLTS, NUTS AND WASHERS: ASTM A325, TYPE-1 HEAVY HEX STEEL STRUCTURAL BOLTS, HEAVY HEX CARBON STEEL NUTS, AND HARDENED CARBON STEEL WASHERS, UNLESS ASTM A490 INDICATED. PROVIDE PLAIN, UNCOATED FINISH, UNLESS OTHERWISE INDICATED.
- ELECTRODES FOR WELDING: COMPLY WITH AWS CODE: USE E70 XX SERIES.
- 10. ADHESIVE ANCHORS: REFER TO STRUCTURAL DRAWINGS.
- 11. EXPOSED EXTERIOR FERROUS METAL: COATING) A. PRIMER: LOW VOC PRIMER B. FINISH: SEMI-GLOSS ENAMEL
- 12. NON-EXPOSED FERROUS METAL: SHOP PRIMED, FAST CURING, LEAD AND CHROMATE FREE. UNIVERSAL MODIFIED ALKYD PRIMER WITH GOOD RESISTANCE TO NORMAL ATMOSPHERIC CORROSIONS, COMPLYING WITH PERFORMANCE REQUIREMENTS OF FS TT-P-664 OR TNEMEC
- 13. SHOP DRAWINGS TO BE PROVIDED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- 14. WHERE TOUCH UP IN FIELD IS REQUIRED, AT WELDS, ETC. FIELD PREP PER MANUFACTURERS RECOMMENDATIONS.

<u>DESIGN LOADS:</u> MAIN FLOOR:	LIVE LOAD 1ST FLOOR STORAGE AREAS DEAD LOAD	100 PSF 125 PSF 15 PSF
ROOF:	LIVE LOAD DEAD LOAD MECHANICAL COLLATERAL	20 PSF 15 PSF 30 PSF 10 PSF
SNOW:	GROUND IMPORTANCE (I _S) C _e (PARTIAL, TERRAIN C) C _T (THERMAL FACTOR) MAX. SNOW DRIFT LOAD	20 PSF 1.0 1.0 1.0 36 PSF
WIND:	NOMINAL WIND SPEED (V _{asd}) ULTIMATE WIND SPEED (V _{ult}) IMPORTANCE (I _W) WIND EXPOSURE SURFACE ROUGHNESS P _{net} ROOF (UPLIFT) P _{net} WALL	89 MPH 115 MPH 1.0 B B -21.68 PS 14.74 PSF
SEISMIC:	IMPORTANCE (I _E) SITE CLASS DESIGN CATEGORY S DS S DS S D1 S MS S M1	1.0 D A&B 0.115g 0.081g 0.173g 0.122g

SOIL INFORMATION (MBC SECTION 1803):

FOUNDATION DESIGN BASED ON RECOMMENDATIONS NOTED IN INTERTEK PSI GEOTECHNICAL EXPLORATION AND ENGINEERING REPORT #03811381, DATED JUNE 19, 2023.

SOIL TYPE: SANDY CLAY - 3000 PSF

A SOILS ENGINEER OR TESTING COMPANY SHALL BE ON SITE TO VERIFY BEARING CAPACITY OF SOIL DURING EXCAVATIONS OF FOOTINGS. IF A DISCREPANCY OCCURS, THE ARCHITECT/ENGINEER IS TO BE NOTIFIED IMMEDIATELY.

GENERAL MASONRY NOTES:

HYDRATED LIME: ASTM C 207, TYPE S.

- <u>I. MORTAR AND GROUT MATERIALS:</u> A. PORTLAND CEMENT: ASTM C 150, TYPE I OR II, EXCEPT TYPE III MAY BE USED FOR COLD-WEATHER CONSTRUCTION. PROVIDE NATURAL COLOR OR WHITE CEMENT AS REQUIRED TO PRODUCE MORTAR COLOR SELECTED BY OWNER.
- MASONRY CEMENT: ASTM C 91. FOR PIGMENTED MORTARS, USE PREMIXED, COLORED MASONRY CEMENTS OF FORMULATION REQUIRED TO PRODUCE COLOR INDICATED, OR IF NOT I NDICATED, AS SELECTED FROM MANUFACTURER'S STANDARD FORMULATIONS. PIGMENTS SHALL NOT EXCEED 5% OF MASONRY CEMENT BY WEIGHT FOR MINERAL OXIDES NOR 1%
- FOR CARBON BLACK. C. MORTAR CEMENT: COMMERCIAL INDUSTRY STANDARD. FOR PIGMENTED MORTARS, USE PREMIXED, COLORED MORTAR CEMENTS OF FORMULATION REQUIRED TO PRODUCE COLOR INDICATED, OR IF NOT INDICATED, AS SELECTED FROM MANUFACTURER'S STANDARD FORMULATIONS.PIGMENTS SHALL NOT EXCEED 5% OF MORTAR CEMENT BY WEIGHT FOR MINERAL OXIDES NOR 1% FOR CARBON BLACK.
- PORTLAND CEMENT-LIME MIX: PACKAGED BLEND OF PORTLAND CEMENT COMPLYING WITH ASTM C 150, TYPE I OR TYPE III. AND HYDRATED LIME COMPLYING WITH ASTM C 207. FOR PIGMENTED MORTARS USE COLORED PORTLAND CEMENT-LIME MIX OF FORMULATION REQUIRED TO PRODUCE COLOR INDICATED, OR IF NOT INDICATED, AS SELECTED FROM MANUFACTURER'S STANDARD FORMULATIONS. PIGMENTS SHALL NOT EXCEED 10% OF PORTLAND CEMENT BY WEIGHT FOR MINERAL OXIDES NOR 2% FOR CARBON BLACK.
- F. AGGREGATE FOR MORTAR: ASTM C 144; EXCEPT FOR JOINTS LESS THAN 1/4" (6.5 MM), USE AGGREGATE GRADED WITH 100% PASSING THE NO. 16 (1.18 MM) SIEVE. 1. WHITE-MORTAR AGGREGATES: NATURAL WHITE SAND OR GROUND WHITE STONE.
- AGGREGATE FOR GROUT: ASTM C 404. READY-MIXED MORTAR: CEMENTITIOUS MATERIALS, WATER, AND AGGREGATE COMPLYING WITH REQUIREMENTS SPECIFIED IN THIS ARTICLE; COMBINED WITH SET-CONTROLLING ADMIXTURES
- TO PRODUCE A READY-MIXED MORTAR COMPLYING WITH ASTM C 1142. EPOXY POINTING MORTAR: ASTM C 395, EPOXY-RESIN-BASED MATERIAL FORMULATED FOR USE AS POINTING MORTAR FOR, AND APPROVED BY MANUFACTURER OF, STRUCTURAL CLAY TILE FACING UNITS; IN COLOR INDICATED OR, IF NOT OTHERWISE INDICATED, AS SELECTED BY OWNER OR ENGINEER/ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.
- J. COLD-WEATHER ADMIXTURE: NONCHLORIDE, NONCORROSIVE, ACCELERATING ADMIXTURE COMPLYING WITH ASTM C 494, TYPE C, AND RECOMMENDED BY THE MANUFACTURER FOR USE IN MASONRY MORTAR OF COMPOSITION INDICATED.
- K. WATER: POTABLE. L. COLOR:TO BE SELECTED FROM MANUFACTURERS' STANDARD RANGE OF COLORS.

2. MORTAR AND GROUT MIXES:

- A. DO NOT USE ADMIXTURES, INCLUDING PIGMENTS, AIR-ENTRAINING AGENTS, ACCELERATORS, RETARDERS, WATER-REPELLENT AGENTS, ANTIFREEZE COMPOUNDS, OR OTHER ADMIXTURES, UNLESS OTHERWISE INDICATED OR APPROVED BY THE ENGINEER.
- B. DO NOT USE CALCIUM CHLORIDE IN MORTAR OR GROUT UNLESS APPROVED BY ENGINEER. C. ADD COLD-WEATHER ADMIXTURE (IF USED) AT THE SAME RATE FOR ALL MORTAR, REGARDLESS OF WEATHER CONDITIONS, IN ORDER TO ENSURE THAT MORTAR COLOR IS
- MORTAR FOR UNIT MASONRY: COMPLY WITH ASTM C 270, PROPORTION SPECIFICATION, FOR TYPES OF MORTAR INDICATED
- COMPLY WITH ASTM C 270, PROPORTION SPECIFICATION, FOR JOB-MIXED MORTAR; AND
- ASTM C 1142 FOR READY-MIXED MORTAR, OF TYPES INDICATED BELOW. COMPLY WITH ASTM C 270, PROPERTY SPECIFICATION, FOR JOB-MIXED MORTAR; AND ASTM
- 1142 FOR READY-MIXED MORTAR, OF TYPES INDICATED BELOW. COMPLY WITH MBC-SECTION 2103 FOR MORTAR CEMENT TYPES INDICATED BELOW.
- COMPLY WITH BIA M1, PROPORTION SPECIFICATION, FOR TYPES OF MORTAR INDICATED
- LIMIT CEMENTITIOUS MATERIALS IN MORTAR TO PORTLAND CEMENT AND LIME.
- LIMIT CEMENTITIOUS MATERIALS IN MORTAR FOR EXTERIOR USE TO PORTLAND CEMENT AND
- E. FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH AND WHERE INDICATED, USE TYPE INDICATED BELOW:
- TYPE S
- F. FOR REINFORCED MASONRY AND WHERE INDICATED, USE TYPE INDICATED BELOW:
- FOR EXTERIOR ABOVE GRADE, LOAD-BEARING AND NON LOAD-BEARING WALLS AND PARAPET WALLS; FOR INTERIOR LOAD-BEARING WALLS; FOR INTERIOR NON LOAD-BEARING PARTITIONS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED, USE TYPE INDICATED BELOW:
- GROUT FOR UNIT MASONRY: COMPLY WITH ASTM C 476. USE GROUT OF CONSISTENCY INDICATED OR, IF NOT OTHERWISE INDICATED, OF CONSISTENCY (FINE OR COARSE) AT TIME OF PLACEMENT THAT WILL COMPLETELY FILL SPACES INTENDED TO RECEIVE GROUT
- USE FINE GROUT IN GROUT SPACES LESS THAN TWO (2)" (50 MM) IN HORIZONTAL DIMENSION, UNLESS OTHERWISE INDICATED.
- USE COARSE GROUT IN GROUT SPACES TWO (2)" (50 MM) OR MORE IN LEAST HORIZONTAL DIMENSION, UNLESS OTHERWISE INDICATED.
- REINFORCING STEEL: STEEL REINFORCING BARS WITH MATERIAL AND GRADE AS FOLLOWS:
- BILLET STEEL COMPLYING WITH ASTM A 615 (ASTM A 615M).
- DEFORMED REINFORCING WIRE: ASTM A 496, WITH ASTM A 153, CLASS B-2 ZINC COATING: WELDED-WIRE FABRIC: ASTM A 185.
- **HORIZONTAL JOINT REINFORCEMENT:** PROVIDE JOINT REINFORCEMENT FORMED FROM THE FOLLOWING:
- MILL GALVANIZED, ASTM A641.
- STAINLESS STEEL WIRE, ASTM A 580, TYPE 304 OR 316. DESCRIPTION: WELDED-WIRE UNITS PREFABRICATED WITH DEFORMED, CONTINUOUS SIDE RODS AND PLAIN CROSS RODS INTO STRAIGHT LENGTHS OF NOT LESS THAN 10' (3 M), WITH PREFABRICATED CORNER AND TEE UNITS, COMPLYING WITH REQUIREMENTS INDICATED BELOW:
- 1. WIRE DIAMETER: A. STANDARD DUTY: SIDE & CROSS RODS - 9 GA (0.148").
- 2. FOR SINGLE-WYTHE MASONRY, PROVIDE TYPE AS FOLLOWS WITH SINGLE PAIR OF SIDE
- A. LADDER DESIGN WITH PERPENDICULAR CROSS RODS SPACED NOT MORE THAN 16" (407 MM) ON CENTER (O.C.), OR
- B. TRUSS DESIGN WITH CONTINUOUS DIAGONAL CROSS RODS SPACED NOT MORE THAN 16" (407 MM) O.C.
- C. LOCATE HORIZONTAL REINFORCING AT EVERY THIRD COURSE VERTICALLY AND AT THE TOP AND BOTTOM OF EVERY OPENING, UNLESS NOTED OTHERWISE NOTED. TIES AND ANCHORS, GENERAL:
- PROVIDE TIES AND ANCHORS APPROPRIATE FOR THE APPLICATION THAT COMPLY WITH REQUIREMENTS FOR METAL AND SIZE NOTED HEREIN, UNLESS OTHERWISE INDICATED.
- B. WIRE AS FOLLOWS: 1.GALVANIZED CARBON-STEEL WIRE: ASTM A 82; WITH ASTM A 153, CLASS B-2 COATING FOR WIRE TIES AND ANCHORS IN EXTERIOR WALLS.
- MISCELLANEOUS MASONRY ACCESSORIES:
- PREFORMED CONTROL-JOINT GASKETS: MADE FROM STYRENE-BUTADIENE-RUBBER COMPOUND, COMPLYING WITH ASTM D 2000, DESIGNATION M2AA-805 OR PVC, COMPLYING WITH ASTM D 2287, TYPE PVC-65406 AND DESIGNED TO FIT STANDARD SASH BLOCK AND TO MAINTAIN LATERAL STABILITY IN MASONRY WALL; SIZE AND CONFIGURATION AS INDICATED.



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OWNER: DEVELOPER/
VILLAGE OF DUNDEE
MICHAEL HOFFMEISTE
350 WEST MONROE S'
DUNDEE, MI 48131
(734) 529-3430

SCALE* AS NOTED 11/17/25

301006 JOB NO.

SHEET NO.

PLOT DATE

Know what's **below**.

Call before you dig.

NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER. THIS DRAWING SHALL NOT BE DUPLICATED. MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2025.

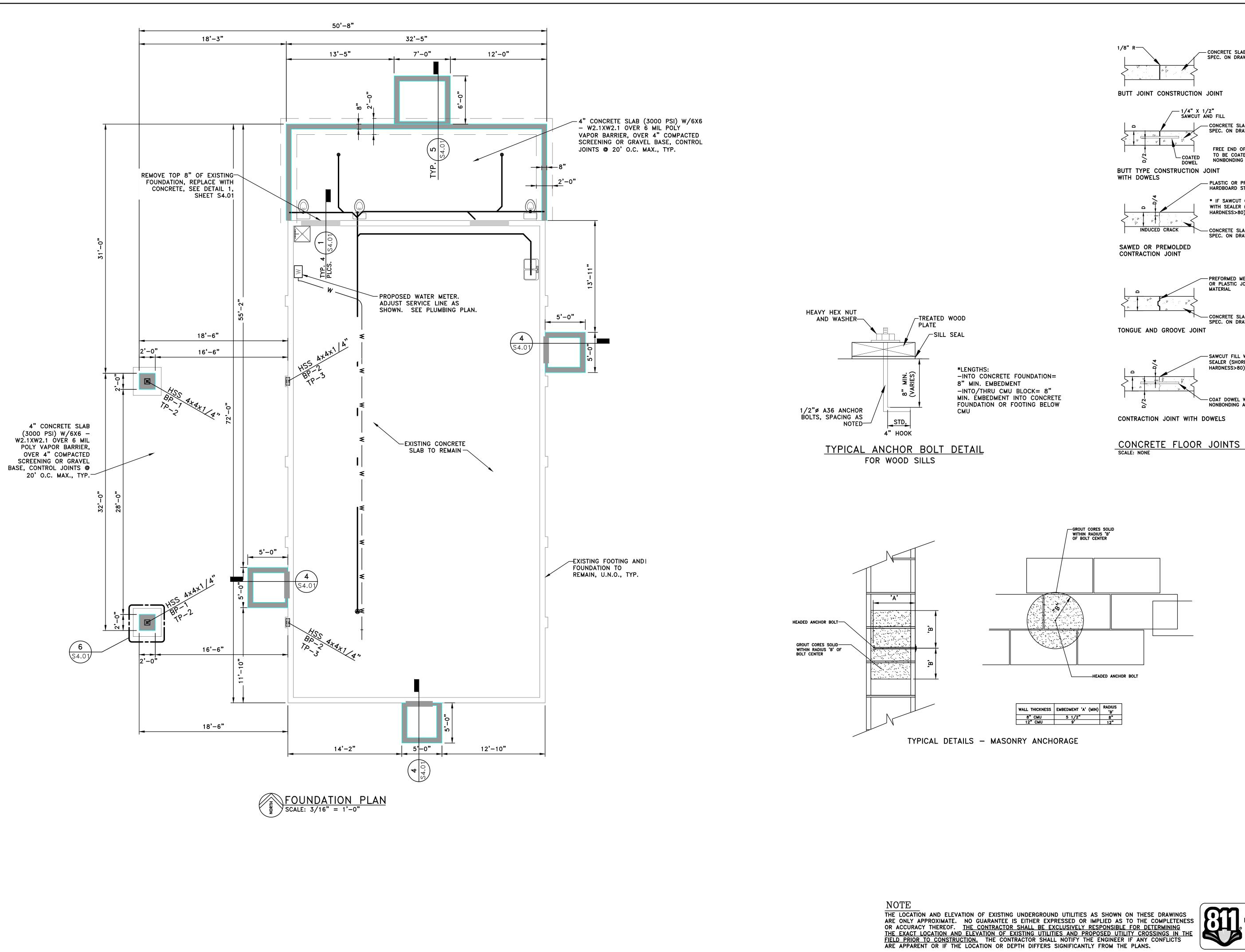
THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS

ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING

THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE

FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS

ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.



- CONCRETE SLAB AS SPEC. ON DRAWINGS BUTT JOINT CONSTRUCTION JOINT - 1/4" X 1/2" SAWCUT AND FILL — CONCRETE SLAB AS SPEC. ON DRAWINGS FREE END OF DOWEL TO BE COATED W/ NONBONDING AGENT BUTT TYPE CONSTRUCTION JOINT - PLASTIC OR PREFORMED HARDBOARD STRIP * IF SAWCUT ONLY, FILL WITH SEALER (SHORE HARDNESS>80) - CONCRETE SLAB AS SPEC. ON DRAWINGS — PREFORMED METAL OR PLASTIC JOINT MATERIAL - CONCRETE SLAB AS SPEC. ON DRAWINGS — SAWCUT FILL WITH SEALER (SHORE HARDNESS>80) — COAT DOWEL WITH NONBONDING AGENT

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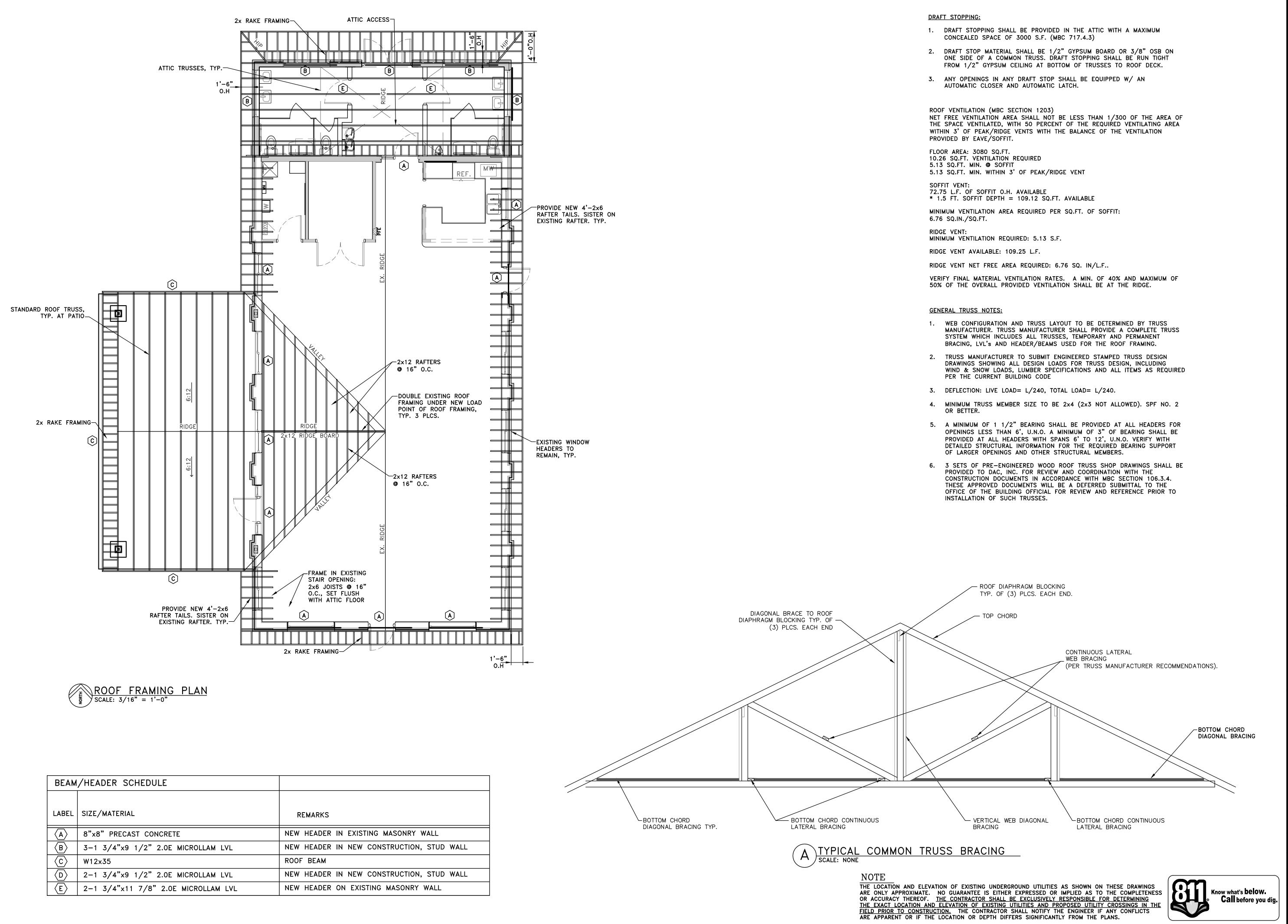
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65 VAN NEST STREET
NDEE, MICHIGAN 48131
OF DUNDEE, MONROE COUNTY
OF FRAMING

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NDEE
EISTER, VILLAGE MANAGER
SOE ST.
131

DEVELOPER/OW

VILLAGE OF DUNDEE

MICHAEL HOFFMEISTER, VI
350 WEST MONROE ST.

DUNDEE, MI 48131

ISSUE

ITEM COMMENT DATE BY

OWNER REVIEW 11/17/25 DAC

PLOT DATE 11/17/25

B NO. 301006

SHEET NO.

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