

GENERAL

Project: On The Riverbend: House II Bedroom Additions
 Location:
 Judd Road
 New Boston, Michigan

The Richert Family Complex is a 5.54 acre parcel of land located on the south side of the Huron River in Huron Township, just west of the CSX rail line, and on the north side of Judd Road.

The current project consists of two small additions to the existing House II bedroom suite.

SITE DATA

The density for the project is .5 unit per acre, 3 single family houses on 5.54 acres.

All structures to be built within setbacks indicated.

No building is less than 24' apart, side to side or front to side.

Current Lot Coverage is 13,605 SF (5.6% of entire site). Proposed Lot Coverage is 14,092 SF (5.8% of entire site). See building data below.

Refer to On the Riverbend Final Site Plan submittal 7 January 2019.

BUILDING DATA

HOUSE I (Existing)
 One Story Wood Frame, 3,050 GSF
 Lot Coverage: 4,440 sf*, 27' height

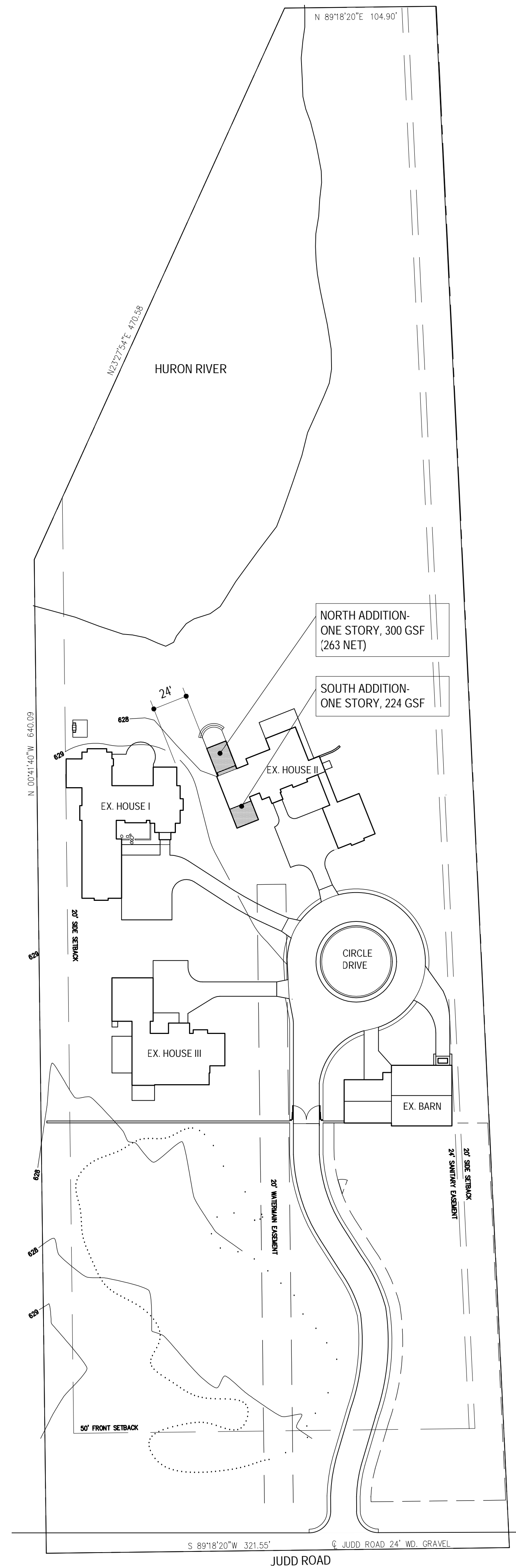
House II (WITH PROPOSED NET SF ADDITIONS, THIS PERMIT SET)
 Two Story Wood Frame, 3,387 GSF
 Lot Coverage: 3,587 sf*, 30' height

HOUSE III (Existing)
 Two Story Wood Frame, 2,950 GSF
 Lot Coverage: 3,265 sf*, 30' height

Barn (Existing)
 One Story Wood Frame, 2,785 GSF
 Lot Coverage: 2,800 sf*, 34' height

TOTAL Lot Coverage: 14,092 GSF - 5.8% of site

*Lot coverage includes covered porches, breezeways, garages



1 SITE PLAN
 A0.1 1"=50'-0"

DOOR SCHEDULE

CODE	ROOM	SIZE	TYPE	FIRE RATING	MATERIAL	THRESHOLD	HARDWARE SET	DETAIL	NOTES
D01	LANAI	(2) 2-6 X 6-10 PAIR (EXISTING RELOCATED)	B2	NONE	ALUM CLAD WD DR WD FRAME	ALUM			1, 2, 3, 4

NOTES

1. DOOR AND FRAME FOR PAINT FINISH
2. ALUMINUM CLAD EXTERIOR
3. PROVIDE SCREEN DOOR
4. RE-USE EXISTING HARDWARE OR MATCH EXISTING HARDWARE TYPE AND FINISH

HARDWARE SET

3 HINGES, IVES OR OWNER APPROVED EQUAL
 ENTRY LOCKSET, SCHLAGE OR OWNER APPROVED EQUAL
 DEADBOLT, SCHLAGE OR OWNER APPROVED EQUAL
 WALL STOP, IVES OR OWNER APPROVED EQUAL
 FLUSH BOLT AT PASSIVE LEAF
 WEATHER SEAL
 DOOR SWEEP, NGP OR OWNER APPROVED EQUAL
 THRESHOLD, ALUMINUM, NGP OR OWNER APPROVED EQUAL

WINDOW SCHEDULE

CODE	MFR./MODEL	TYPE	DESCRIPTION	size	COLOR	DETAIL	NOTES
01 - 02	TBD		ALUMINUM CLAD WOOD CASEMENT / TRANSOM LOW E, INSULATED	3-0 X 5-0 / 3-0 X 1-6	TBD STANDARD COLOR		1, 2, 3, 4
03	TBD		ALUMINUM CLAD WOOD FIXED / TRANSOM LOW E, INSULATED	3-0 X 5-0 / 3-0 X 1-6	TBD STANDARD COLOR		1, 2, 3
04 - 05	TBD		ALUMINUM CLAD WOOD CASEMENT / TRANSOM LOW E, INSULATED	3-0 X 5-0 / 3-0 X 1-6	TBD STANDARD COLOR		1, 2, 3, 4
06 - 07	EXISTING		ALUMINUM CLAD WOOD CASEMENT / TRANSOM (EXISTING RELOCATED UNITS)	2-6 X 5-0 / 2-6 X 1-6	TBD STANDARD COLOR		
08 - 09	TBD		ALUMINUM CLAD WOOD CASEMENT / TRANSOM LOW E, INSULATED	3-0 X 5-0 / 3-0 X 1-6	TBD STANDARD COLOR		1, 2, 3, 4
10	TBD		ALUMINUM CLAD WOOD FIXED / TRANSOM LOW E, INSULATED	3-0 X 5-0 / 3-0 X 1-6	TBD STANDARD COLOR		1, 2, 3
11 - 12	TBD		ALUMINUM CLAD WOOD FIXED (MATCH TRANSOM) LOW E, INSULATED	3-0 X 1-6	TBD STANDARD COLOR		1, 2, 3
13 - 16	TBD		ALUMINUM CLAD WOOD FIXED LOW E, INSULATED	2-6 X 2-6	TBD STANDARD COLOR		1, 2, 3

NOTES

1. VERIFY ALL OPENING SIZES IN THE FIELD.
2. ENERGY STAR RATED FOR NORTHERN ZONE REQUIRED PROPERTIES.
3. COLOR PER OWNER REPRESENTATIVE SELECTION FROM MANUFACTURER'S FULL RANGE OF STANDARD COLORS.
4. WINDOW OPERATING HARDWARE AND LOCKING DEVICES SHALL BE PER OWNER REPRESENTATIVE SELECTION FROM MANUFACTURER'S FULL RANGE OF STANDARD OPTIONS. FINISH SHALL BE PER OWNER REPRESENTATIVE SELECTION FROM MANUFACTURER'S FULL RANGE OF STANDARD FINISH OPTIONS.
5. BASIS OF DESIGN:
WEATHERSHIELD SIGNATURE SERIES ALUMINUM CLAD WOOD WINDOWS, LOW E, INSULATED.

REFER TO ELEVATIONS SHEET A2.1 FOR DOOR AND WINDOW TYPES

ROOM FINISHES

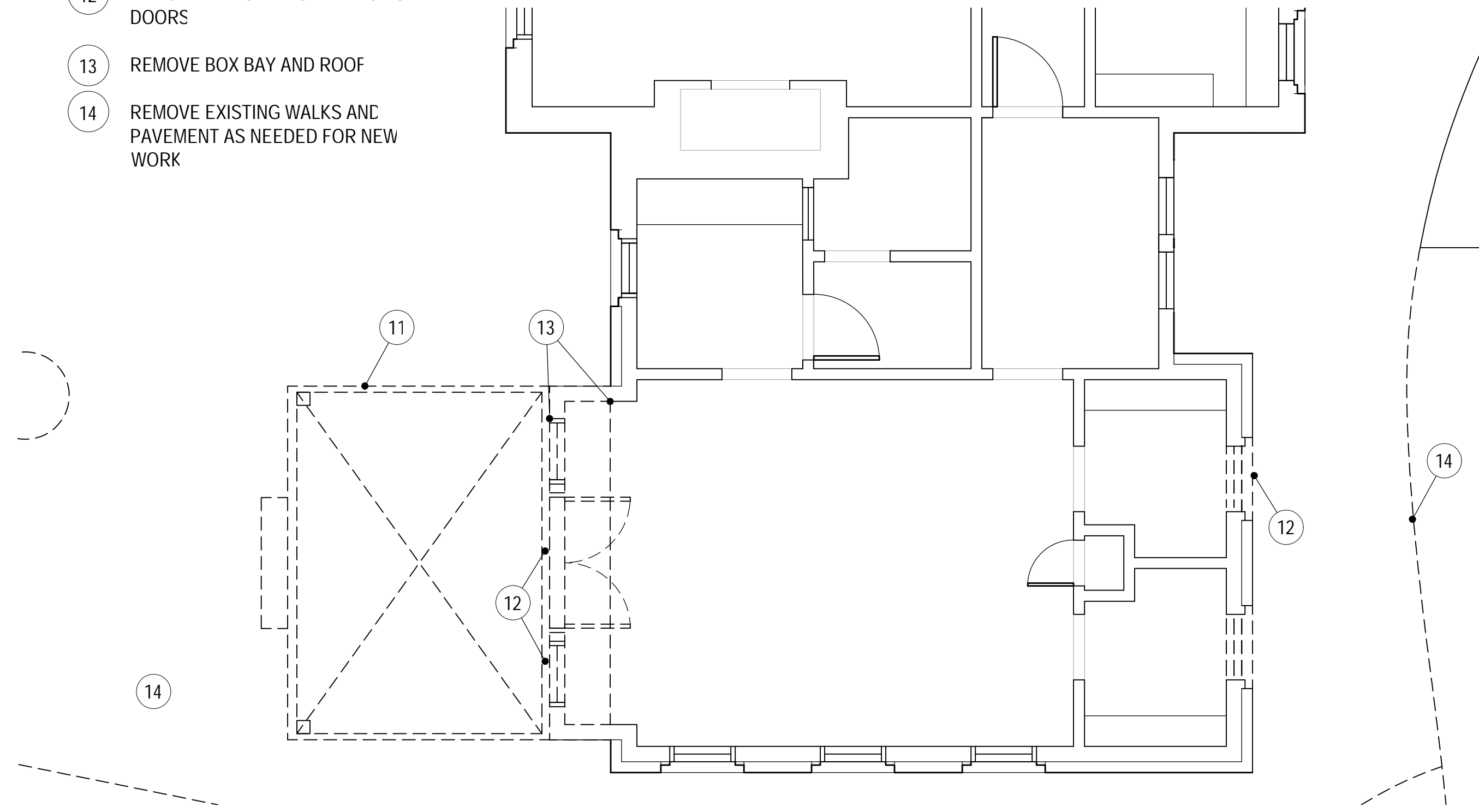
NO.	ROOM NAME	FLOOR	BASE	CEILING	TRIM	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL
001	CLOSET	WFL	WB	GBP	MATCH	SV EXISTING	GBP	GBP	GBP
002	CONSERVATORY	WFL	WB	GBP	MATCH	GBP	GBP		GBP

FINISH CODES:

GBP GYP BD PAINTED
 WFL WOOD FLOORING - REVIEW WITH OWNER
 WB WOOD WALL BASE FOR PAINT FINISH
 SV STONE VENEER

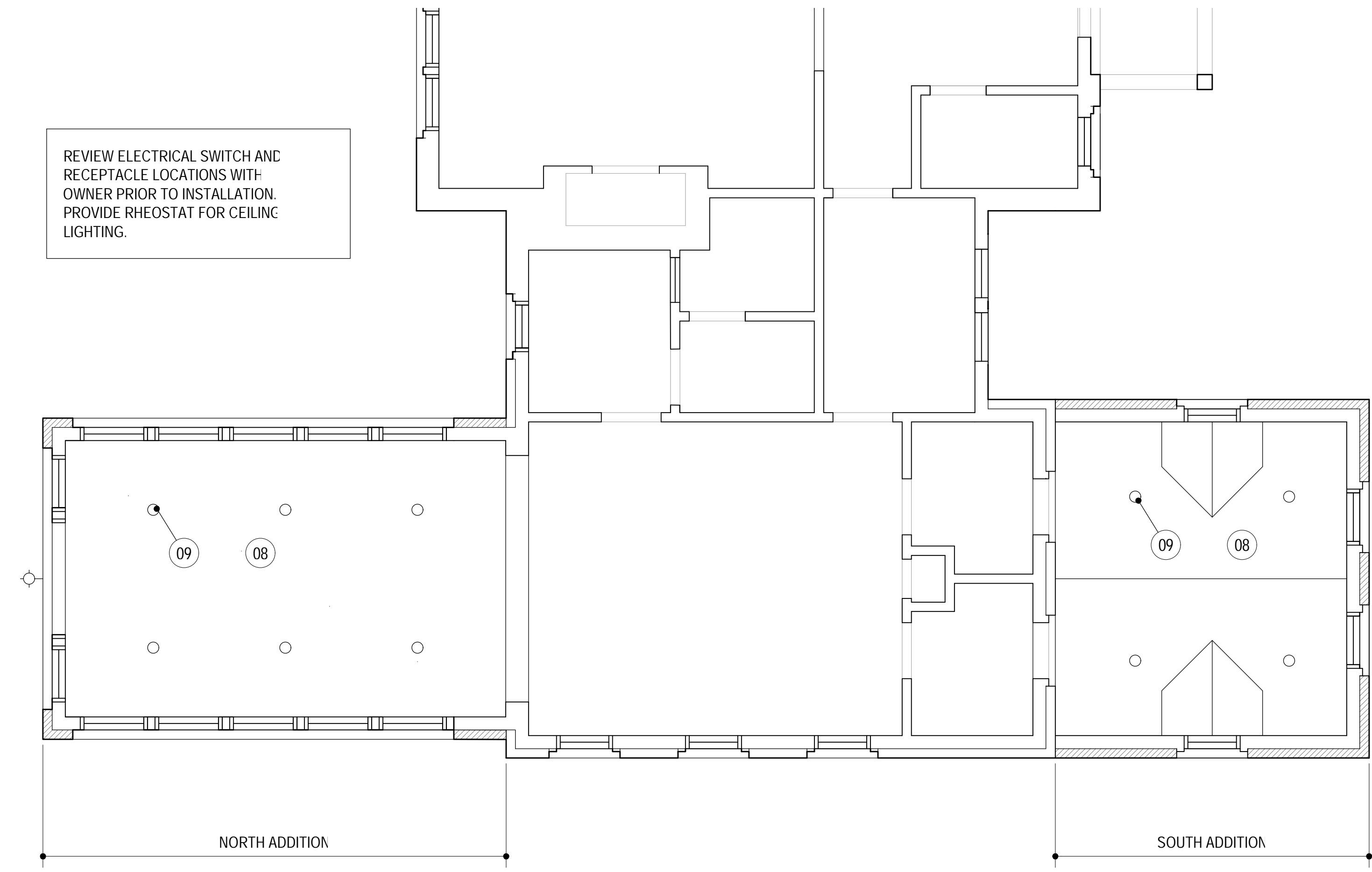
DEMOLITION KEY

- 11 REMOVE PORCH
- 12 REMOVE AND SALVAGE WINDOWS AND DOORS
- 13 REMOVE BOX BAY AND ROOF
- 14 REMOVE EXISTING WALKS AND PAVEMENT AS NEEDED FOR NEW WORK



3 DEMOLITION PLAN
A1.0 1/4"=1'-0" 0 4'-0"

REVIEW ELECTRICAL SWITCH AND RECEPTACLE LOCATIONS WITH OWNER PRIOR TO INSTALLATION. PROVIDE RHEOSTAT FOR CEILING LIGHTING.



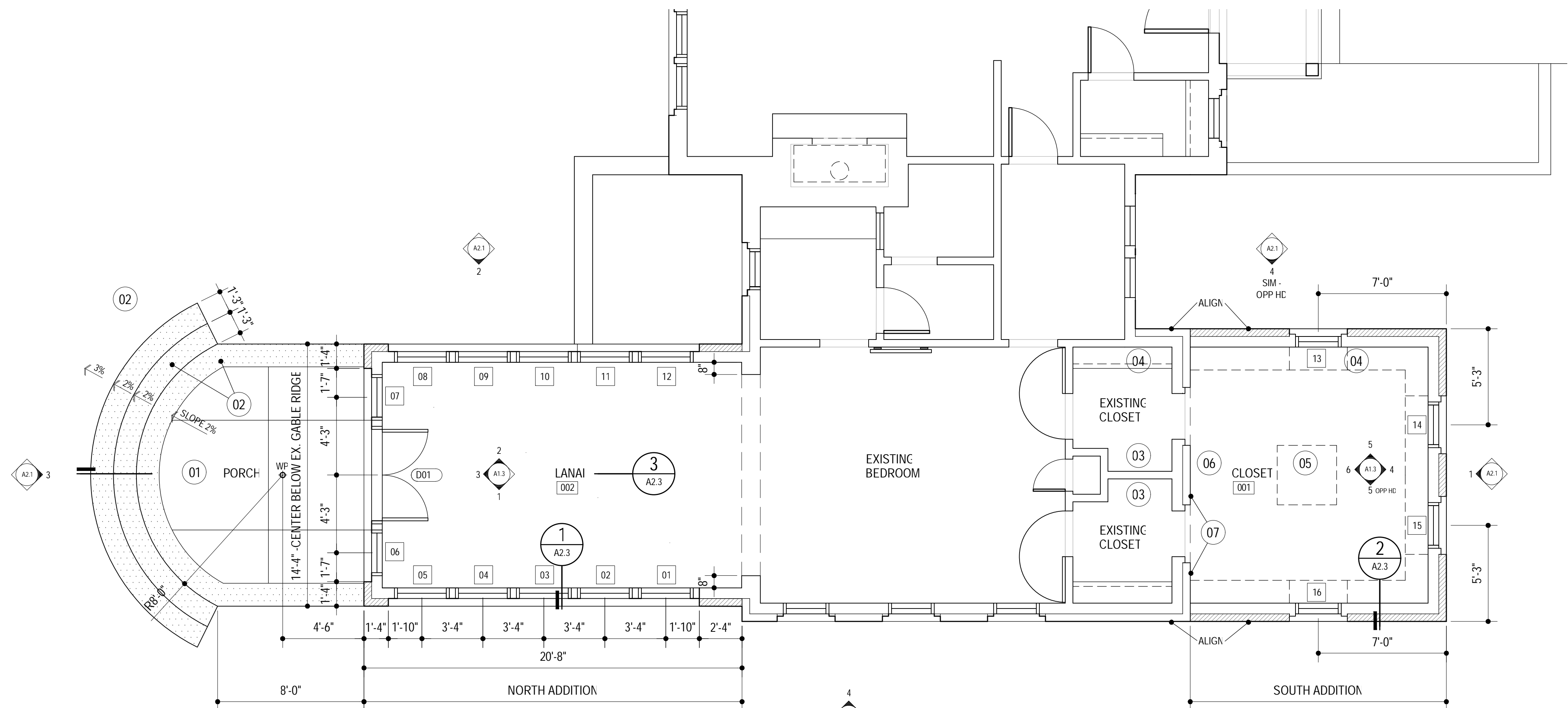
2 CEILING PLAN
A1.0 1/4"=1'-0" 0 4'-0"

KEY

- 01 CONCRETE PORCH
- 02 STONE PORCH BORDER AND STEPS (SHADED AREA)
- 03 NEW BUILT-IN 15" DEEP WARDROBE STORAGE
- 04 SHELF AND HANGER ROD
- 05 OPTIONAL BACK TO BACK DRESSER OR SEAT
- 06 MIRROR
- 07 EXISTING LIMESTONE VENEER TO REMAIN
- 08 GYPSUM BOARD CEILING PAINTED- TYP
- 09 RECESSED LED LIGHT FIXTURE- TYP

SYMBOLS

- 00 WINDOW CODE- REFER TO SHEET A.01
- 000 DOOR CODE- REFER TO SHEET A.01



1 FLOOR PLAN
A1.0 1/4"=1'-0" 0 4'-0"

KEY

- 01 FOUNDATION
- 02 LINE OF FOOTING BELOW
- 03 CRAWL SPACE ACCESS
- 04 MASONRY SHELF
- 05 EXISTING CRAWLSPACE FOUNDATION TO REMAIN

FRAMING GENERAL NOTES

HDR: BUILT UP HEADERS SHALL BE ATTACHED WITH CONSTRUCTION GLUE AND GRK SCREWS AT 10" O.C. STAGGERED. BUILT UP HEADERS SHALL HAVE THE FOLLOWING CONSTRUCTION UNLESS NOTED OTHERWISE:
 2X6 WALL - (3) 2X10 + (2) 1/2" PLYWOOD FOR 5 1/2" TOTAL WIDTH

ALL HEADERS SHALL HAVE A MINIMUM (2) 2X JACK STUDS AT BEARING ENDS.

FOOR DL = 22 PSF, ROOF LL = 40 PSF.

AT HEADERS TO SUPPORT LIMESTONE VENEER, PROVIDE L5 X 3 1/2 X 1/4" (LLV) BRICK ANGLE WITH 5 1/16" DIAMETER X 3 1/8" GRK SCREWS @ 16" O.C. INTO HEADER.

TYPICAL POST: (2) 2X6 OR 2X STUD POST WITH NUMBER OF PLYS EQUAL TO SUPPORTED GIRDER OR HEADER UNLESS NOTED OTHERWISE.

ROOF SHEATHING SHALL BE 1/2" APA RATED T&G OSB. ATTACH TO WOOD FRAMING WITH CONSTRUCTION GLUE AND 8D NAIL @ 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING.

EXTERIOR WALL SHEATHING SHALL BE 1/2" APA RATED T&G OSB. ATTACH TO WOOD FRAMING WITH 8D NAIL @ 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING.

FLOOR SHEATHING SHALL BE 3/4" APA RATED T&G PLYWOOD. ATTACH TO WOOD FRAMING WITH CONSTRUCTION GLUE AND 2" #8 WOOD SCREWS OR 8D NAIL @ 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING.

FOUNDATION GENERAL NOTES

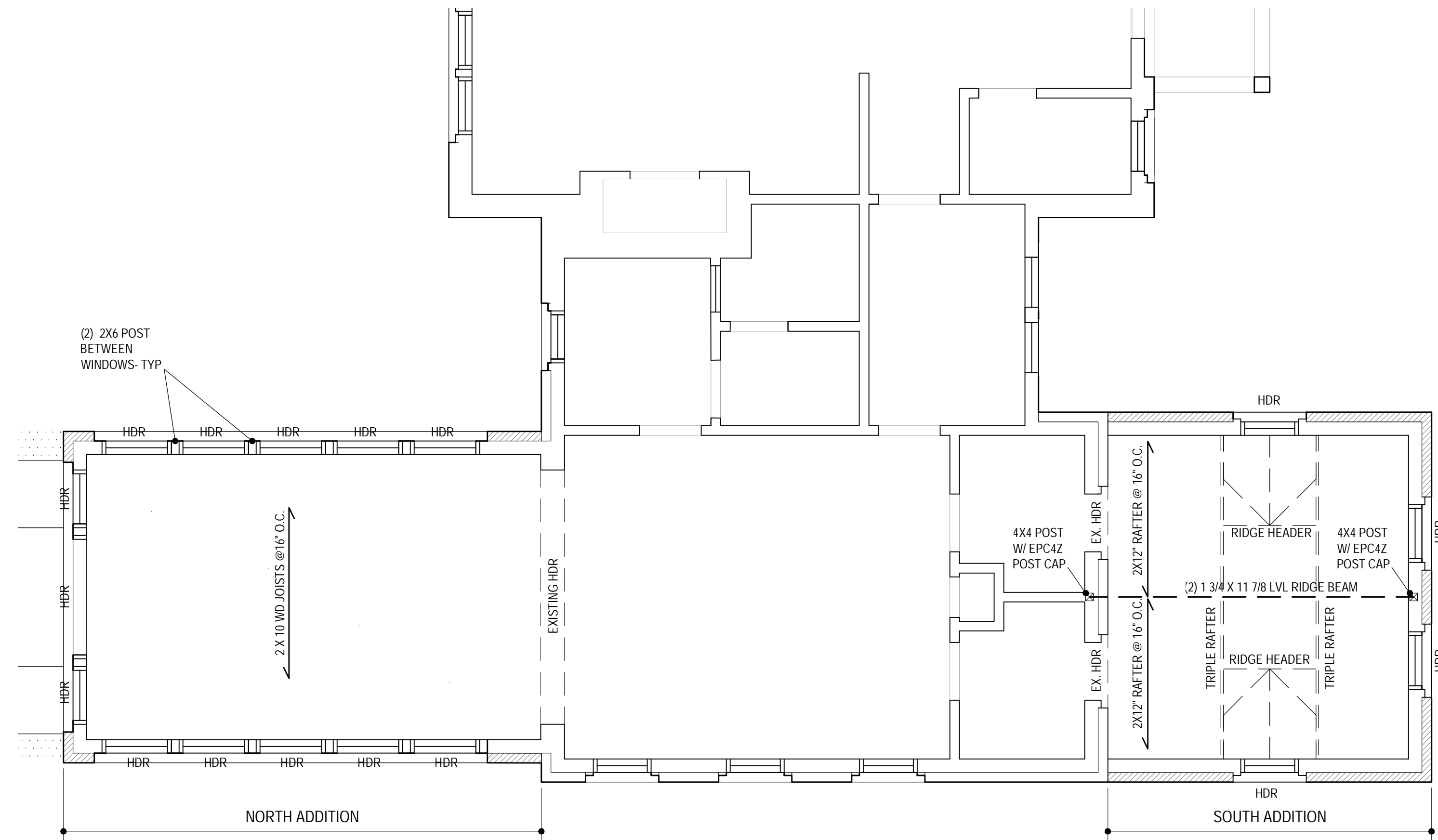
FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL OR ENGINEERED FILL WITH AN ASSUMED SAFE BEARING CAPACITY OF 2,000 PSF. ALLOWABLE SOIL BEARING PRESSURE SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED SOILS ENGINEER.

PROVIDE EMBEDDED ANCHOR BOLTS AT BEARING WALLS. USE 5/8" DIAMETER x 12" @ 6'-0" O.C. AND WITHIN 12" OF END OR CORNER OF WALLS.

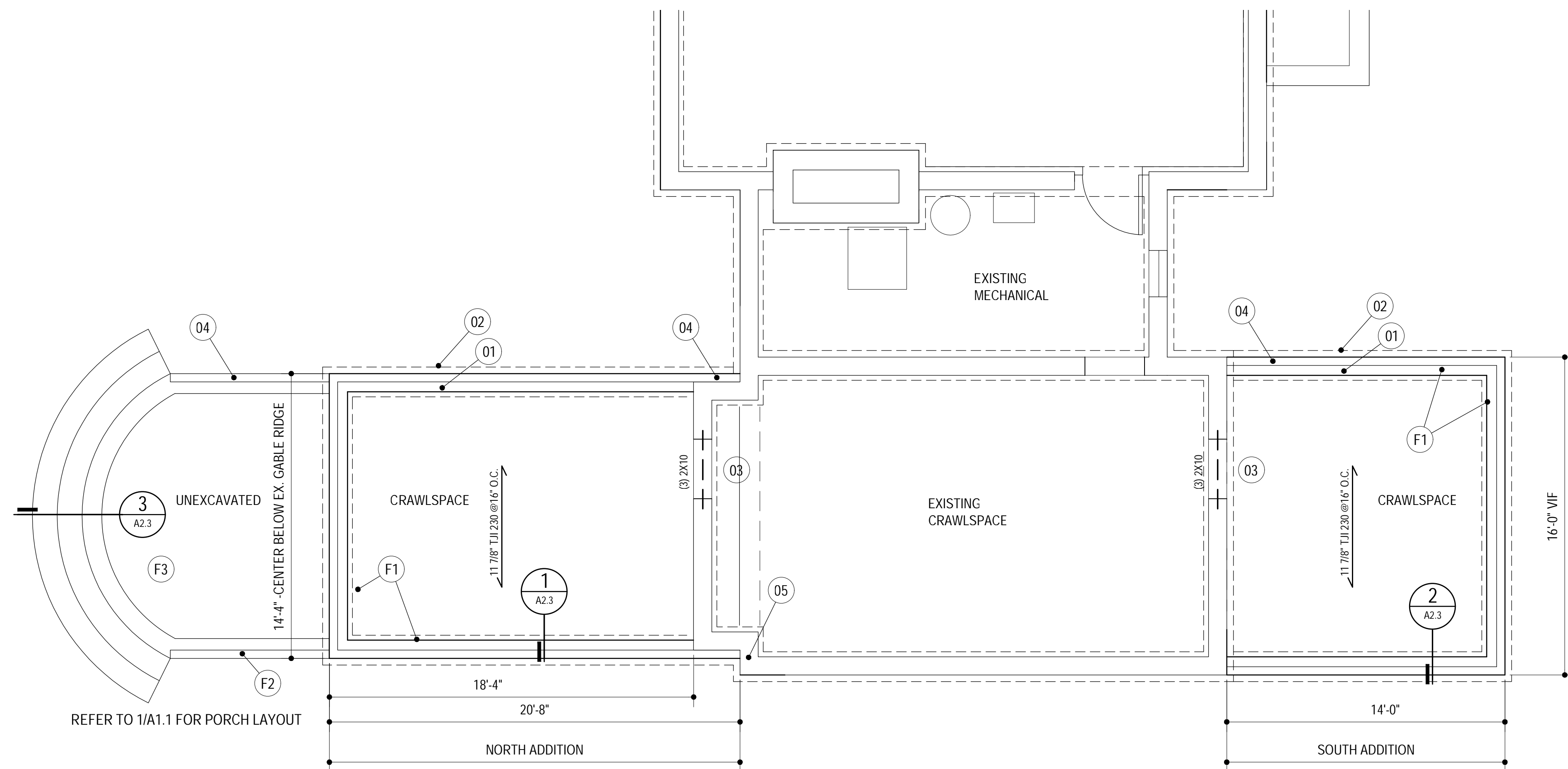
CONTRACTOR SHALL BE AWARE OF AND VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, VAULTS, ETC. DUE CARE SHALL BE EXERCISED DURING EXCAVATION SUCH THAT EXISTING UTILITIES ARE NOT DAMAGED.

FOUNDATION KEY

- F1 12" CONC WALL W/ #5 @14" O.C. VERTICAL AND #5 @12" O.C. HORIZONTAL ON 18"W X 12"D STRIP FOOTING W/ (2) #5 CONT. PROVIDE DOWELS #5 @14" O.C. 36"X12" TYP. (TYP CRAWLSPACE)
- F2 12"W TRENCH FOOTING TO CRAWLSPACE FOUNDATION DEPTH W/ (3) #5 T&B
- F3 4" CONCRETE SLAB W/ 6X6 W1.4 X X W1.4 WWF OVER 8" GRANULAR FILL.



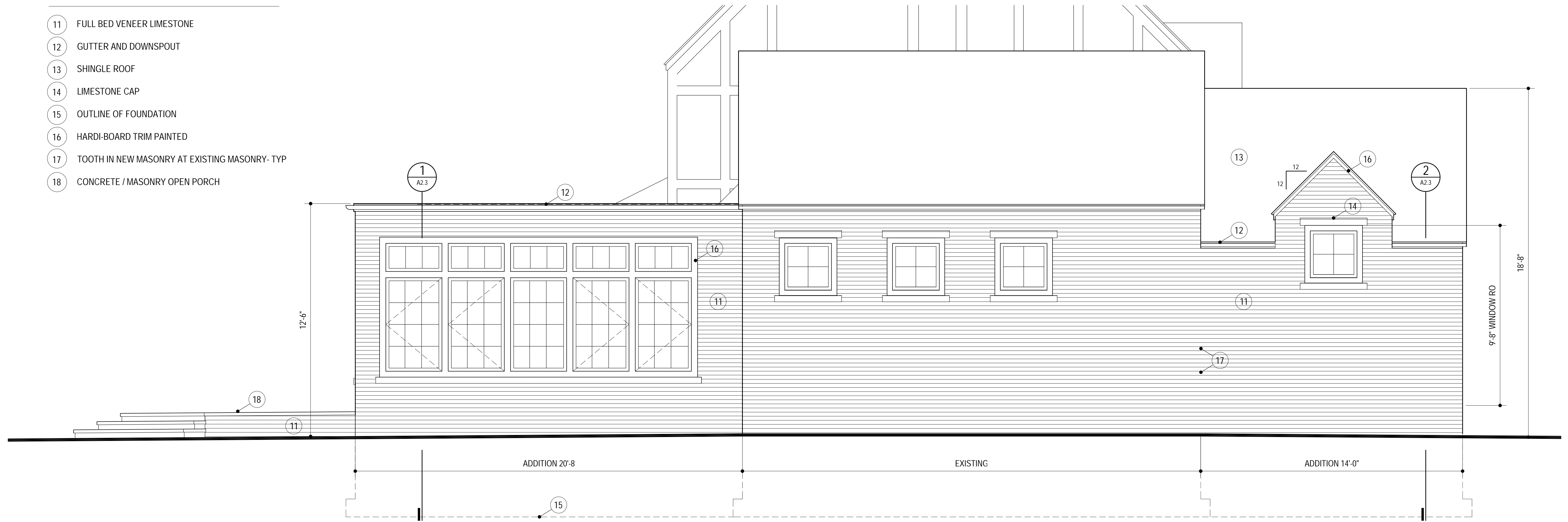
2 FRAMING PLAN
 A1.1 1/4"=1'-0" 0 4'-0"



1 FOUNDATION PLAN
 A1.1 1/4"=1'-0" 0 4'-0"

KEY

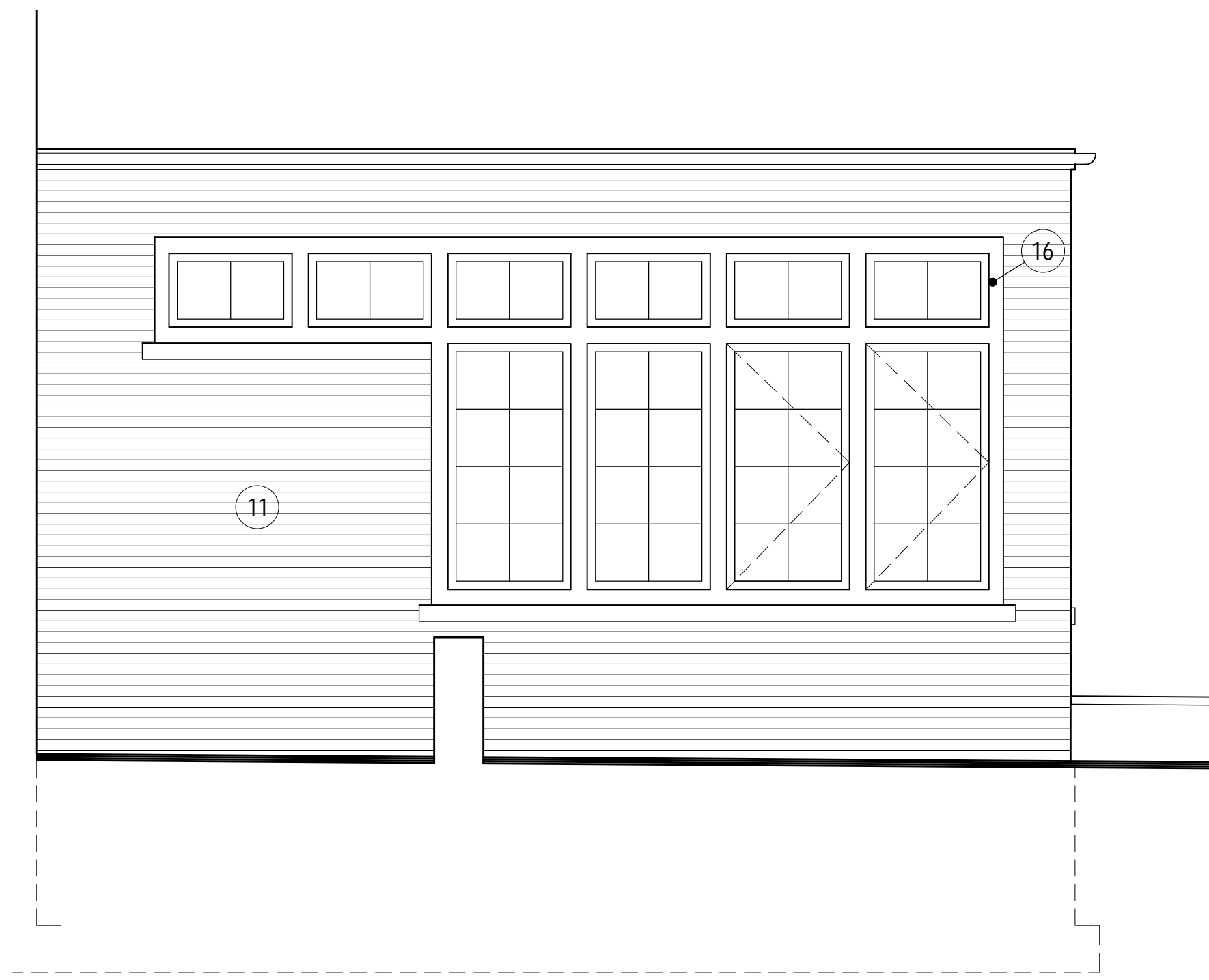
- 11 FULL BED VENEER LIMESTONE
- 12 GUTTER AND DOWNSPOUT
- 13 SHINGLE ROOF
- 14 LIMESTONE CAP
- 15 OUTLINE OF FOUNDATION
- 16 HARDI-BOARD TRIM PAINTED
- 17 TOOTH IN NEW MASONRY AT EXISTING MASONRY- TYP
- 18 CONCRETE / MASONRY OPEN PORCH



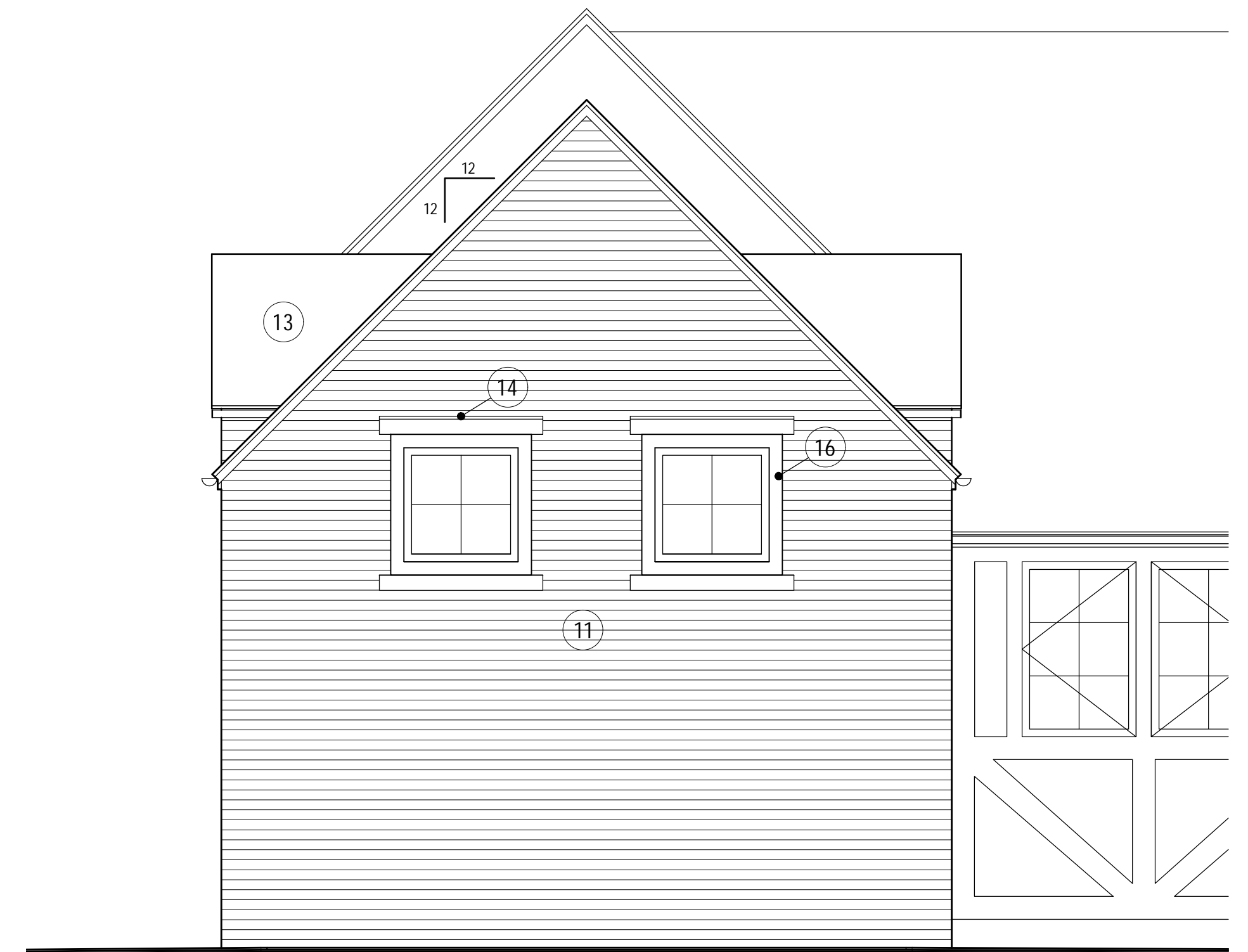
4 WEST ELEVATION
 A2.1 3/8"=1'-0" 0 4'-0"



3 NORTH ELEVATION
 A2.1 3/8"=1'-0" 0 4'-0"



2 EAST ELEVATION
 A2.1 3/8"=1'-0" 0 4'-0"



1 SOUTH ELEVATION
 A2.1 3/8"=1'-0" 0 4'-0"

KEY

- 01 GYP BD PAINTED
- 02 WOOD TRIM PAINTED
- 03 WOOD WALL BASE PAINTED- TYP
- 04 BUILT IN MILLWORK (BY OTHERS)
- 05 BUILT IN SHELF AND HANGER ROD (BY OTHERS)
- 06 RIDGE BEAM- SEE FRAMING PLAN

KEY

SILVERI ARCHITECTS
 650 LIVERNOIS FERNDALE, MICHIGAN 48220
 (248) 591-0360
 silveri.com

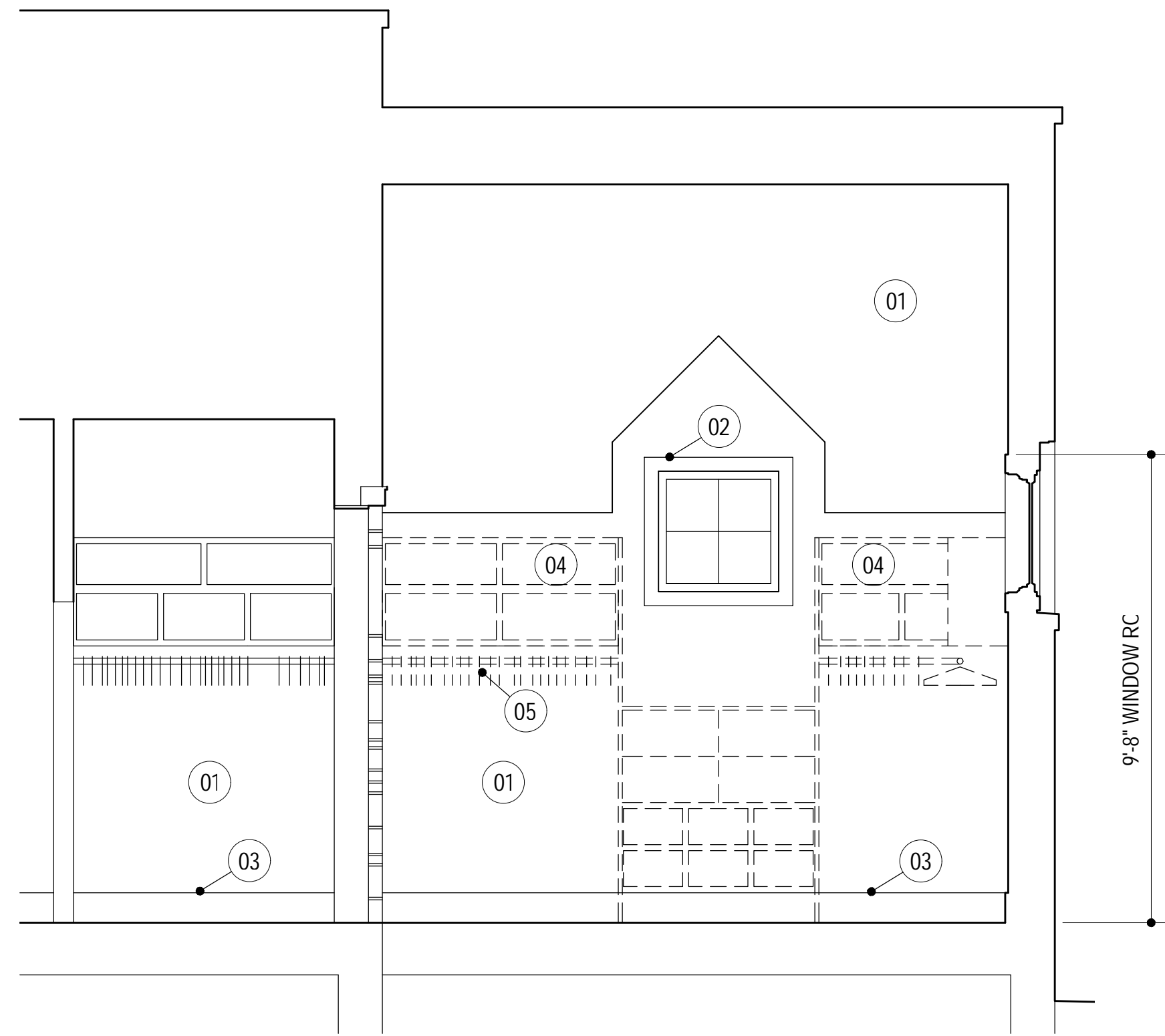
DATE
 10-28-25
 11-12-25

ISSUE
 REVIEW 2
 PERMIT

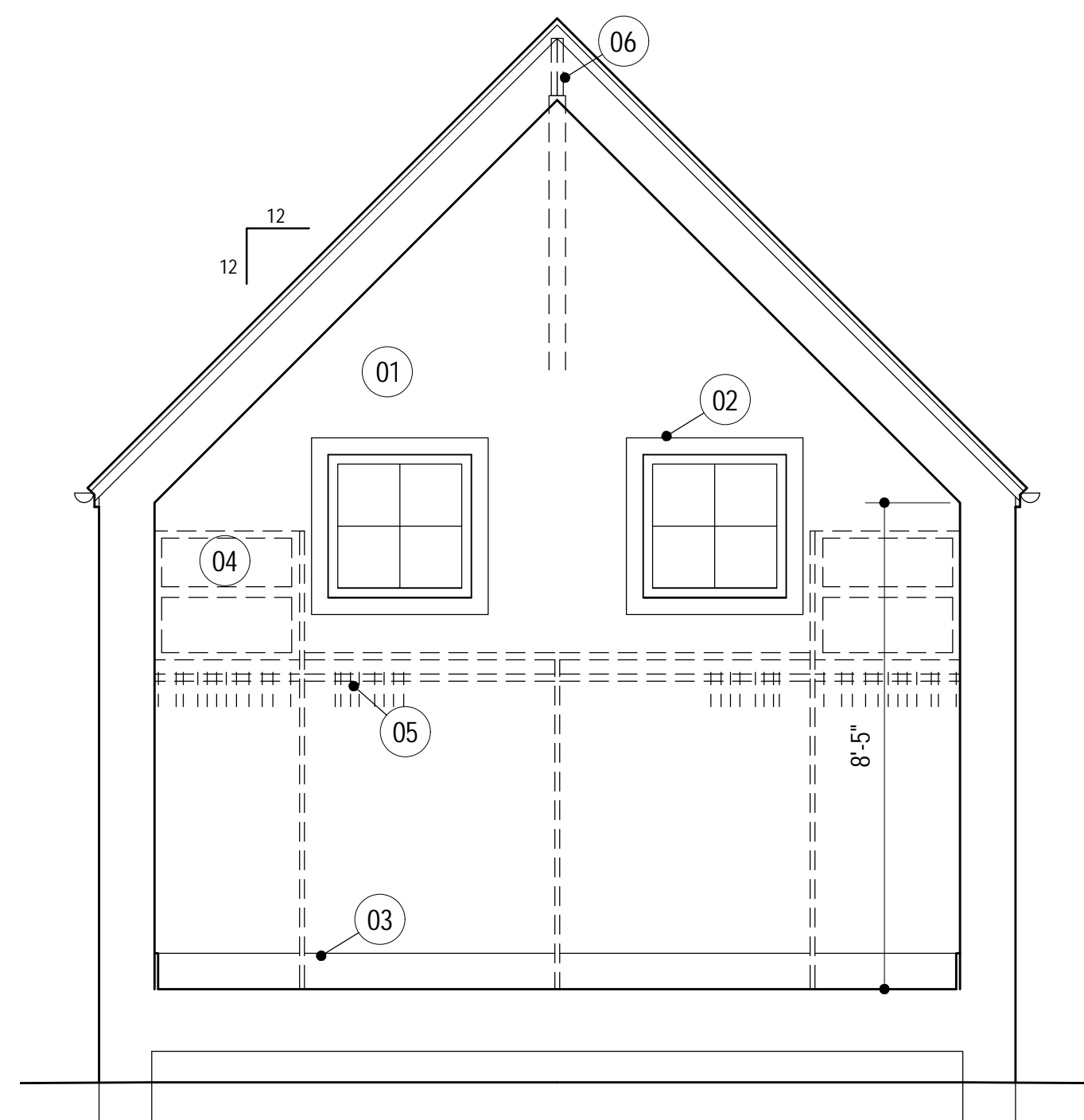
PROJECT
 On the Riverbend HOUSE II
 36516 Judd Road
 New Boston, MI

TITLE
 INTERIOR ELEVATIONS

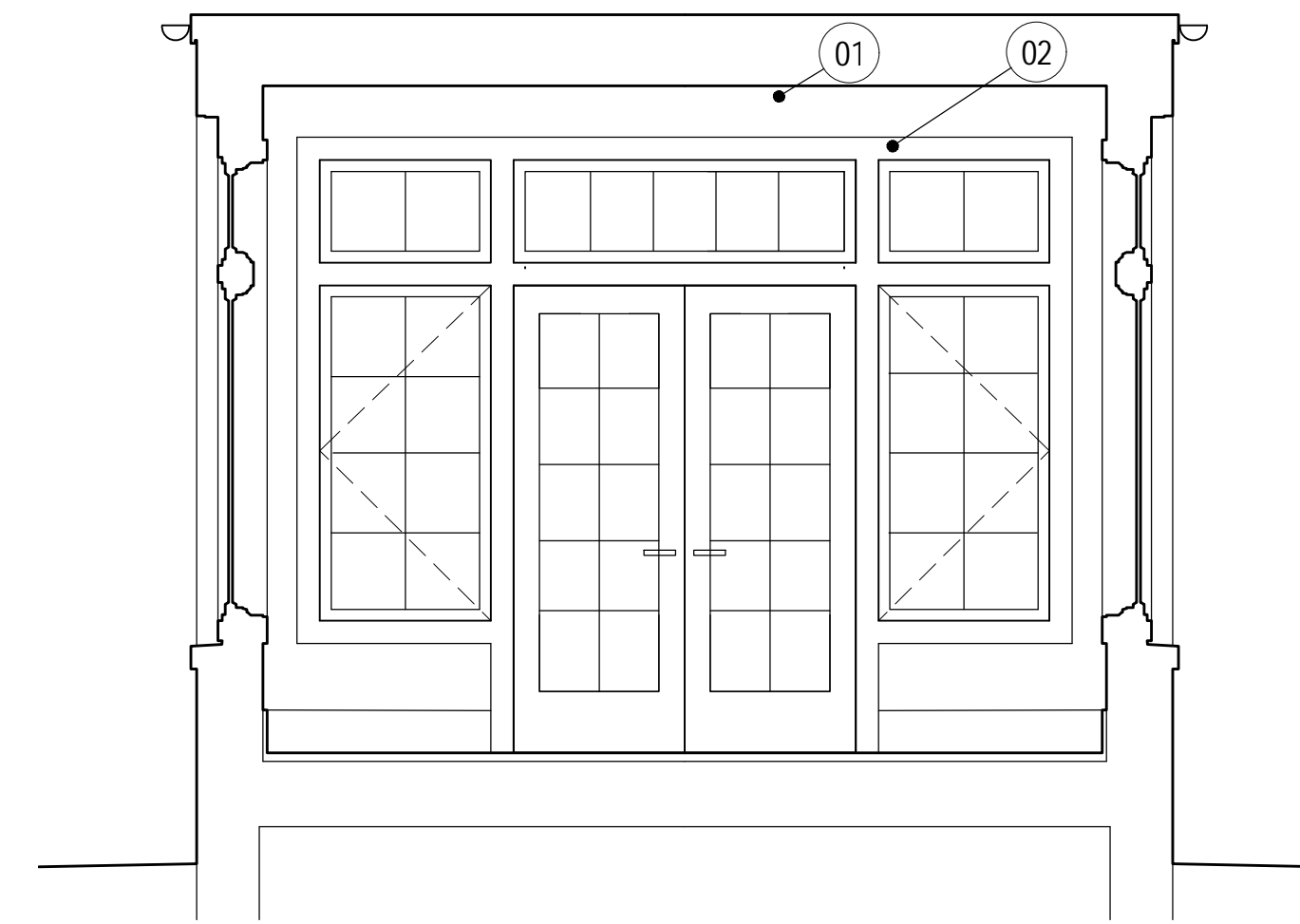
SHEET
 A2.2



5 CLOSET
 A2.2 3/8"=1'-0" 0 4'-0"



4 CLOSET
 A2.2 3/8"=1'-0" 0 4'-0"



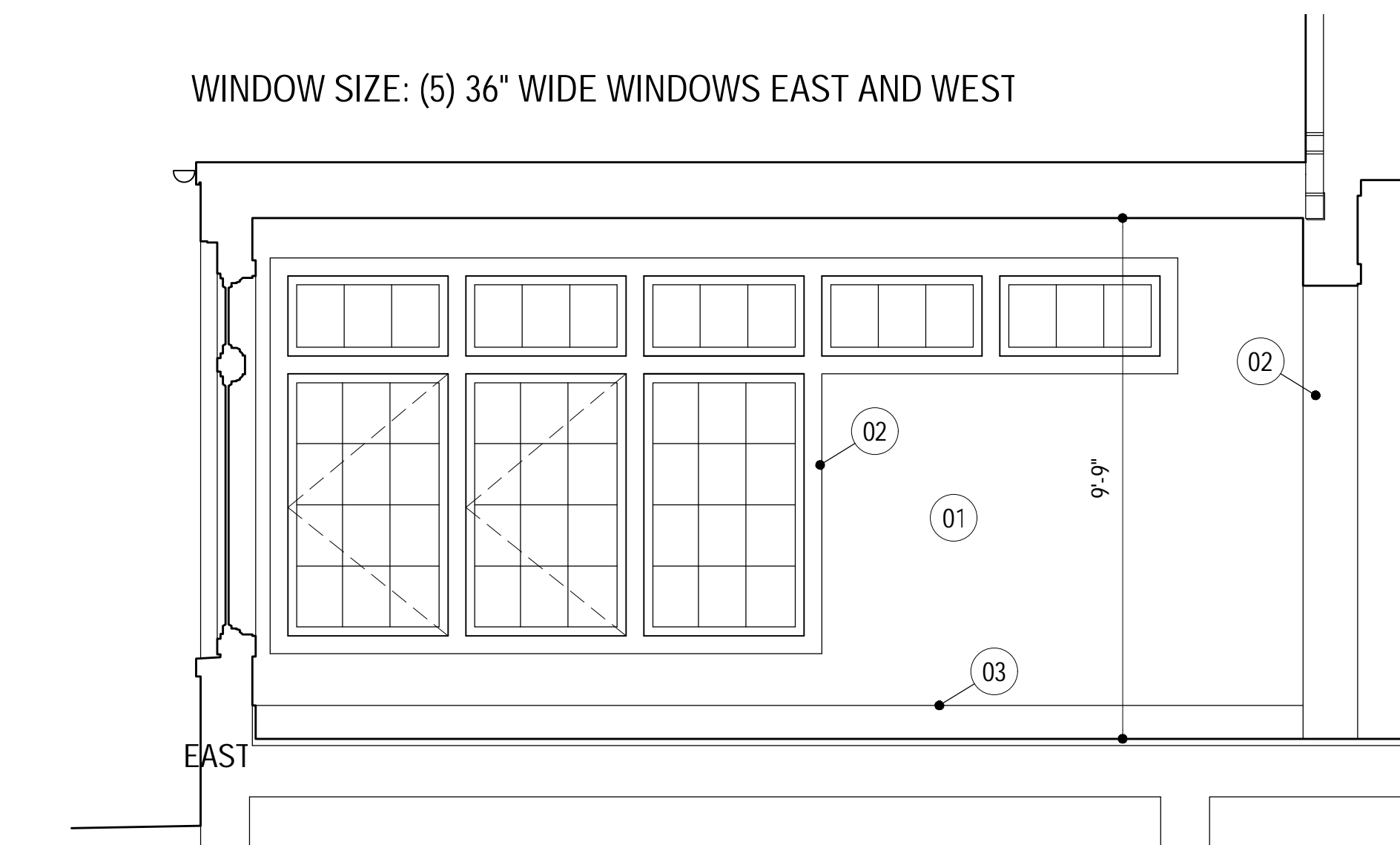
3 LANAI
 A2.2 3/8"=1'-0" 0 4'-0"

ALTERNATE WINDOW SIZE

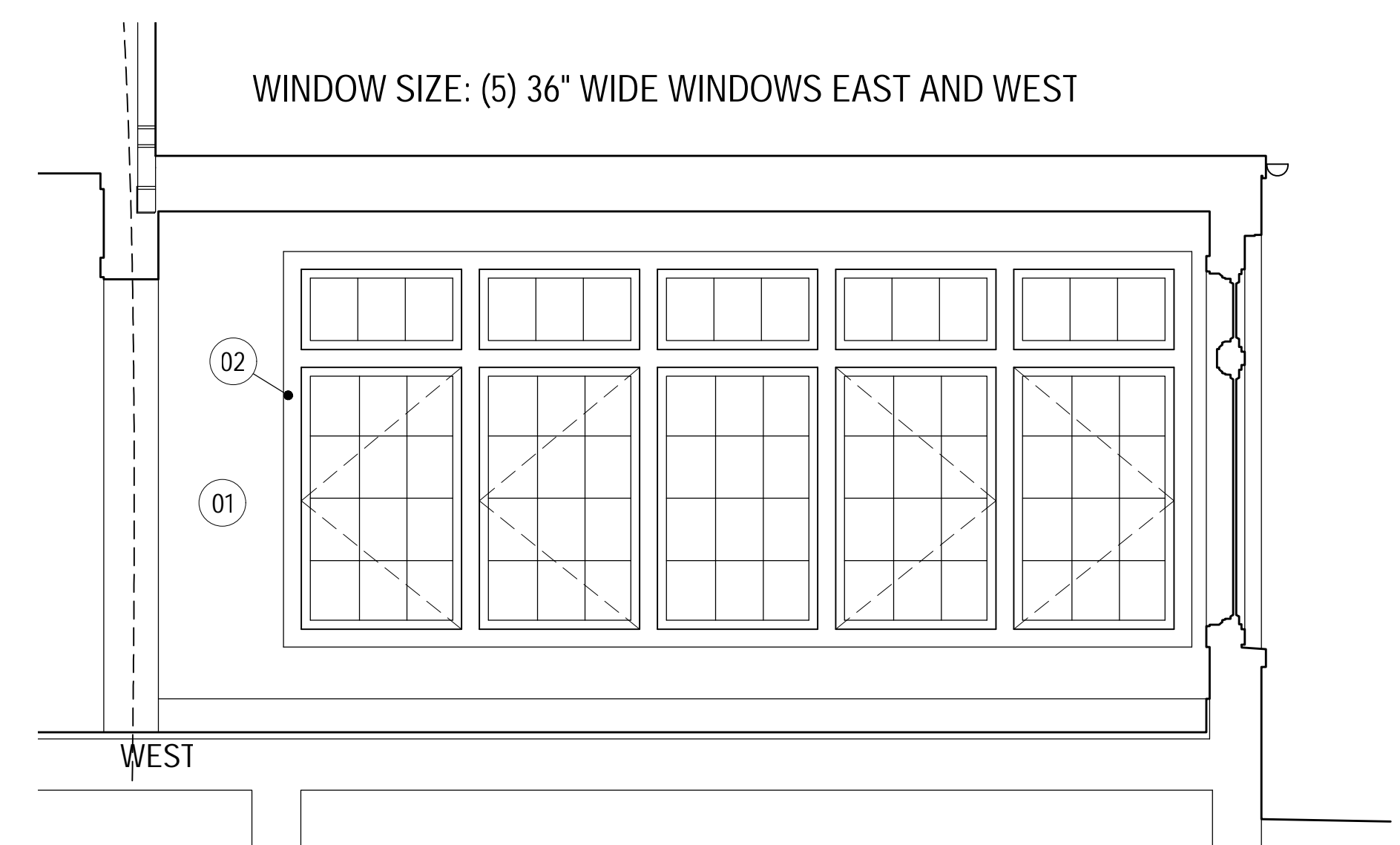


2A LANAI
 A2.2 3/8"=1'-0" 0 4'-0"

1A LANAI
 A2.2 3/8"=1'-0" 0 4'-0"



2 LANAI
 A2.2 3/8"=1'-0" 0 4'-0"



1 LANAI
 A2.2 3/8"=1'-0" 0 4'-0"

1). GENERAL REQUIREMENTS

1. SCOPE: THE SCOPE OF THE WORK SHALL INCLUDE THE HOUSE AND RELATED SURROUNDING SITEWORK INDICATED IN THE DRAWINGS. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT FOR THE REQUIRED SITE WORK, CONCRETE, CARPENTRY, ELECTRICAL, PLUMBING AND HEATING, NECESSARY FOR THE COMPLETION OF THIS PROJECT. ALL POST CONTRACT LABOR AND MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO EXECUTION. ANY DEVIATION FROM THE PLANS AND SPECIFICATIONS INVOLVING AN EXTRA CHARGE OR A CREDIT MUST BE AGREED UPON IN WRITING BETWEEN THE CONTRACTING PARTIES PRIOR TO EXECUTION OF THE WORK.

2. ALL WORK SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEMEN OF RESPECTED TRADES.

3. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

4. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL PLAN DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE ON THE SITE PRIOR TO CONSTRUCTION.

5. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROPER STORAGE OF MATERIALS, TOOLS, AND EQUIPMENT. MATERIALS SHALL BE PROTECTED FROM THE WEATHER AND SHALL BE STORED OFF THE GROUND FOR PROTECTION AGAINST STANDING WATER OR SNOW, AS NECESSARY.

6. ALL BUILDINGS MATERIALS SHALL BE OF A GOOD QUALITY, GRADE, FINISH AND COLOR SPECIFIED.

7. SUBCONTRACTORS SHALL VERIFY LOCATION OF ALL GAS, ELECTRIC, SEWER, AND WATER LINES BEFORE TRENCHING OR EXCAVATING. ALL UTILITIES SHALL BE RUN UNDERGROUND.

8. THE CONTRACTOR SHALL PROVIDE LIABILITY, PROPERTY DAMAGE, AND WORKMAN'S COMPENSATION INSURANCE IN FULL UNTIL COMPLETION OF THE WORK. EVIDENCE OF INSURANCE SHALL BE FURNISHED TO THE OWNER BY THE INSURANCE COMPANY UPON REQUEST.

9. MANUFACTURER'S WARRANTIES APPLYING TO ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE BUILDING SHALL BE FORWARDED TO THE OWNER.

10. PROVIDE TEMPORARY SHORING AND BRACING AS REQUIRED.

2). SITE WORK GOALS

LANDSCAPE

1. EXISTING SITE TOPOGRAPHY AND VEGETATION AROUND AREAS OF CONSTRUCTION SHALL BE PRESERVED TO THE EXTENT POSSIBLE. LIMIT ALL UNNECESSARY IMPACT TO THE SITE. PROTECT AND PRESERVE EXISTING TREES TO THE EXTENT POSSIBLE.

GRADING/EARTHWORK

1. PROVIDE NECESSARY PRECAUTIONS TO PREVENT SOIL EROSION.

2. STOCKPILE TOPSOIL PRIOR TO EXCAVATION FOR REUSE OVER REGRADED AND BACKFILLED AREAS.

SITE WORK

1. BACK-FILLING MATERIAL SHALL BE FREE OF DEBRIS, ORGANIC MATERIAL AND SILT. BACK-FILL SHALL BE GOOD QUALITY WELL DRAINING SAND OR GRAVEL FOR A MINIMUM 1.5 FEET BACK FROM FACE OF WALL. PRIOR TO BACKFILLING WALLS SHALL BE LATERALLY BRACED BY THE FLOOR FRAMING AT THE TOP AND THE BASEMENT SLAB AT THE BOTTOM OR OTHER ADEQUATE TEMPORARY BRACING.

2. BASE FILL FOR CONCRETE SLABS SHALL BE GRADED SAND, FREE OF ORGANIC MATTER. PROVIDE A MINIMUM OF 8" CLEAN GRANULAR FILL UNDER THE SLAB.

3. COMPACTED SOIL: FILL PLACED WITHIN THE BUILDING AND ALTERED AREA MUST BE COMPACTED TO A MINIMUM OF 90% OF THE MODIFIED PROCTOR DENSITY (ASTM: D1557-78). VERIFY WITH STRUCTURAL ENGINEER.

4. CONTRACTOR SHALL PROVIDE FOR JOBSITE CLEANUP. SORT AND RECYCLE JOB SITE DEBRIS TO THE FULLEST EXTENT POSSIBLE INCLUDING: CONCRETE, STEEL, WOOD, AND GYPSUM PLASTER. CLEAN AND REMOVE CONSTRUCTION DEBRIS FROM THE SITE ON A DAILY BASIS. UPON JOB COMPLETION, THE CONTRACTOR IS TO SWEEP THE SITE OF NAILS AND ALL OTHER CONSTRUCTION DEBRIS.

3). CONCRETE

1. SUBSURFACE PREPARATION: CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FOOTINGS BEAR ON VIRGIN SOIL OR ON PROPERLY COMPACTED FILL OF WELL DRAINING GRANULAR QUALITY, CAPABLE OF SUSTAINING ASSUMED BEARING PRESSURE AS INDICATED. IF IN DOUBT CONTRACTOR SHALL OBTAIN ASSISTANCE OF SOILS ENGINEER. PROVIDE SOIL COVER ABOVE FOOTING BEARING FOR FROST PROTECTION. ALL FOOTINGS TO BE ADEQUATELY PROTECTED FROM FROST EXPOSURE DURING CONSTRUCTION.

2. CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 - CURRENT EDITION. "SPECIFICATIONS FOR STRUCTURAL CONCRETE OF BUILDINGS", ACI 318-05 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", ACI GUIDE 362.1R-97, AND ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.

3. REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60.

4. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000PSI ALL FOOTINGS, WALLS AND SLABS SHALL BE FORMED TO MEET SIZES NOTED OR INDICATED ON DRAWINGS. SEE PLANS AND SECTIONS.

5. PROVIDE 4" PERFORATED PLASTIC DRAIN TILE WITH SILT SLEEVE SURROUNDED BY GRAVEL T THE OUTSIDE OF FOOTINGS, DRAIN TO OPEN AIR AS PERMITTED BY SITE.

6. PROVIDE CONTINUOUS CAPILLARY BREAK ON TOP OF FOOTINGS WITH TU TUFF#3 TO PREVENT MOISTURE MIGRATION INTO BASEMENT. PROVIDE GENEROUS SEALANT BEAD AROUND ALL REINFORCING AND OTHER PENETRATIONS.

4). MASONRY

1. MASONRY TO BE IN ACCORDANCE WITH THE ACI 530-05, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" AND ACI 530.1 - 05, "SPECIFICATIONS FOR MASONRY STRUCTURES."

2. FULL BED VENEER LIMESTONE MASONRY SYSTEM TO MATCH EXISTING MASONRY. TOOTH IN NEW MASONRY AT TRANSITIONS WITH EXISITNG MASONRY. MATCH MORTAR TYPE AND COLOR.

5). METALS

1. PROVIDE METAL FLASHING AS REQUIRED OR INDICATED ON THE DRAWINGS. COORDINATE COLOR SELECTION WITH OWNER.

2. PROVIDE METAL FLASHING ABOVE WINDOWS AND DOORS AND AT DRIP CAPS.

3. MATCH EXISTING GUTTERS AND DOWNSPOUTS. MATCHING FASCIA MOUNT HANGERS AND ROOF STRAPS SECURED TO ROOF SHEATHING.

6). CARPENTRY

STRUCTURAL WOODS

1. EXTERIOR STUD WALLS SHALL BE 2X6 GRADE SPF OR EQUAL. INTERIOR STUD WALLS SHALL BE 2X4 (UNLESS NOTED OTHERWISE) GRADE SPF OR EQUAL.

2. FLOOR FRAMING SHALL BE AS INDICATED IN FRAMING PLANS AND BRACE LATERALLY AS REQUIRED BY CODE.

3. DIMENSIONAL LUMBER SHALL BE NO.2 SPRUCE PINE FIR OR SOUTHERN YELLOW PINE OR EQUAL FOR HEADERS AND RAFTERS.

4. WOOD BEAMS SHALL BE STRESS GRADED MICRO-LAMS.

5. ALL BEAMS AND JOISTS NOT BEARING ON SUPPORTING MEMBERS SHALL BE FRAMED WITH "SIMPSON STRONG TIE" JOIST HANGERS OR EQUAL.

6. SILL PLATES SHALL BE BOLTED TO FOUNDATION WALL WITH 1/2" ROUND BOLTS @ 6'-0" MAXIMUM O.C., BOLTS TO EXTEND 15" MINIMUM INTO GROUTED MASONRY. EACH SILL PLATE SHALL HAVE A MINIMUM OF 2 BOLTS WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE.

7. WOOD SILLS IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE IMPREGNATED WITH PRESERVATIVE. PRESSURE TREATED WOOD SHALL CONTAIN NO ARSENIC, CHROMIUM OR ANY OTHER EPA LISTED HAZARDOUS COMPOUNDS.

8. SUBFLOOR SHALL BE 3/4" CDX EXTERIOR GRADE T & G PLYWOOD, A.P.A. GRADE STAMPED.

EXTERIOR SHEATHING AND TRIM

1. EXTERIOR WALL SHEATHING SHALL BE 1/2" O.S.B. EXTERIOR WALL SHEATHING.

2. ROOF SHEATHING TO BE 5/8" CDX PLYWOOD, A.P.A. GRADE STAMPED.

3. FASCIA, TRIM AND CASINGS: HARDI-BOARD FOR PAINT FINISH.

4. SIDING: HARDI-PANEL CEMENT BOARD FOR PAINT FINISH. 1X HARDI-TRIM BOARDS FOR PAINT FINISH. REFER TO ELEVATIONS.

INTERIOR WOOD

1. INTERIOR TRIM AND PANELING: REFER TO INTERIOR ELEVATIONS AND ROOM FINISH SCHEDULE.

2. WOOD FLOORING: TONGUE AND GROOVE HARDWOOD FLOORING FOR 3 COAT SOLVENT BASED SATIN POLYURETHANE FINISH

THERMAL AND MOISTURE PROTECTION

1. INSULATION IN EXTERIOR WALLS SHALL BE R 20 MINIMUM.

2. INSULATION IN CEILING AND ATTIC SHALL BE R 38 MINIMUM.

3. INSULATION AT RIM JOIST INSULATION: R 20 MINIMUM

4. INSULATION AT CRAWL SPACE: R 15 MINIMUM.

5. VAPOR BARRIER: PROVIDE VAPOR BARRIER ON WARM SIDE OF INSULATION. ALL VAPOR BARRIERS SHALL BE 6 MIL. CROSS LAMINATED POLY. ALL SEAMS SEALED. USE CROSS LAMINATED POLY UNDER CONCRETE SLAB AND ALONG FOUNDATION WALLS.

6. PROVIDE FLASHING AS REQUIRED.

7. PROVIDE PRE-FINISHED METAL DRIP CAP AT WINDOW HEADS, DOOR HEADS, AND AT ALL EXPOSED LOCATIONS AS NECESSARY.

8. PROVIDE A RUBBERIZED MEMBRANE ROOF UNDERLAYMENT AT SHINGLED ROOF TO EXTEND FROM THE EAVE TO A POINT 3'-0" MINIMUM BEYOND THE INTERIOR WALL LINE. MEMBRANE UNDERLAYMENT SHOULD OVERLAP ADJACENT STRIPS OF UNDERLAYMENT 6" MINIMUM.

9. PROVIDE UNDERLAYMENT PER ROOFING MANUFACTURER RECOMMENDATIONS.

10. REVIEW ROOF SHINGLE SELECTION WITH OWNER.

11. PROVIDE 60 MIL EPDM RUBBER MEMBRANE ROOF INSTALLED AND FLASHED PER MANUFACTURER'S RECOMMENDATIONS. SLOPE MEMBRANE ROOF 2% TO PERIMETER GUTTERS.

9) FINISHES

1. INSTALL GYPSUM BOARD TO COMPLY WITH ASTM C 840

GYPSUM BOARD SHALL BE 5/8" TYPICAL AT WALLS AND 1/2" TYPICAL AT CEILINGS. GYPSUM BOARD SHALL BE TAPED, FILLED AND SANDED SMOOTH. OUTSIDE CORNERS SHALL BE REINFORCED WITH CORNER BEADS. USE MOISTURE RESISTANT 5/8" GYPSUM BOARD IN BATHS, CEMENT BOARD TO BE INSTALLED AT SHOWER ENCLOSURES SCHEDULED TO RECEIVE CERAMIC TILE.

2. ALL INTERIOR WALL PAINT TO BE 2 COATS OF THE HIGHEST QUALITY PAINT OVER PRIMER AS RECOMMENDED BY THE MANUFACTURER, FREE OF RUNS AND DRIPS, WITH STRAIGHT CUTS. COLORS PER INTERIOR DESIGNER SCHEDULE.

3. ALL TILE WORK SHALL BE INSTALLED ACCORDING TO THE TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION. TILE SHALL COMPLY WITH STANDARD GRADE REQUIREMENTS IN ANSI A137.1, "SPECIFICATIONS FOR CERAMIC TILE."

10) ACCESSORIES

1. REFER TO SHEET A.02.

2. SMOKE ALARMS: PROVIDE SMOKE ALARMS AS REQUIRED BY CODE AND OWNER REQUIREMENTS.

12). PLUMBING AND HEATING

1. CONTRACTOR SHALL PROVIDE DESIGN, LABOR AND MATERIALS FOR INSTALLATION OF PLUMBING AND HEATING SYSTEM. SYSTEM SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.

2. PROVIDE ELECTRONIC SETBACK THERMOSTATS.

13). ELECTRICAL

1. CONTRACTOR SHALL PROVIDE DESIGN, LABOR AND MATERIALS FOR INSTALLATION OF ELECTRICAL SYSTEM. SYSTEM SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.

2. PROVIDE TERMINAL HOOKUP OF ALL FIXTURES, APPLIANCES, AND FANS.

3. REVIEW LIGHTING AND DEVICE SELECTIONS WITH OWNER FOR APPROVAL PRIOR TO INSTALLATION.

4. REVIEW ALL DEVICE LOCATIONS WITH OWNER. PROVIDE TELEPHONE AND DATA RECEPTACLE LOCATIONS PER OWNER REQUIREMENTS.