

ASSEMBLY / WAREHOUSE ADDITION

EXTRUNET AMERICA TECUMSEH FACILITY

903 INDUSTRIAL DRIVE
TECUMSEH, MICHIGAN 49286



SITE MAP
N.T.S.

PROPERTY LOCATION
903 INDUSTRIAL DRIVE

ABBREVIATIONS

A/C	AIR CONDITIONING	INSUL.	INSULATION
A.F.F.	ABOVE FINISH FLOOR	INT.	INTERIOR
AGG	AGGREGATE	JT.	JOINT
ALT.	ALTERNATE	KW.	KILOWATT
ALUM.	ALUMINUM	LAV.	LAVATORY
AL.	ALUMINUM	LN.	LINEAR
AMP.	AMPERES	LLH	LONG LEG HORIZONTAL
APPROX.	APPROXIMATE	LLV	LONG LEG VERTICAL
BD.	BOARD	LVL	LAMINATED VENEER LUMBER
BLDG.	BUILDING	MAX.	MAXIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BLK'G.	BLOCKING	MFR.	MANUFACTURE
BOT.	BOTTOM	MIN.	MINIMUM
B.W.	BOTH WAYS	MISC.	MISCELLANEOUS
C/C	CENTER TO CENTER	M.O.	MASONRY OPENING
C.J.	CONTROL JOINT	MTL.	METAL
C.L.	CENTER LINE	N.	NORTH
CLG.	CEILING	N.I.C.	NOT IN CONTRACT
CNTR	CENTER	No.	NUMBER
C.O.	CLEAN OUT	#	NUMBER
COL.	COLUMN	NOM.	NOMINAL
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONSTR.	CONSTRUCTION	O.C.	ON CENTER
CONT.	CONTINUOUS	OD.	OUTSIDE DIAMETER
C.T.	CERAMIC TILE	PH.	PHASE
CW	COLD WATER	PLMB.	PLUMBING
DET	DETAIL	PLYWD.	PLYWOOD
DIA.	DIAMETER	PNL.	PANEL
DIM.	DIMENSION	PREFAB.	PREFABRICATED
D.S.	DOWNSPOUT	PVC	POLYVINYL CHLORIDE
DWG.	DRAWING	Q.T.	QUARRY TILE
EL.	ELEVATION	RAD.	RADIUS
ELEC.	ELECTRIC	RD.	ROAD
ELEV.	ELEVATION	RECP.	RECEPTACLE
EPS	EXPANDED POLYSTYRENE	REINF.	REINFORCE
E.W.	EACH WAY	REQ'D.	REQUIRED
EWC	ELECTRIC WATER COOLER	REV.	REVISION
EXIST'G	EXISTING	RM.	ROOM
EXP JT.	EXPANSION JOINT	R.O.	ROUGH OPENING
EXT.	EXTERIOR	R.R.	REST ROOM
F.D.	FLOOR DRAIN	SECT.	SECTION
FIN.	FINISH	SH.	SHEET
FLR.	FLOOR	SIM.	SIMILAR
FT.	FEET	SPEC.	SPECIFICATIONS
F.S.	FLOOR SINK	S.S.	STAINLESS STEEL
FTG.	FOOTING	STL.	STEEL
GALV.	GALVANIZED	STRUCT.	STRUCTURAL
G.C.	GENERAL CONTRACTOR	T & B	TOP AND BOTTOM
G.W.B.	GYPSUM WALL BOARD	T & G	TONGUE AND GROOVE
H.M.	HOLLOW METAL	T/	TOP OF
HORIZ.	HORIZONTAL	T.S.	TUBE STEEL
H.P.	HORSEPOWER	U.N.O.	UNLESS NOTED OTHERWISE
HT.	HEIGHT	VCT	VINYL COMPOSITION TILE
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	VERT.	VERTICAL
	HOT WATER	V.W.C.	VINYL WALL COVERING
H.W.	HOT WATER	W.C.	WATER CLOSET
ID.	INSIDE DIAMETER	WD.	WOOD
IN.	INCH	W.H.	WATER HEATER
INFO.	INFORMATION	W/	WITH
		W/O	WITH OUT
		WWF	WOVEN WIRE FABRIC

INFORMATION

PROJECT LOCATION

EXTRUNET AMERICA
903 INDUSTRIAL DRIVE
TECUMSEH, MICHIGAN 49286

BUILDING OWNER:

EXTRUNET AMERICA
903 INDUSTRIAL DRIVE
TECUMSEH, MICHIGAN 49286
PHONE No. (517) 301-4504

CONTACT PERSON:

MS. JENNIFER LAHRING
CONTROLLING
PHONE No. (517) 270-7048

PROJECT ENGINEER

ARBOR CORPORATION
3112 SPRING HOLLOW CT.
ANN ARBOR, MI. 48105
PHONE No. (734) 276-8672

GOVERNING AGENCIES

CITY OF TECUMSEH BUILDING AND
ZONING DEPARTMENTS

COUNTY OF LENAWE

STATE OF MICHIGAN

GENERAL CONTRACTOR

DAVENPORT BROTHERS CONSTRUCTION Co., INC.
301 INDUSTRIAL PARK DRIVE
BELLEVILLE, MICHIGAN 48111
PHONE No. (734) 697-2994

CONTACT PERSON:

MR. HARLAN DAVENPORT
PRESIDENT
PHONE No. (313) 218-0464

INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONALS, SITES, OWNERS, MUNICIPALITY, COUNTY, STATE, AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LAND-OWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATION OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

PROJECT STATEMENT

THE PROPOSED PROJECT IS FOR A PRE-ENGINEERED BUILDING ADDITION FOR ASSEMBLY OF EXTRUSION MACHINERY AND WAREHOUSING OF THE SAME. THE PROPOSED BUILDING ADDITION WILL ABUT THE EXISTING PRE-ENGINEERED BUILDING, WHICH IS TO REMAIN.

NO HAZARDOUS MATERIALS AND/OR SUBSTANCES ARE TO BE STORED ON SITE. THE PROPERTY WILL HAVE WEEKLY TRASH DISPOSAL, AND ALL REFUSE TO BE STORED IN THE DUMPSTERS WITHIN THE FENCED AREA, LOCATED ON THE SOUTH SIDE OF THE EXISTING BUILDING.

DRAWING INDEX

T1.0 TITLE AND PROJECT INFORMATION SHEET

CIVIL DRAWINGS

C1 SITE PLAN
C2 TOPOGRAPHIC SURVEY PLAN

LANDSCAPE DRAWINGS

L1 SITE PLAN

ARCHITECTURAL DRAWINGS

A0.1 BUILDING DESIGN DATA, SPECIAL INSPECTIONS,
CODES AND ORDINANCE INFORMATION
A1.0 PROPOSED FLOOR PLAN
A2.0 BUILDING EXTERIOR ELEVATIONS

L. WARDEN, DESIGNER
LANE WARDEN, BUILDING SPECIALIST L.L.C.
3819 PINEVIEW DRIVE EAST
DEXTER, MICHIGAN 48130
PHONE NO. (734) 276-8672

NO.	DATE	BY	REVISIONS
1			RELEASED FOR SITE PLAN REVIEW
2			
3			
4			

ASSEMBLY / WAREHOUSE ADDITION
EXTRUNET AMERICA
903 INDUSTRIAL DR.
TECUMSEH, MICHIGAN

TITLE AND PROJECT INFORMATION

DESIGNED BY	DATE
LDW	MAY 2022
DRAWN BY	DATE
LDW	MAY 2022
CHECKED BY	DATE
LDW	MAY 2022
EDIT	FILE
SCALE	VARIABLES
PLOT	0
PROJECT	220420
T1.0	
SHEET NO.	

LEGAL DESCRIPTOR

PROVIDED BY CLIENT. A PARCEL OF LAND BEING LOCATED IN THE CITY OF TECUMSEH, COUNTY OF LENAWEE, STATE OF MICHIGAN; BEING DESCRIBED AS:
 LOT 24 OF INDUSTRIAL PARK #1, CITY OF TECUMSEH.
 SAID PARCEL CONTAINING 2.500 ACRES.
 TAX ID #XTO-555-0240-00.

ALSO

LOT 26 OF INDUSTRIAL PARK #1, CITY OF TECUMSEH.
 SAID PARCEL CONTAINING 1.26 ACRES.
 TAX ID#XTO-555-0260-00.

ZONING AND SETBACKS

SUBJECT PROPERTY ZONED L1 (INDUSTRIAL DISTRICT) CONTAINING 2.50 ACRES.

ADJOINING PROPERTY ZONING:

NORTH L1
 SOUTH L1
 EAST L1
 WEST L1

SETBACKS
 BLDG. HEIGHT 40'
 FRONT 50'
 SIDE 12'
 REAR 24'

REQUIRED NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF TECUMSEH.
 2. THE DEVELOPER IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE DEVELOPER'S ACTIONS.

REQUIRED PARKING

1 SPACE FOR EVERY 550 S/F OF SHOP/MANUFACTURING FLOOR AREA + 1 SPACE PER 350 S/F/ OF OFFICE FLOOR AREA.
 TOTAL NUMBER EMPLOYEES AT PEAK USAGE: 12.

20,000 S/F SHOP / 550 = 36.4 ~37
 2,680 S/F OFFICE / 350 = 7.7 ~8
 TOTAL SPACES REQUIRED = 45

PARKING SPACES PROVIDED = 20 REGULAR SPACES
 1 HANDICAP SPACE
 27 BANKED SPACES
 48 TOTAL SPACES

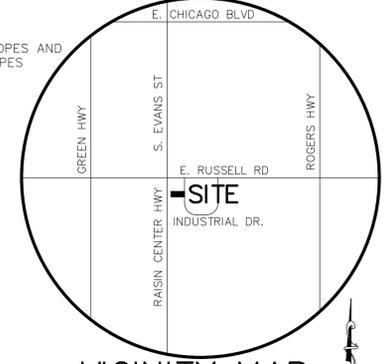
SITE DATA

PER USDA SOIL SURVEY THE SITE IS COMPRISED OF
 FoA (FOX COBBLY GRAVELLY LOAM, 0 TO 3 PERCENT SLOPES AND
 FoB FOX COBBLY GRAVELLY LOAM, 3 TO 7 PERCENT SLOPES)

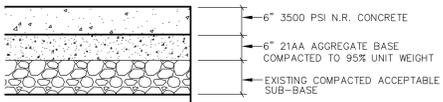
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 TOTAL PROPOSED FLOOR AREA = 10,000 S/F
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 TOTAL PROPOSED USABLE AREA = 21,448 S/F

PROPERTY CONTACT

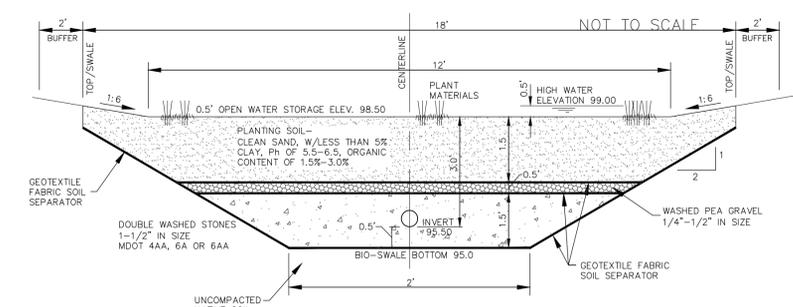
EXTRUNET AMERICA, INC
 903 INDUSTRIAL DRIVE
 TECUMSEH, MI 49286
 (517) 301-5404
 CONTACT: JENNIFER LAHRING
 EMAIL: JENNIFER.LAHRING@EXTRUNET.COM



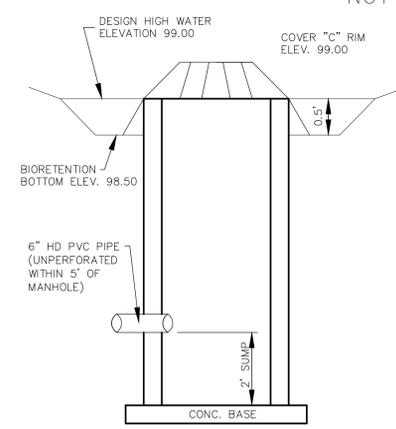
VICINITY MAP



CONCRETE PAVEMENT SECTION
 NOT TO SCALE



BIOSWALE DETAIL
 NOT TO SCALE



2' DIA. BIODETENTION OVERFLOW INLET
 NOT TO SCALE

DESIGN CRITERIA

LAND USE SUMMARY

Land Characteristic	area (ac)	coefficient	weighted c
Water surface	0.00	1.00	0
Roofs	0.23	0.95	0.2185
Asphalt, concrete	0.00	0.90	0
Gravel	0.00	0.80	0
Soil A	0.00	0.15	0
Soil B	0.00	0.25	0
Soil C	0.80	0.30	0.24
Soil D	0.00	0.45	0
	1.03		0.46
allowable outflow		0.445	cfs
no outlet allowable		0.200	cfs

Allowable Outlet Q_o = 0.200 cfs

SOLUTION

Q _o	0.424	cfs/imp. Ac.
T	122.29	min.
V _s	10133.33	cf
V _t	1875.45	cf

Required Storage Volume (V_t) = 1875.45 cf

Storage Volume Provided

bio-swale:	
Elev top/swale	99.00 ft
Depth area 1	0.5 ft
Depth area 2	3.5 ft

ENTER ELEV. AND AREA

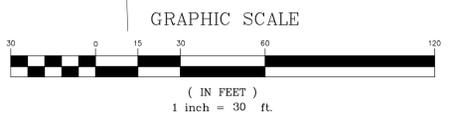
ELEV.	AREA	VOLUME	CUM. VOL.	DEPTH
99.00	3.025.00	0.00	0.00	0.00
98.50	2.125.00	1,279.61	1,279.61	0.50
98.50	2.125.00	0.00	0.00	0.00
95.00	245.00	3,603.19	3,603.19	3.50

PROVIDED QUANTITY

depth at first layer (water depth)=	0.50 ft
depth at second layer=	3.50 ft
storage volume layer 1 =	1279.61
storage area layer 2 =	3603.19 cf
assume 20% storage within second layer =	720.64 sf
Total quantity provided =	2000.25 sf, greater t
	124.81
	1875.45 sf
	6.65%

RAISIN CENTER HIGHWAY & PENN CENTRAL RAILROAD

WHEN DIGGING OR WORKING NEAR OVERHEAD ELECTRIC WIRES IN MICHIGAN, CALL MISS DIG
 3 WORKING DAYS BEFORE STARTING YOUR PROJECT
 811 (TOLL FREE)



GRAPHIC SCALE

(IN FEET)
 1 inch = 30 ft.

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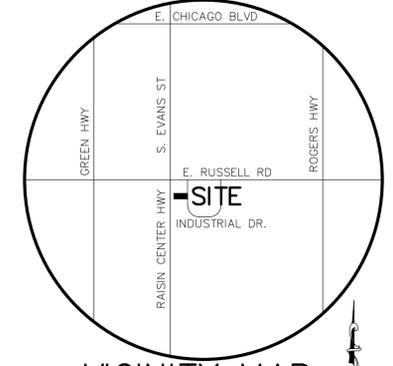
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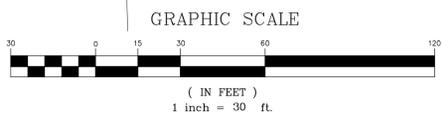
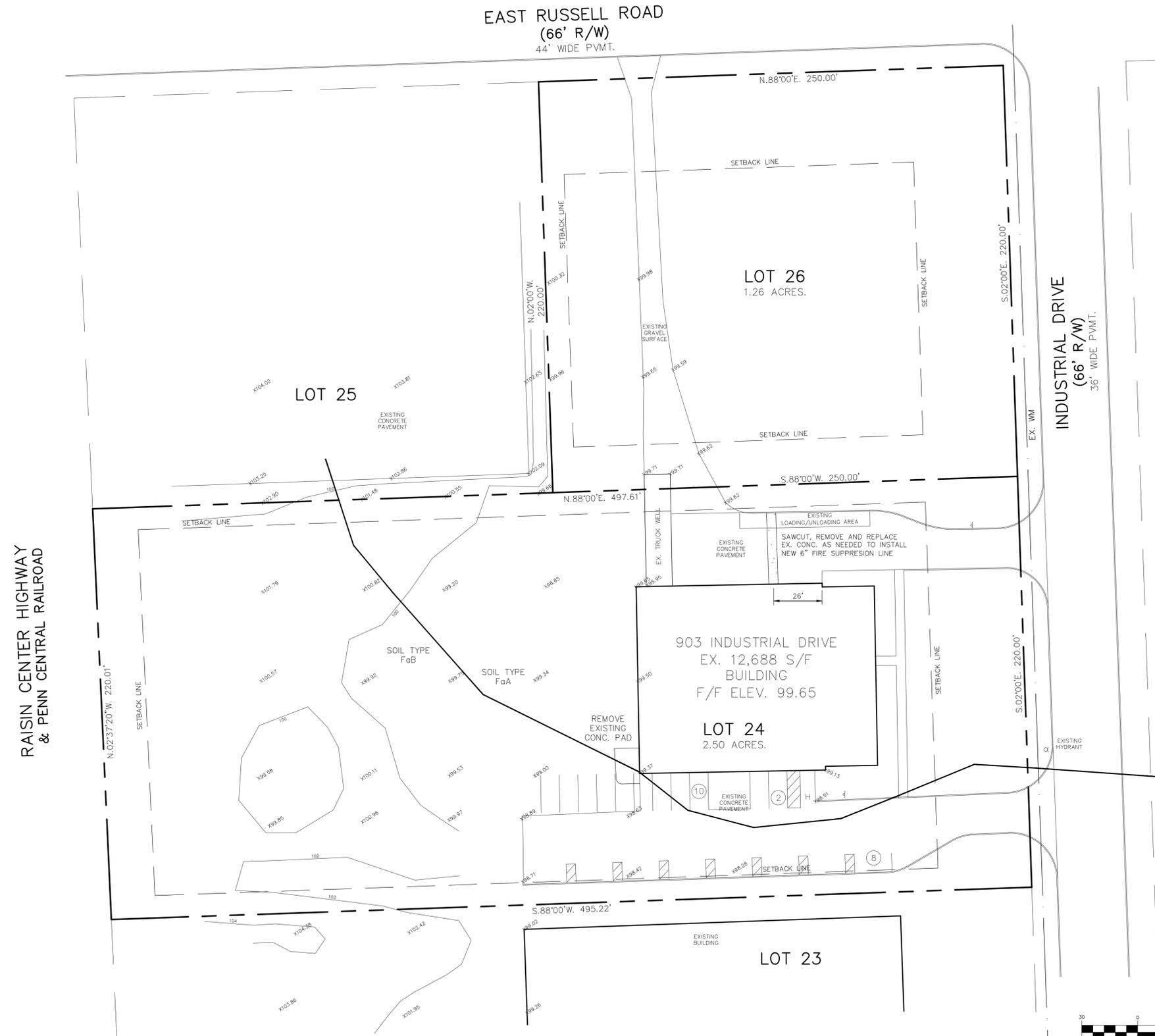
BLDG. HEIGHT 40'
 FRONT 50'
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PROPERTY CONTACT

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 TECUMSEH, MI 49286
 (517) 301-5404
 CONTACT: JENNIFER LAHRING
 EMAIL: JENNIFER.LAHRING@EXTRUNET.COM



VICINITY MAP



LEGEND
 X000.00 EXISTING SPOT ELEVATION



SHEET No.	2	JOB No.	2022-14	DRAWING No.	A-	DATE	05-04-22	REVISIONS	06-24-22
	OF		2				06-27-22		07-20-22
DRAWN BY:			CHECKED BY:			EXTRUNET AMERICA, INC			TOPOGRAPHIC SURVEY PLAN
DRAWN BY:			CHECKED BY:			903 INDUSTRIAL DRIVE			
DRAWN BY:			CHECKED BY:			TECUMSEH, MI 49286			CIVIL DESIGN SERVICES LLC
DRAWN BY:			CHECKED BY:			4996 MOORE ST. WAYNE, MI 48184			
DRAWN BY:			CHECKED BY:			(734) 756-2196			HARDY
DRAWN BY:			CHECKED BY:			E-mail: kbhardy1964@hotmail.com			

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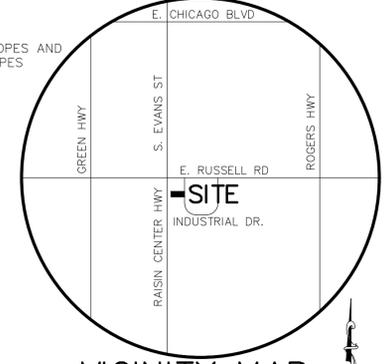
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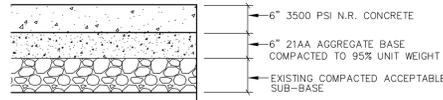
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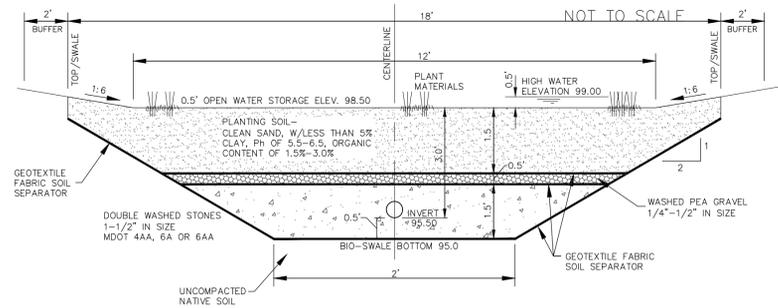
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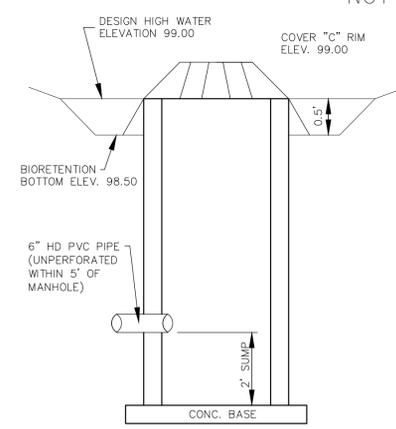
VICINITY MAP



CONCRETE PAVEMENT SECTION



BIOSWALE DETAIL



2" DIA. BIODETENTION OVERFLOW INLET

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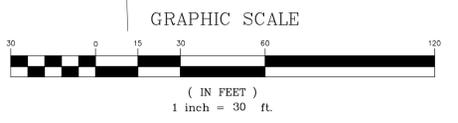
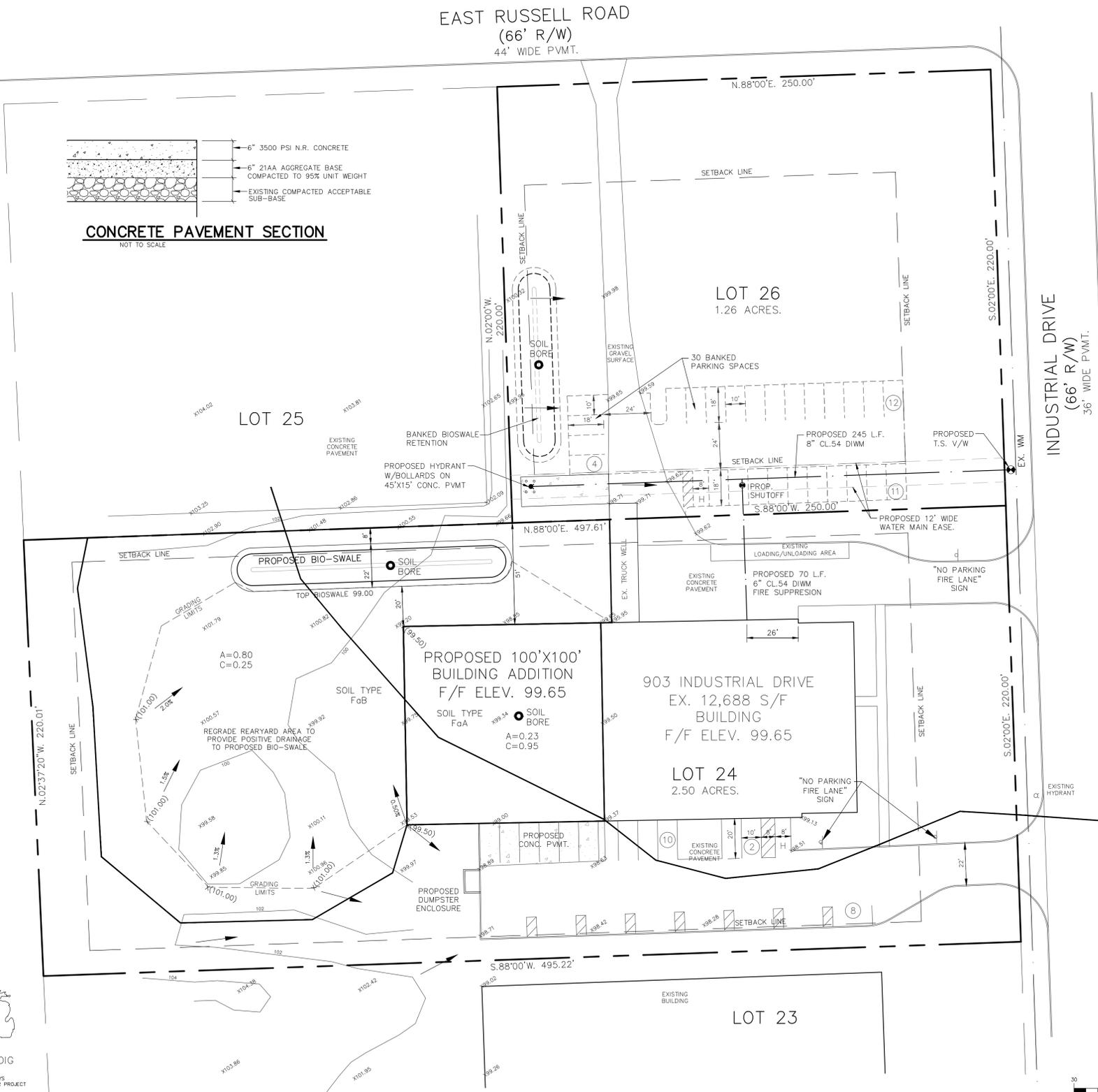
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 124.81 6.65%

RAISIN CENTER HIGHWAY & PENN CENTRAL RAILROAD



DRAINAGE TYPES

0.23 ACRES IMPERVIOUS (C=0.95)
 0.80 ACRES PERVIOUS (C=0.25)
 1.03 ACRES TOTAL (C=0.46)

LEGEND

X000.00 EXISTING SPOT ELEVATION
 X(000.00) PROPOSED SPOT ELEVATION

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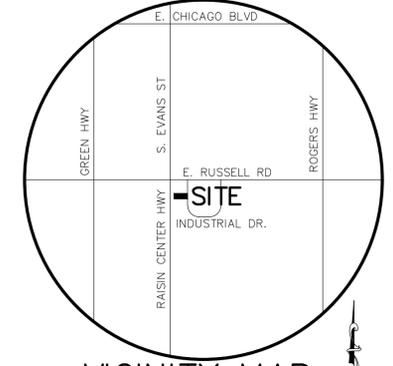
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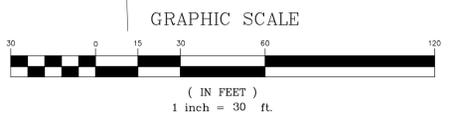
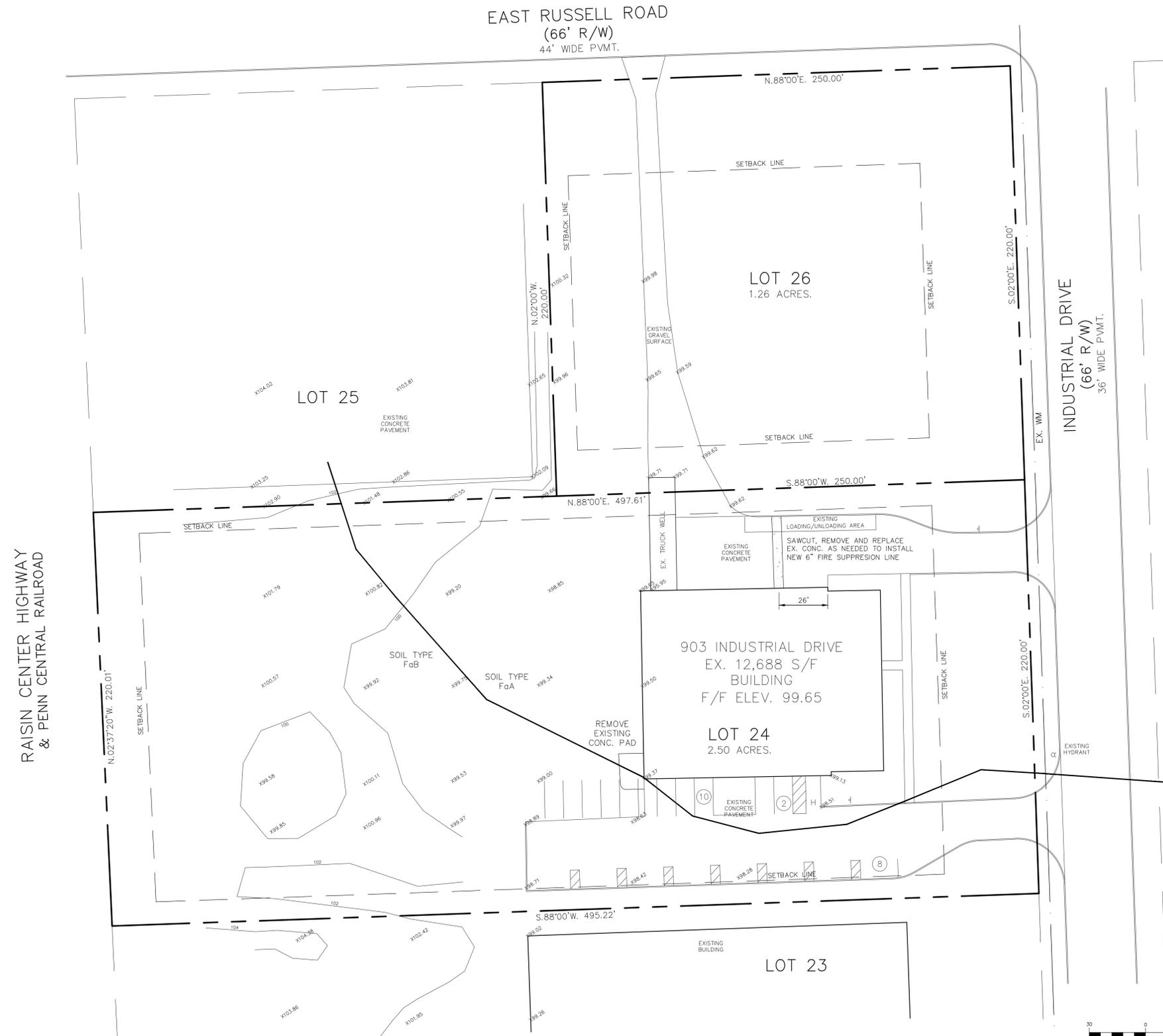
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VICINITY MAP



LEGEND

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2	2022-14	A-	05-04-22		
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TOPOGRAPHIC SURVEY PLAN			HARDY		

LANDSCAPE PLANTING NOTES:

PLANTING

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Tecumseh, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and setting with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil.
- All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site; b. Call the City for an inspection prior to backfilling; c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.

If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.

MATERIAL

- Plants shall not be located within two feet (2') of the property line.
- Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be: a. Nursery grown; b. State Department of Agriculture inspected; c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched according to the details provided; and e. Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Cheving Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.

MATERIAL, cont'd.

- Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- Proposed perennials shall be full, well-rooted plants.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

GENERAL

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- All landscape areas be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering. A backflow prevention device must be installed and tested prior to regular use.
- All written dimensions override scale dimensions on the plans.
- Report all changes, substitutions, or deletions to the Owner's representative.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.
- All ground mounted mechanical units shall be screened on three (3) sides with living plant material.
- All water service stop boxes, valve boxes, meter pits, and manholes shall be accessible at all times and shall be adjusted to finished grade as a part of the project.

MAINTENANCE

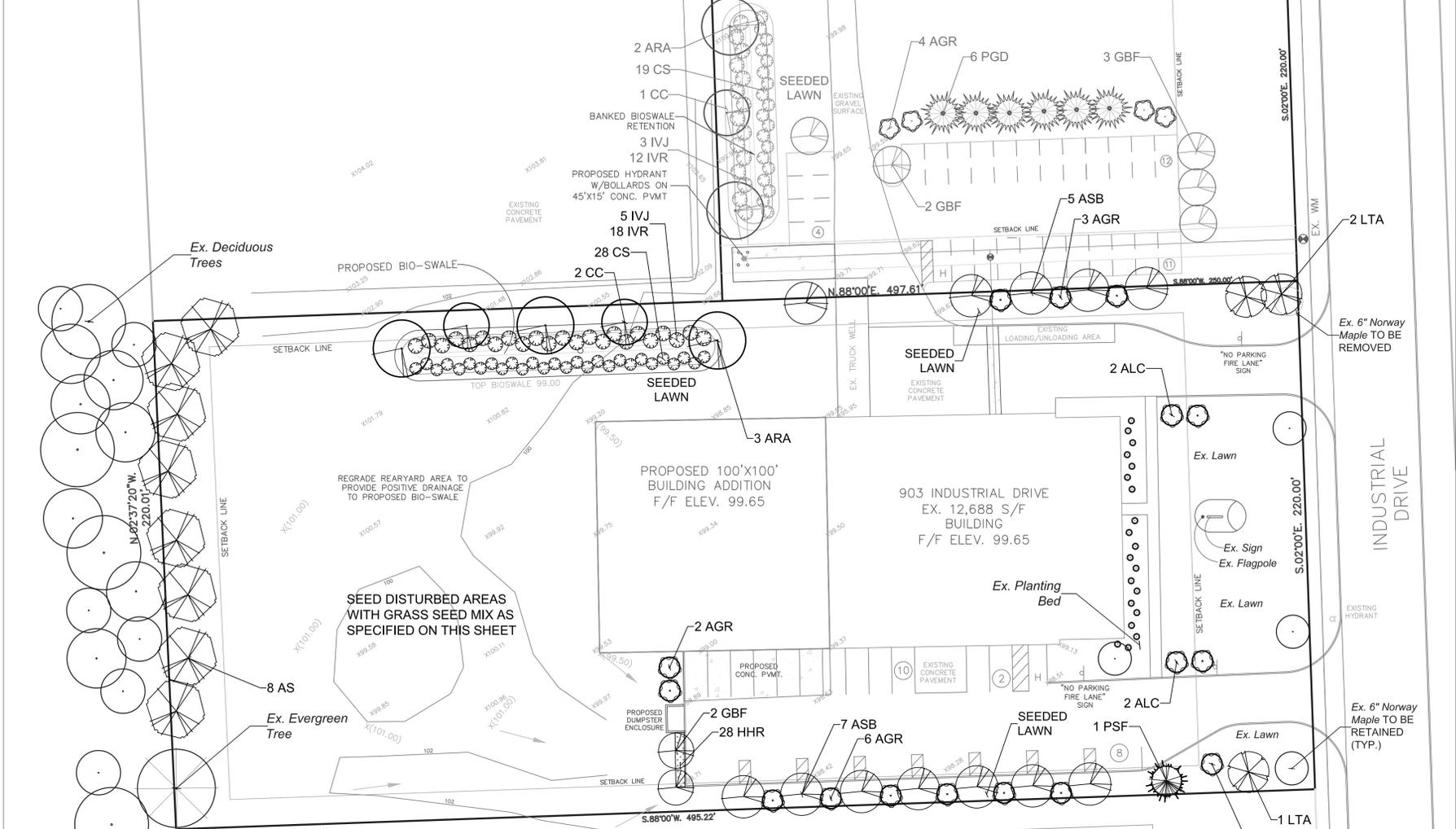
- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.

PLANTING IN THE STORMWATER FACILITY

- The planting soil must be a loam topsoil, free of construction debris and subsoils, capable of supporting a healthy vegetative cover. Soils must be amended with a composted organic material. Rototill compost into the top six inches (6") of the surface of the topsoil in the stormwater facility. The recommended soil blend is twenty percent to thirty percent (20% - 30%) compost.
- Planting should occur from mid-March through early June or mid-September through mid-October.

MAINTENANCE OF THE STORMWATER FACILITY

- WATERING:** Watering should be performed as needed. During the establishment period after the initial planting, watering is very important and should be conducted every two to three (2-3) days. The initial watering should be checked regularly for appropriate moisture availability. Two (2) methods for determining adequate moisture levels include the following: a.) if the plants wilt during the day when the temperature is at its highest, but revive during the night, then watering is not necessary, and b.) by testing the soil moisture at a depth of four inches (4") by inserting a small rod into the soil. If the rod is wet, then the soil is moist at a depth of four inches (4") and watering is not necessary.
- EDGING:** The edge of the bioswale area should be maintained to avoid grass growing into the bioswale area. The edge can be maintained with a V-notch cut edge. The channel should be maintained at four inches (4") or greater and renewed every six to eight (6-8) weeks.
- REMOVAL OF LITTER AND DEBRIS:** Litter, trash, and debris should be removed on a regular basis to insure that inlets remain free flowing and to keep the area in a neat and attractive appearance.
- INORGANIC APPLICATIONS:** In general, bioswale areas do not need fertilization as nutrients from surrounding areas is usually at an elevated level. If soil fertility appears to be an issue, the soil should be tested and appropriate actions taken based on the results. Insecticides, herbicides, fungicides, and rodenticides should not be used in the bioswale area. If a plant is diseased or infested with insects, it should simply be removed and replaced.



LANDSCAPE PLANTING PLAN

scale: 1" = 30'

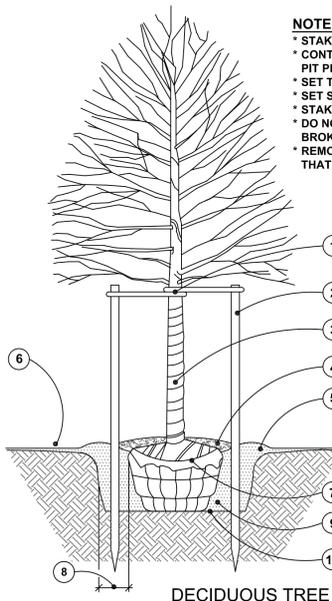
PLANT LIST

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE
RIGHT-OF-WAY LANDSCAPING - Industrial Drive			
ALC 5	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Serviceberry	2" cal. B&B
LTA 3	<i>Liriodendron tulipifera</i> 'Arnold'	Fastigiate Tuliptree	3" cal. B&B
PARKING LOT ISLAND LANDSCAPING			
AGR 2	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Serviceberry	2" cal. B&B
GBF 2	<i>Ginkgo biloba</i> 'Fastigiata'	Fastigiate Maidenhair Tree	3" cal. B&B
HHR 28	<i>Hemerocallis sp.</i> 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 36" o.c.
PERIMETER PARKING LOT LANDSCAPING - SOUTH			
AGR 6	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Serviceberry	2" cal. B&B
ASB 7	<i>Acer saccharum</i> 'Barrett Cole'	Apollo Sugar Maple	3" cal. B&B
PSF 1	<i>Pinus strobus</i> 'Fastigiata'	Fastigiate White Pine	10' ht. B&B
PERIMETER PARKING LOT LANDSCAPING - NORTH			
AGR 3	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Serviceberry	2" cal. B&B
ASB 5	<i>Acer saccharum</i> 'Barrett Cole'	Apollo Sugar Maple	3" cal. B&B

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE
LANDSCAPING OF YARDS			
ARA 3	<i>Acer rubrum</i> 'Armstrong Gold'	Armstrong Gold Red Maple	3" cal. B&B
AS 8	<i>Acer saccharum</i> 'Legacy'	Legacy Sugar Maple	3" cal. B&B
CC 2	<i>Carpinus caroliniana</i>	American Hornbeam	2-1/2" cal. B&B
STORMWATER BASIN LANDSCAPING			
CS 28	<i>Cornus sericea</i>	Red-Twig Dogwood	30" ht., 5 gal. pot
IVJ 5	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Michigan Holly	30" ht., 5 gal. pot
IVR 18	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Michigan Holly	30" ht., 5 gal. pot
BANKED PARKING LOT LANDSCAPING			
AGR 4	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Serviceberry	2" cal. B&B
GBF 5	<i>Ginkgo biloba</i> 'Fastigiata'	Fastigiate Maidenhair Tree	3" cal. B&B
PGD 6	<i>Picea glauca</i> 'Black Hills'	Black Hills White Spruce	10' ht. B&B
BANKED STORMWATER BASIN LANDSCAPING			
ARA 2	<i>Acer rubrum</i> 'Armstrong Gold'	Armstrong Gold Red Maple	3" cal. B&B
CC 1	<i>Carpinus caroliniana</i>	American Hornbeam	2-1/2" cal. B&B
CS 19	<i>Cornus sericea</i>	Red-Twig Dogwood	30" ht., 5 gal. pot
IVJ 3	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Michigan Holly	30" ht., 5 gal. pot
IVR 12	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Michigan Holly	30" ht., 5 gal. pot

LANDSCAPE CALCULATIONS

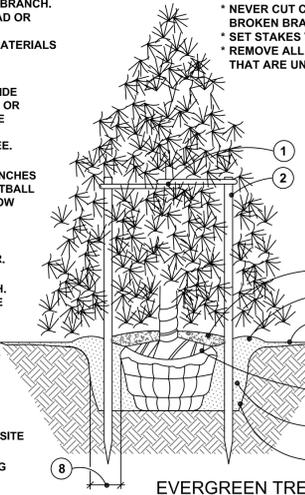
- RIGHT-OF-WAY LANDSCAPING - Industrial Drive (240 l.f.)**
- * One (1) deciduous or evergreen tree / 35 l.f. = 6 trees
 - * One (1) ornamental tree / 75 l.f. = 2.4 trees = 3 trees
- PARKING LOT LANDSCAPING (31,642 sq. ft.)**
- * Five percent (5%) of the total vehicular use area required as interior parking lot landscaping
 - * 31,642 sq. ft. times 0.05 equals 1,581 sq. ft. of interior parking lot landscaping
 - * One (1) deciduous tree per island
- PERIMETER PARKING LOT LANDSCAPING**
- * Perimeter parking lot landscaping shall include a minimum of one (1) deciduous tree per each twenty five (25) lineal feet and one (1) ornamental tree per each thirty five (35) lineal feet
 - * South parking area (198 l.f.) equals eight (8) dec. trees & six (6) ornamental trees
 - * North parking area (115 l.f.) equals five (5) dec. trees & three (3) ornamental trees
 - * LANDSCAPING OF YARDS (42,000 sq. ft.)
 - * One (1) deciduous or evergreen tree shall be planted per 3,000 sq. ft. of yard area
 - * 42,000 divided by 3,000 equals 14 trees
- STORMWATER BASIN LANDSCAPING**
- * The landscape treatment for the side slopes and bottom of the basin shall be planted with native plants
 - * Trees and shrubs shall be planted around the perimeter of the basin



NOTES:

- * STAKE TREES UNDER FOUR INCH (4") CALIPER.
- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- * SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- * SET STAKES VERTICAL & EVENLY SPACED.
- * STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- * DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- * REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

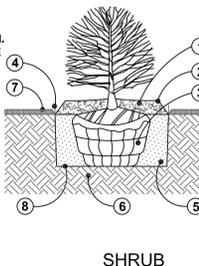
- STAKE TREE JUST BELOW FIRST BRANCH USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- APPLY TREE WRAP AND SECURE WITH A BIODEGRADABLE MATERIAL AT TOP AND BOTTOM. REMOVE AFTER ONE (1) WINTER.
- SHREDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- MOUND TO FORM TREE SAUCER.
- FINISH GRADE SLOPED AWAY FROM TREE.
- CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- WIDTH OF ROOTBALL ON EACH SIDE.
- PLANTING MIX SHALL BE AMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.



NOTES:

- * STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH, GUY ALL EVERGREEN TREES TWELVE FEET (12') HIGH AND OVER.
- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- * NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- * SET STAKES VERTICAL AND EVENLY SPACED.
- * REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

- STAKE TREE AS INDICATED USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- SHREDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- MOUND TO FORM TREE SAUCER.
- FINISH GRADE SLOPED AWAY FROM TREE.
- CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- PLANTING MIX SHALL BE AMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.
- WIDTH OF ROOTBALL ON EACH SIDE.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.



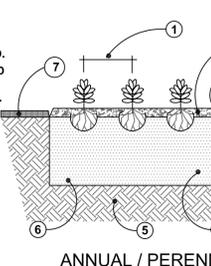
SHRUB

GENERAL NOTES FOR ALL PLANTINGS:

- * DO NOT CUT CENTRAL LEADER.
- * REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- * PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- * CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

- NOTE:**
- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.

- SHREDED BARK MULCH AT THREE INCH (3") MINIMUM DEPTH. MULCH SHALL BE NATURAL IN COLOR.
- FORM A SAUCER WITH MULCH AND SOIL AROUND SHRUB BED.
- CUT AND REMOVE BURLAP AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX.
- UNDISTURBED SUBGRADE.
- LAWN.
- SCARIFY SUBGRADE.

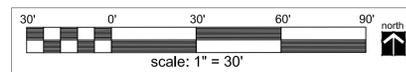


ANNUAL / PERENNIAL / GROUNDCOVER

- NOTE:**
- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- * PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.

- SEE PLANT LIST FOR SPACING DISTANCE.
- SHREDED HARDWOOD BARK OF A NATURAL COLOR MULCH AT FOUR INCH (4") MINIMUM DEPTH.
- 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH.
- UNDISTURBED SUBGRADE.
- PLANTING MIX TO CONSIST OF EQUAL PARTS OF SAND, LEAF COMPOST, AND NATIVE SOIL.
- LAWN.

not to scale



date: June 13, 2022
 revised: 07-04-2022 Revise for site plan changes.
 07-26-2022 Revise for City review ltr.
 dated July 20, 2022.



LANDSCAPE PLAN FOR:
 Davenport Brothers Construction
 301 Industrial Park Drive
 Belleville, Michigan 48111
 (734) 697-2994

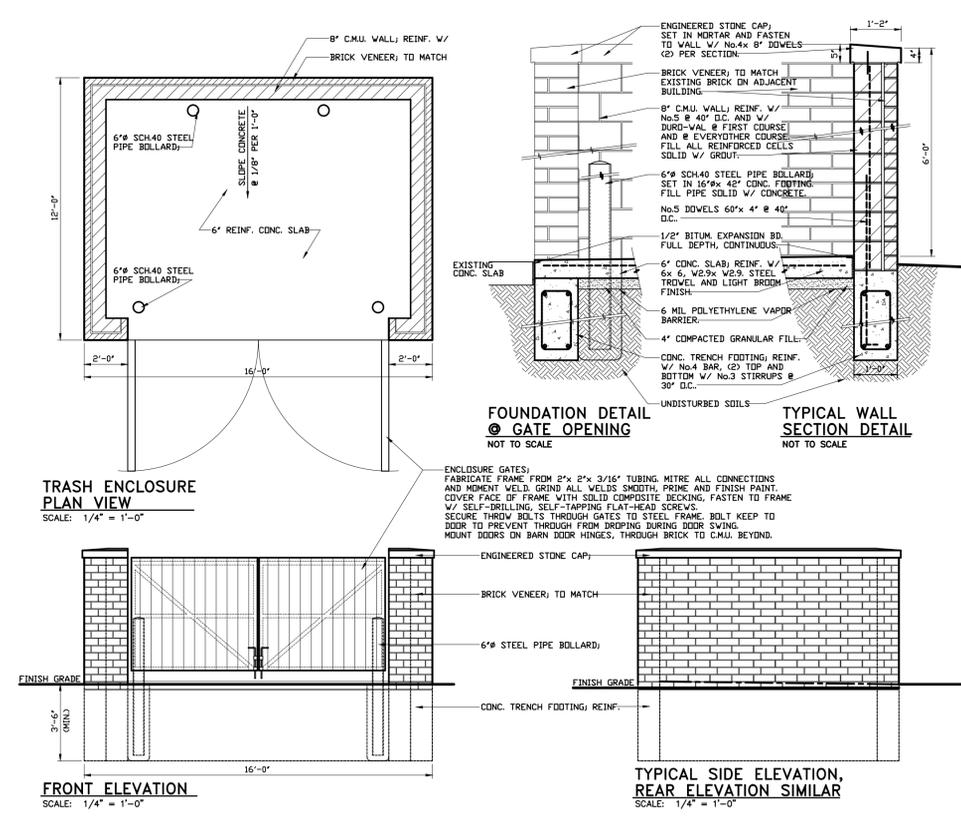
PROJECT LOCATION:
 Proposed Addition
 Extrunet America, Inc.
 903 Industrial Drive
 Tecumseh, Michigan

LANDSCAPE PLAN BY:
 Nagy Devlin Land Design
 31736 West Chicago Ave.
 Livonia, Michigan 48150
 (734) 634-9208



LP - 1: LANDSCAPE PLANTING PLAN

* Base data provided by Hardy Civil Design Services, L.L.C.



TRASH ENCLOSURE PLAN, ELEVATIONS AND DETAILS

DUMPSTER ENCLOSURE DETAILS
SCALE 1/4" = 1'-0"

NO.	REVISIONS	BY	DATE
1	REVIEW ONLY		7/21/22
2	SHEET ADDED PER MARKINA 7/20/22 REVIEW COMMENT LETTER		7/22/22
3			
4			

ASSEMBLY / WAREHOUSE BUILDING ADDITION
903 INDUSTRIAL DR.
TECUMSEH, MICHIGAN

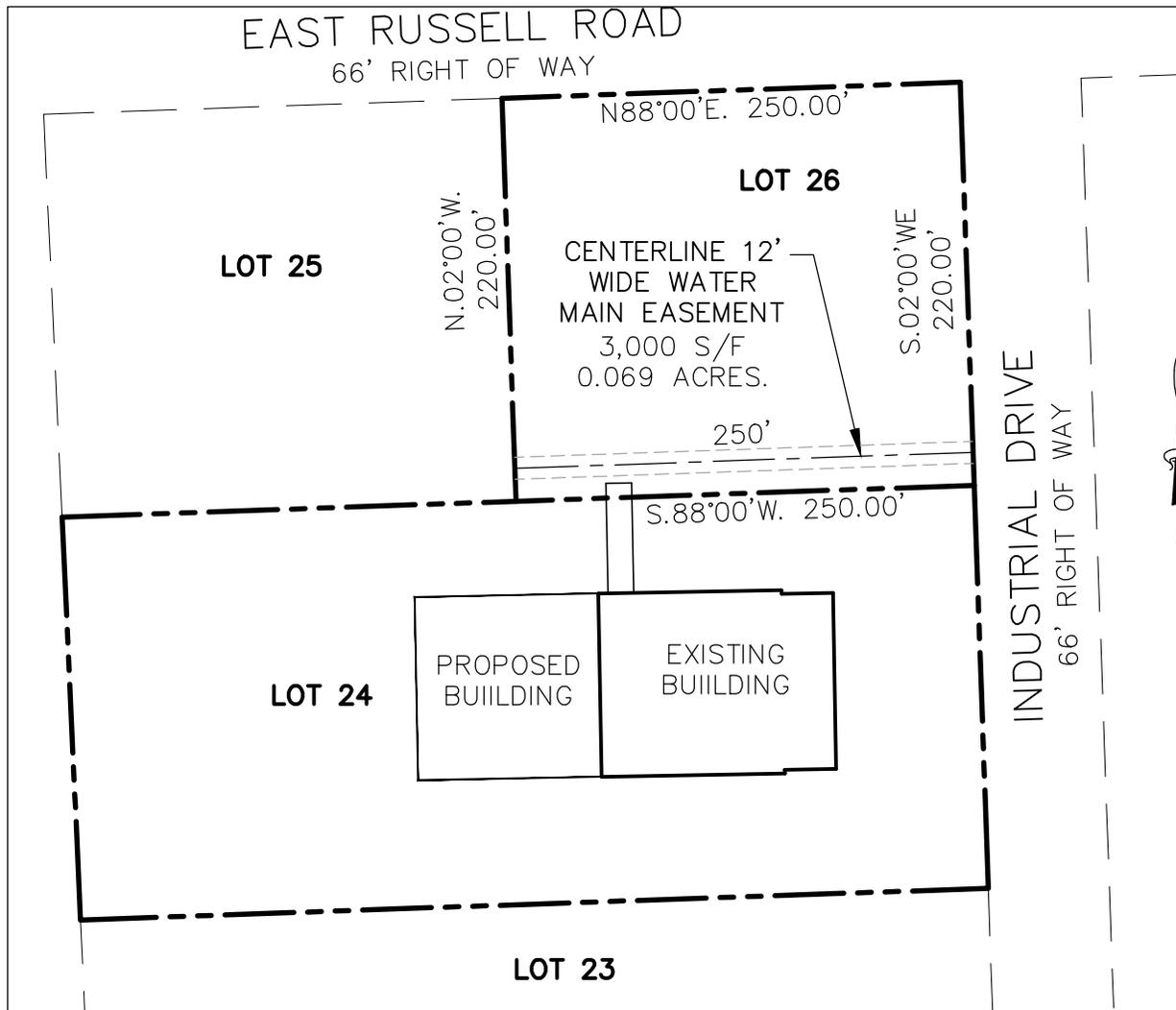
MISCELLANEOUS DETAILS

DESIGNED BY	DATE
LDW	MAY 2022
DRAWN BY	DATE
LDW	MAY 2022
CHECKED BY	DATE
LDW	---
EDIT	FILE
SCALE	VARIES
	DRAWING
	PLOT
PROJECT	220420

C5.0
SHEET NO.

L. WARDEN, DESIGNER
LANCE WARDEN, BUILDING SPECIALIST L.L.C.
3819 PINEVIEW DRIVE EAST
DEXTER, MICHIGAN 48130
PHONE NO.: (734) 276-8672

PROPOSED WATER MAIN EASEMENT



LEGAL DESCRIPTION

PARCEL:

LOT 26 OF INDUSTRIAL PARK #1, CITY OF TECUMSEH, LENAWEЕ COUNTY, MI.
 SAID PARCEL CONTAINING 1.26 ACRES.
 TAX ID#XTO-555-0260-00.

PROPOSED 12' WATER MAIN EASEMENT::

SAID EASEMENT BEING THE NORTHERLY 12 FEET OF THE SOUTHERLY 24 OF
 LOT 26 OF INDUSTRIAL PARK #1, CITY OF TECUMSEH, LENAWEЕ COUNTY, MI.
 SAID EASEMENT CONTAINING 3,000 S/F - 0.069 ACRES.

DATE: 06-27-2022
 JOB No. 2022-14
 DWG No. D-
 SHEET: 1 of 1
 SCALE: 1"=100'

WATER MAIN EASE.
12' WIDE EASEMENT
 903 INDUSTRIAL DRIVE
 CITY of TECUMSEH,
 LENAWEЕ COUNTY, MI

HARDY

CIVIL DESIGN
 SERVICES LLC
 4996 MOORE ST.
 WAYNE, MI 48184

(734) 756-2196 // kbhardy1964@hotmail.com