

# On the Riverbend House 2

CONSTRUCTION 01/31/20

Judd Road New Boston, Michigan 48118

ARCHITECT  
SILVERI ARCHITECTS  
FERNDALE, MICHIGAN

### Index

|        | REVISED<br>08/2018            | REVISED<br>08/2018 | REVISED<br>12/2018 | REVISED<br>08/2019 | REVISED<br>3/2019 | REVISED<br>01/2020 | CONSTRUCTION<br>01/2020 |
|--------|-------------------------------|--------------------|--------------------|--------------------|-------------------|--------------------|-------------------------|
| 00.0   | TITLE SHEET                   | •                  | •                  | •                  | •                 | •                  | •                       |
| A0.1   | SCHEDULES                     |                    | •                  | •                  | •                 | •                  | •                       |
| A0.2   | SCHEDULES                     |                    | •                  | •                  | •                 | •                  | •                       |
| A0.3   | SPECIFICATIONS                |                    | •                  | •                  | •                 | •                  | •                       |
| A1.1   | FOUNDATION PLAN               | •                  | •                  | •                  | •                 | •                  | •                       |
| A1.2   | FIRST FLOOR PLAN              | •                  | •                  | •                  | •                 | •                  | •                       |
| A1.3   | SECOND FLOOR PLAN, ROOF PLAN  | •                  | •                  | •                  | •                 | •                  | •                       |
| A1.4   | CEILING PLANS                 | •                  | •                  | •                  | •                 | •                  | •                       |
| A1.5   | FRAMING PLANS                 |                    |                    |                    | •                 | •                  | •                       |
| A2.1   | EXTERIOR ELEVATIONS           | •                  | •                  | •                  | •                 | •                  | •                       |
| A2.2   | EXTERIOR ELEVATIONS           | •                  | •                  | •                  | •                 | •                  | •                       |
| A2.3   | EXTERIOR ELEVATIONS           | •                  | •                  | •                  | •                 | •                  | •                       |
| A2.4   | GARAGE ELEVATIONS             |                    |                    |                    | •                 | •                  | •                       |
| A3.1   | SECTION ELEVATION             | •                  | •                  | •                  | •                 | •                  | •                       |
| A3.2   | INTERIOR ELEVATIONS           | •                  | •                  | •                  | •                 | •                  | •                       |
| A3.3   | INTERIOR SECTION / ELEVATIONS |                    |                    | •                  | •                 | •                  | •                       |
| A4.1   | WALL SECTIONS                 |                    |                    |                    | •                 | •                  | •                       |
| A4.2   | WALL SECTIONS                 |                    |                    |                    | •                 | •                  | •                       |
| A4.3   | WALL SECTIONS                 |                    |                    |                    | •                 | •                  | •                       |
| MEP.01 | MEP PARAMETERS                |                    |                    |                    | •                 | •                  | •                       |
| L1.0   | GRADING AT HOUSE SITES        |                    |                    |                    |                   |                    | •                       |

### Pricing Parameters

- Surface mount and pendant light fixtures provided by Owner and installed by Contractor. Recessed and utility light fixtures provided and installed by Contractor.
- Kitchen and Laundry appliances provided by Owner and installed by Contractor.
- Toilet accessories provided by Owner and installed by Contractor.
- Provide products indicated as Basis of Design in pricing. Confirm product selection with Owner prior to construction. Provide pricing for alternate selections recommended by trades.
- Masonry materials provided by Owner. General Contractor to coordinate trades related to masonry work.
- Include material and product cost allowances in pricing. Confirm product selections with Owner prior to construction.
- Carpet and pad, where scheduled, shall be provided and installed by Owner.

### Applicable Codes

Michigan Residential Code 2015  
Michigan Energy Code

### Project Data

OWNER:  
JOE AND CORTNEY RICHERT  
NEW BOSTON, MICHIGAN

PROPERTY ADDRESS:  
36516 JUDD ROAD  
NEW BOSTON, MICHIGAN 48164

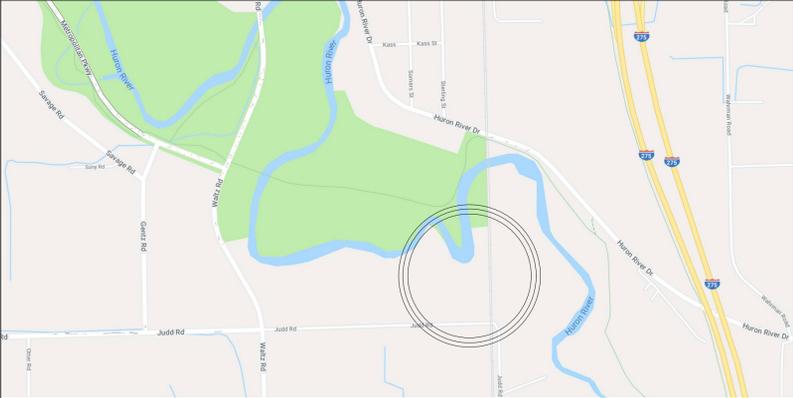
PROPOSED USE:  
RESIDENCE

BUILDING DESCRIPTION:  
TWO STORY WOOD FRAME HOUSE, PARTIAL BASEMENT, PARTIAL CRAWLSPACE. DETACHED TWO CAR GARAGE.

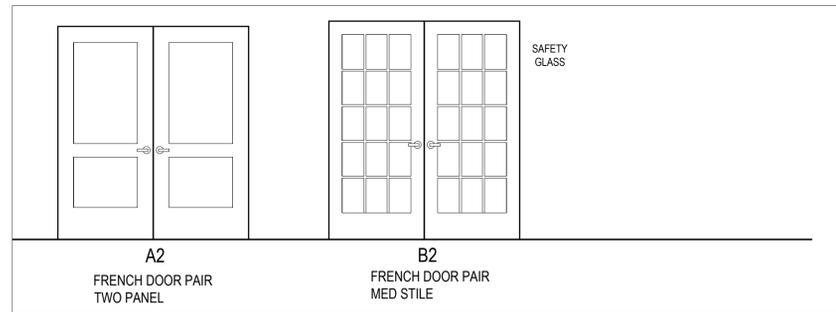
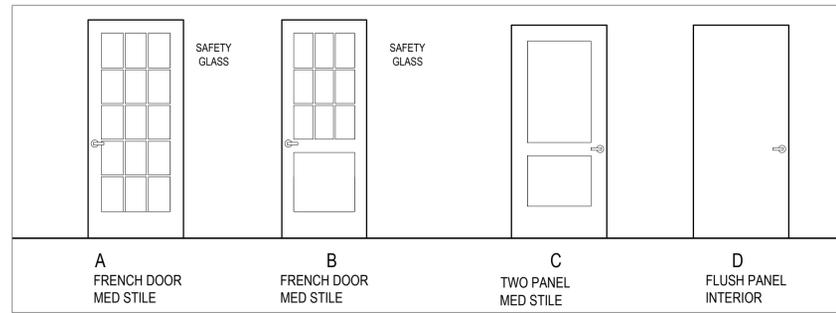
BUILDING GROSS SQUARE FOOTAGE: 2,920 GSF

SURVEY AND LEGAL DESCRIPTION UNDER SEPARATE COVER

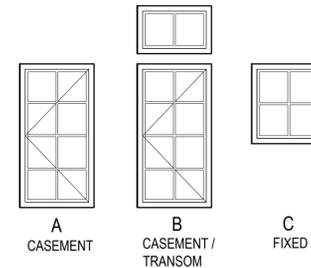
### Location



Judd Road, New Boston, Michigan



**1 DOOR TYPES**  
A.02 3/8"=1'-0"



**2 WINDOW TYPES**  
A.02 3/8"=1'-0"

**Door Hardware**

- ALL HARDWARE SHALL BE SCHLAGE RESIDENTIAL F SERIES OR OWNER APPROVED EQUAL WITH LEVER TRIM.
- ALL HARDWARE FINISHES SHALL BE BRUSHED STAINLESS OR BRUSHED CHROME.
- KEY LOCKS PER OWNER REQUIREMENTS.
- REVIEW LOCK FUNCTION WITH OWNER REPRESENTATIVE
- PROVIDE HARDWARE PRODUCT DATA SUBMITTAL FOR OWNER REPRESENTATIVE REVIEW AND APPROVAL.

**Hardware Sets**

SET 01  
3 HINGES, IVES OR OWNER APPROVED EQUAL ENTRY LOCKSET, SCHLAGE OR OWNER APPROVED EQUAL DEADBOLT, SCHLAGE OR OWNER APPROVED EQUAL WALL STOP, IVES OR OWNER APPROVED EQUAL WEATHER SEAL  
DOOR SWEEP, NGP OR OWNER APPROVED EQUAL THRESHOLD, ALUMINUM, NGP OR OWNER APPROVED EQUAL

SET 01.2  
3 HINGES, IVES OR OWNER APPROVED EQUAL ENTRY LOCKSET, SCHLAGE OR OWNER APPROVED EQUAL DEADBOLT, SCHLAGE OR OWNER APPROVED EQUAL WALL STOP, IVES OR OWNER APPROVED EQUAL FLUSH BOLT AT PASSIVE LEAF  
WEATHER SEAL  
DOOR SWEEP, NGP OR OWNER APPROVED EQUAL THRESHOLD, ALUMINUM, NGP OR OWNER APPROVED EQUAL

SET 02  
3 HINGES  
PASSAGE LATCHSET, SCHLAGE OR OWNER APPROVED EQUAL WALL STOP  
NEOPRENE SILENCERS

SET 03  
3 HINGES  
PRIVACY LOCKSET, SCHLAGE OR OWNER APPROVED EQUAL WALL STOP  
NEOPRENE SILENCERS

SET 04  
3 HINGES  
DUMMY LEVER HANDLE, ROLLER LATCH AT HEAD, SCHLAGE OR OWNER APPROVED EQUAL WALL STOP  
NEOPRENE SILENCERS

**DOOR SCHEDULE**

| CODE  | ROOM                 | SIZE                                    | TYPE          | FIRE RATING | MATERIAL                 | THRESHOLD     | HARDWARE SET         | DETAIL   | NOTES   |
|-------|----------------------|---|---------------|-------------|--------------------------|---------------|----------------------|----------|---------|
| D01   | VESTIBULE            | 3-6 X 6-10 DOOR W/ 1-6 X 6-10 SIDELITES | SEE ELEV      | NONE        | WOOD / GLASS WD FRAME    | ADA COMPLIANT | 01                   |          | 3, 8    |
| D01.1 | COATS                | 2-6 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   | 2 / A.32 | 2       |
| D03   | DINING               | 3-0 X 6-10 PAIR                         | B2            | NONE        | ALUM CLAD WD DR WD FRAME |               | 01.2                 |          | 2, 5    |
| D04   | MUD ROOM II          | 2-8 X 7-0 DUTCH DR                      | E             | NONE        | WOOD DOOR WD FRAME       |               | DUTCH DR PASSAGE SET | 2 / A.32 | 2, 6    |
| D05   | LAVATORY             | 2-6 X 7-0                               | C             | NONE        | WOOD DOOR WD FRAME       |               | 03                   | 2 / A.32 | 2       |
| D06   | MUD ROOM I           | 2-8 X 6-10                              | B             | NONE        | ALUM CLAD WD DR WD FRAME |               | 01                   | 2 / A.32 | 2, 5    |
| D07   | HALL                 | 3-0 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 03                   |          | 2       |
| D08   | M BEDROOM 1          | (2) 2-6 X 6-10 PAIR                     | B2            | NONE        | ALUM CLAD WD DR WD FRAME |               | 01.2                 |          | 2, 5, 9 |
| D08.1 | LINEN                | 1-8 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   | 2 / A.32 | 2       |
| D09   | CLOSET               | 2-6 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   | 2 / A.32 | 2       |
| D10   | CLOSET               | 2-6 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   | 2 / A.32 | 2       |
| D12   | TOILET               | 2-6 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 03                   | 2 / A.32 | 2       |
| D16   | BEDROOM 2            | 2-8 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   | 2 / A.32 | 2       |
| D16.1 | CLOSET               | 2-6 X 7-0 PAIR                          | A2            | NONE        | SC WOOD DOOR WD FRAME    |               | 04                   | 2 / A.32 | 2       |
| D17   | BEDROOM 3            | 2-8 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   | 2 / A.32 | 2       |
| D17.1 | CLOSET               | 2-6 X 7-0 PAIR                          | A2            | NONE        | SC WOOD DOOR WD FRAME    |               | 04                   | 2 / A.32 | 2       |
| D18   | BEDROOM 4            | 2-8 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   | 2 / A.32 | 2       |
| D18.1 | CLOSET               | 2-6 X 7-0 PAIR                          | A2            | NONE        | SC WOOD DOOR WD FRAME    |               | 04                   | 2 / A.32 | 2       |
| D19   | BEDROOM 5            | 2-8 X 7-0                               | C             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   | 2 / A.32 | 2       |
| D19.1 | CLOSET               | 2-6 X 7-0 PAIR                          | A2            | NONE        | SC WOOD DOOR WD FRAME    |               | 04                   | 2 / A.32 | 2       |
| D20   | VANITY               | 2-6 X 7-0                               | C             | NONE        | WOOD DOOR WD FRAME       |               | 02                   | 2 / A.32 | 2       |
| D21   | BATH                 | 2-6 X 7-0                               | C             | NONE        | WOOD DOOR WD FRAME       |               | 03                   | 2 / A.32 | 2       |
| D22   | STORAGE CLOSET       | 2-8 X 7-0                               | C             | NONE        | WOOD DOOR WD FRAME       |               | 02                   | 2 / A.32 | 2       |
| DG1   | GARAGE               | 2-8 X 6-10                              | C             | NONE        | ALUM CLAD WD DR WD FRAME |               | 01                   |          | 2, 5    |
| DG1.1 | GARAGE               | 3-0 X 6-10                              | C             | NONE        | ALUM CLAD WD DR WD FRAME |               | 01                   |          | 2, 5    |
| DG2   | GARAGE OVERHEAD DOOR | 10-0 X 8-0 EACH- 2 DOORS                | SEE ELEVATION | NONE        | TBD                      |               |                      |          | 4       |
| DB1   | BASEMENT EGRESS      | 6-0 X 7-0                               | SLIDING       | NONE        | ALUM CLAD WD DR          |               | SLIDING DR LOCKSET   |          | 5, 9    |
| DB2   | BASEMENT MECHANICAL  | 3-0 X 7-0                               | D             | NONE        | SC WOOD DOOR WD FRAME    |               | 02                   |          | 2       |

**WINDOW SCHEDULE**

| CODE    | MFR./MODEL | TYPE | DESCRIPTION   | size                  | COLOR              | DETAIL | NOTES         |
|---------|------------|------|---|-----------------------|--------------------|--------|---------------|
| 02 - 03 | TBD        | B    | ALUMINUM CLAD WOOD CASEMENT / TRANSOM<br>LOW E, INSULATED | 2-6 X 6-0 / 2-6 X 1-6 | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 04 - 06 | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 3-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 07      | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 2-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 08 - 09 | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 3-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 10 - 14 | TBD        | B    | ALUMINUM CLAD WOOD CASEMENT / TRANSOM<br>LOW E, INSULATED | 2-6 X 5-0 / 2-6 X 1-6 | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 15      | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 3-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 16 - 17 | TBD        | B    | ALUMINUM CLAD WOOD CASEMENT / TRANSOM<br>LOW E, INSULATED | 2-6 X 5-0 / 2-6 X 1-6 | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 18 - 22 | TBD        | D    | ALUMINUM CLAD WOOD FIXED<br>LOW E, INSULATED              | 2-6 X 2-6             | TBD STANDARD COLOR |        | 1, 2, 3       |
| 23 - 24 | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 4-0             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 25      | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 2-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 26 - 27 | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 3-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 28 - 29 | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 4-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| 30 - 36 | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 4-6 EGRESS      | TBD STANDARD COLOR |        | 1, 2, 3, 4, 6 |
| 37      | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 3-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| B1 - B2 | TBD        | C    | ALUMINUM CLAD WOOD AWNING<br>LOW E, INSULATED             | 2-8 X 1-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| B3      | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 3-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |
| A1 - A2 | TBD        | C    | ALUMINUM CLAD WOOD AWNING<br>LOW E, INSULATED             | 2-0 X 2-0             | TBD STANDARD COLOR |        | 1, 2, 3, 4, 7 |
| A3 - A4 | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 3-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4, 7 |
| G1 - G5 | TBD        | A    | ALUMINUM CLAD WOOD CASEMENT<br>LOW E, INSULATED           | 2-6 X 3-6             | TBD STANDARD COLOR |        | 1, 2, 3, 4    |

**NOTES**

- ADA COMPLIANT.
- DOOR AND FRAME FOR PAINT FINISH.
- PER OWNER SELECTION
- OVERHEAD GARAGE DOOR OPENER:  
1/ 2HP SCREW DRIVE OPENER, LIFTMASTER 3240 OR OWNER APPROVED EQUAL DOOR: TBD .
- ALUMINUM CLAD EXTERIOR
- DUTCH DOOR
- BASIS OF DESIGN:  
WEATHERSHIELD SIGNATURE SERIES ALUMINUM CLAD WOOD DOORS, LOW E, INSULATED.
- 6'-9" MAX WIDTH - DOOR + SIDELITES
- PROVIDE SCREEN DOOR

**NOTES**

- VERIFY ALL OPENING SIZES IN THE FIELD.
- ENERGY STAR RATED FOR NORTHERN ZONE REQUIRED PROPERTIES.
- COLOR PER OWNER REPRESENTATIVE SELECTION FROM MANUFACTURER'S FULL RANGE OF STANDARD COLORS.
- WINDOW OPERATING HARDWARE AND LOCKING DEVICES SHALL BE PER OWNER REPRESENTATIVE SELECTION FROM MANUFACTURER'S FULL RANGE OF STANDARD OPTIONS. FINISH SHALL BE PER OWNER REPRESENTATIVE SELECTION FROM MANUFACTURER'S FULL RANGE OF STANDARD FINISH OPTIONS.
- NOT USED.
- BEDROOM EGRESS COMPLIANT.
- REFER TO ELEVATIONS FOR LOCATION.
- BASIS OF DESIGN:  
WEATHERSHIELD SIGNATURE SERIES ALUMINUM CLAD WOOD WINDOWS, LOW E, INSULATED.

**CERAMIC TILE AND GROUT**

| CODE | MFR./SOURCE | MODEL           | SIZE AND CONFIGURATION         | COLOR  | GROUT | NOTES |
|------|-------------|-----------------|--------------------------------|--|-------|-------|
| CT-1 | TBD         | TBD             | TBD                            | TBD  | G-1   | 1     |
| CT-2 | TBD         | TBD             | TBD                            | TBD  | G-1   | 2     |
| CT-3 | TBD         | TBD             | TBD                            | TBD  | G-1   | 3, 4  |
| G-1  | TEC         | ACCUCOLOR GROUT | LATEX MODIFIED PORTLAND CEMENT | PER ARCHITECT SELECTION FROM MANUFACTURER'S STANDARD RANGE |       |       |

1. FLOOR TILE
2. WALL TILE, BASE AND CAP
3. FIREPLACE SURROUNDS, FIREPLACE HEARTH, KITCHEN RANGE HOOD RECESS
4. SUPPLIED BY OWNER INSTALLED BY CONTRACTOR

**FLOORING**

| CODE | TYPE                      | MFR    | SIZE AND CONFIGURATION | COLOR        | NOTES |
|------|---------------------------|--------|------------------------|--------------|-------|
| F-1  | T&G HARDWOOD              | NA     | TBD                    | CLEAR FINISH |       |
| F-2  | LUXURY VINYL GLUEDOWN LVT | MOHAWK | TBD                    | TBD          | 1     |

1. PROVIDE FLOOR LEVELING AS NEEDED.

**INTERIOR PAINT COLOR CODES**

| CODE  | MFR./SOURCE | COLOR / FINISH              | NOTES   |
|-------|-------------|-----------------------------|---|
| CC-01 | BEHR        | 23 ANTIQUE WHITE SEMI-GLOSS | ALL INTERIOR WOOD TRIM INCLUDING DOOR AND WINDOW CASINGS, WALL BASE. EXCLUDING CEILING TRIM WORK. |
| CC-02 | TBD         | CLEAR FINISH SEMI-GLOSS     | CEILING TRIM WORK INCLUDING PERIMETER TRIM, BEAMS, CEILING TRIM BOARDS.                           |
| CC-03 | BEHR        | CEILING WHITE FLAT          | ALL CEILING GYP BOARD OR GYP BOARD PANELS   |

1. INTERIOR WALL COLORS PER OWNER SELECTION. EGG SHELL SHEEN.

**EXTERIOR PAINT COLOR CODES**

| CODE  | MFR./SOURCE | COLOR / FINISH                     | NOTES   |
|-------|-------------|------------------------------------|---|
| CC-X1 | BEHR        | 300-1 SAIL CLOTH SEMI-GLOSS (TRIM) | HALF-TIMBERING PANELS (HARD-PANEL)                        |
| CC-X2 | BEHR        | TBD                                | HALF-TIMBERING TRIM BOARDS, HOUSE TRIM, COLUMNS, BRACKETS |
| CC-X3 | BEHR        | TBD                                | WINDOW TRIM AND MULLIONS                                  |

**TOILET ACCESSORIES**

| CODE  | MFR./SOURCE                | MODEL                                      | COLOR / FINISH | NOTES |
|-------|----------------------------|--|----------------|-------|
| TA-01 | TOILET TISSUE DISPENSER    | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR | SATIN          |       |
| TA-04 | MIRROR                     | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR | TBD            |       |
| TA-05 | SOAP DISH                  | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR | SATIN          |       |
| TA-06 | CURTAIN ROD CURTAIN, HOOKS | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR | SATIN          |       |
| TA-07 | ROBE HOOK                  | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR | SATIN          |       |
| TA-08 | TOWEL BAR                  | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR | SATIN          |       |
| TA-09 | TOWEL RING                 | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR | SATIN          |       |

**ROOM FINISHES**

| NO. | ROOM NAME         | FLOOR | BASE | CEILING | TRIM 2/A2.2 | NORTH WALL | EAST WALL  | SOUTH WALL | WEST WALL  | NOTES |
|-----|-------------------|-------|------|---------|-------------|------------|------------|------------|------------|-------|
| 001 | VESTIBULE         | F-1   | WB   | GB P    |             | GBP        | GBP        | GBP        | GBP        |       |
| 002 | LIVING ROOM       | F-1   | WB   | GB / WT | TYPE I      | GBP        | GBP        | GBP        | GBP        |       |
| 003 | DINING            | F-1   | WB   | GB / WT | TYPE I      | GBP        | GBP        | GBP        | GBP        |       |
| 004 | KITCHEN           | CT-1  | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        | 1     |
| 005 | LAVATORY          | CT-1  | CT-2 | GBP     |             | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | 1     |
| 006 | MUDROOM / LAUNDRY | CT-1  | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        | 1     |
| 007 | HALL              | F-1   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 008 | M BEDROOM I       | F-1   | WB   | GB / WT | TYPE I      | GBP        | GBP        | GBP        | GBP        |       |
| 009 | CLOSET I          | F-1   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 010 | CLOSET II         | F-1   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 011 | M VANITY          | F-1   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 012 | M TOILET          | CT-1  | CT-2 | GBP     |             | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | 1     |
| 013 | M SHOWER          | CT-1  | CT-2 | GBP     |             | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | 1     |
| 014 | STAIRWELL         | F-1   | WB   | GB / WT | TYPE I      | GBP        | GBP        | GBP        | GBP        |       |
| 015 | HALL              | CPT   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 016 | BEDROOM 2         | CPT   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 017 | BEDROOM 3         | CPT   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 018 | BEDROOM 4         | CPT   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 019 | BEDROOM 5         | CPT   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| 020 | VANITY            | CT-1  | CT-2 | GBP     |             | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | 1     |
| 021 | BATH              | CT-1  | CT-2 | GBP     |             | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | GBP / CT-2 | 1     |
| 022 | STORAGE CLOSET    | CPT   | WB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| G01 | GARAGE            | CS    | RB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| B01 | BASEMENT          | CS    | RB   | GBP     |             | GBP        | GBP        | GBP        | GBP        |       |
| B02 | MECHANICAL        | CS    | RB   | GBP     |             | EC         | GBP        | EC         | EC         |       |

NOTES:

1. CERAMIC TILE SELECTION MAY VARY FROM ROOM TO ROOM

FINISH CODES:

|         |                                      |
|---------|--------------------------------------|
| CT-X    | CERAMIC TILE - REFER TO SCHEDULES    |
| GBP     | GYP BD PAINTED                       |
| GB / WT | GYP BOARD PTD / WOOD TRIMWORK CL FIN |
| F-X     | FLOORING- REFER TO SCHEDULES         |
| BB      | T & G BEAD BOARD FOR CLEAR FINISH    |
| CS      | CONCRETE SLAB SEALED                 |
| WB - X" | WOOD BASE FOR PAINT FINISH           |
| RB      | RUBBER BASE                          |
| PTD     | PAINT FINISH                         |
| EC      | EXPOSED CONSTRUCTION                 |
| SV      | STONE VENEER                         |
| CPT     | CARPET AND PAD                       |

**APPLIANCES**

| CODE | ITEM               | BASIS OF DESIGN  | COLOR / FINISH | NOTES |
|------|--------------------|--|----------------|-------|
| A-1  | RANGE              | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR 36"W        | TBD            | 3     |
| A-2  | RANGE HOOD         | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR 36"W        | TBD            | 1     |
| A-3  | REFRIGERATOR       | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR 36"W X 80"H | TBD            |       |
| A-4  | DISHWASHER         | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR 24"W        | TBD            |       |
| A-5  | WASHER DRYER COMBO | PROVIDED BY OWNER, INSTALLED BY CONTRACTOR 60"W COMBO  | TBD            | 2     |

1. VENT TO EXTERIOR
2. PROVIDE OUTLET BOX FOR 3/4" SUPPLY AND 2" WASTE
3. GAS RANGE AND OVEN

**FIREPLACE**

| CODE | ITEM           | BASIS OF DESIGN                              | COLOR / FINISH | NOTES |
|------|----------------|--|----------------|-------|
| FP1  | FIREPLACE UNIT | HEAT N GLO TRUE 36 W/ IFT GAS FIREPLACE - DV | TBD            | 1     |

1. REVIEW MFR. TRIM AND OPTIONS WITH OWNER

1). GENERAL REQUIREMENTS

1. SCOPE: THE SCOPE OF THE WORK SHALL INCLUDE THE HOUSE AND RELATED SURROUNDING SITEWORK INDICATED IN THE DRAWINGS. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT FOR THE REQUIRED SITE WORK, CONCRETE, CARPENTRY, ELECTRICAL, PLUMBING AND HEATING, NECESSARY FOR THE COMPLETION OF THIS PROJECT. ALL POST CONTRACT LABOR AND MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO EXECUTION. ANY DEVIATION FROM THE PLANS AND SPECIFICATIONS INVOLVING AN EXTRA CHARGE OR A CREDIT MUST BE AGREED UPON IN WRITING BETWEEN THE CONTRACTING PARTIES PRIOR TO EXECUTION OF THE WORK.

2. ALL WORK SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEMEN OF RESPECTED TRADES.

3. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

4. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL PLAN DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE ON THE SITE PRIOR TO CONSTRUCTION.

5. ALL INTERIOR AND EXTERIOR DIMENSIONS ARE FROM FACE OF EXTERIOR SHEATHING OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

6. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROPER STORAGE OF MATERIALS, TOOLS, AND EQUIPMENT. MATERIALS SHALL BE PROTECTED FROM THE WEATHER AND SHALL BE STORED OFF THE GROUND FOR PROTECTION AGAINST STANDING WATER OR SNOW, AS NECESSARY.

7. ALL BUILDINGS MATERIALS SHALL BE OF A GOOD QUALITY, GRADE, FINISH AND COLOR SPECIFIED.

9. SUBCONTRACTORS SHALL VERIFY LOCATION OF ALL GAS, ELECTRIC, SEWER, AND WATER LINES BEFORE TRENCHING OR EXCAVATING. ALL UTILITIES SHALL BE RUN UNDERGROUND.

10. THE CONTRACTOR SHALL PROVIDE LIABILITY, PROPERTY DAMAGE, AND WORKMANS COMPENSATION INSURANCE IN FULL UNTIL COMPLETION OF THE WORK. EVIDENCE OF INSURANCE SHALL BE FURNISHED TO THE OWNER BY THE INSURANCE COMPANY UPON REQUEST.

11. MANUFACTURER'S WARRANTIES APPLYING TO ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE BUILDING SHALL BE FORWARDED TO THE OWNER.

2). SITE WORK GOALS

LANDSCAPE

1. EXISTING SITE TOPOGRAPHY AND VEGETATION AROUND AREAS OF CONSTRUCTION SHALL BE PRESERVED TO THE EXTENT POSSIBLE. LIMIT ALL UNNECESSARY IMPACT TO THE SITE. PROTECT AND PRESERVE EXISTING TREES TO THE EXTENT POSSIBLE.

GRADING/EARTHWORK

1. REFER TO CIVIL ENGINEERING DRAWINGS FOR DESIGN GRADES, CUT AND FILL.

2. PROVIDE NECESSARY PRECAUTIONS TO PREVENT SOIL EROSION.

3. STOCKPILE TOPSOIL PRIOR TO EXCAVATION FOR REUSE OVER REGRADED AND BACKFILLED AREAS.

SITE WORK

1. BACK-FILLING MATERIAL SHALL BE FREE OF DEBRIS, ORGANIC MATERIAL AND SILT. BACK-FILL SHALL BE GOOD QUALITY WELL DRAINING SAND OR GRAVEL FOR A MINIMUM 1.5 FEET BACK FROM FACE OF WALL. PRIOR TO BACKFILLING WALLS SHALL BE Laterally BRACED BY THE FLOOR FRAMING AT THE TOP AND THE BASEMENT SLAB AT THE BOTTOM OR OTHER ADEQUATE TEMPORARY BRACING.

2. BASE FILL FOR CONCRETE SLABS SHALL BE GRADED SAND, FREE OF ORGANIC MATTER. PROVIDE A MINIMUM OF 4" CLEAN GRANULAR FILL UNDER THE SLAB.

3. COMPACTED SOIL: FILL PLACED WITHIN THE BUILDING AND ALTERED AREA MUST BE COMPACTED TO A MINIMUM OF 90% OF THE MODIFIED PROCTOR DENSITY (ASTM: D1557-78). VERIFY WITH STRUCTURAL ENGINEER.

4. CONTRACTOR SHALL PROVIDE FOR JOBSITE CLEANUP. SORT AND RECYCLE JOB SITE DEBRIS TO THE FULLEST EXTENT POSSIBLE INCLUDING: CONCRETE, STEEL, WOOD, AND GYPSUM PLASTER. CLEAN AND REMOVE CONSTRUCTION DEBRIS FROM THE SITE ON A DAILY BASIS. UPON JOB COMPLETION, THE CONTRACTOR IS TO SWEEP THE SITE OF NAILS AND ALL OTHER CONSTRUCTION DEBRIS.

3). CONCRETE

1. SUBSURFACE PREPARATION: CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FOOTINGS BEAR ON VIRGIN SOIL OR ON PROPERLY COMPACTED FILL OF WELL DRAINING GRANULAR QUALITY, CAPABLE OF SUSTAINING ASSUMED BEARING PRESSURE AS INDICATED. IF IN DOUBT CONTRACTOR SHALL OBTAIN ASSISTANCE OF SOILS ENGINEER. PROVIDE SOIL COVER ABOVE FOOTING BEARING FOR FROST PROTECTION. ALL FOOTINGS TO BE ADEQUATELY PROTECTED FROM FROST EXPOSURE DURING CONSTRUCTION.

2. ALL FOOTINGS, WALLS AND SLABS SHALL BE FORMED TO MEET SIZES NOTED OR INDICATED ON DRAWINGS. SEE PLANS AND SECTIONS.

3. PROVIDE 4" PERFORATED PLASTIC DRAIN TILE WITH SILT SLEEVE SURROUNDED BY GRAVEL T THE OUTSIDE OF FOOTINGS, DRAIN TO OPEN AIR AS PERMITTED BY SITE.

4. PROVIDE CONTINUOUS CAPILLARY BREAK ON TOP OF FOOTINGS WITH TU TUFF#3 TO PREVENT MOISTURE MIGRATION INTO BASEMENT. PROVIDE GENEROUS SEALANT BEAD AROUND ALL REINFORCING AND OTHER PENETRATIONS.

4). MASONRY

SEE NOTES SHEET A2.1

5). METALS

1. PROVIDE METAL FLASHING AS REQUIRED OR INDICATED ON THE DRAWINGS. COORDINATE COLOR SELECTION WITH OWNER.

2. PROVIDE METAL FLASHING ABOVE WINDOWS AND DOORS AND AT DRIP CAPS.

3. PROVIDE .032 GAUGE PRE-PAINTED ALUMINUM GUTTERS AND DOWNSPOUTS. 6" HALF-ROUND GUTTER WITH PLAIN ROUND DOWNSPOUT. MATCHING FASCIA MOUNT HANGERS AND ROOF STRAPS SECURED TO ROOF SHEATHING.

6). CARPENTRY

STRUCTURAL WOODS

1. EXTERIOR STUD WALLS SHALL BE 2X6 GRADE SPF OR EQUAL. INTERIOR STUD WALLS SHALL BE 2X4 (UNLESS NOTED OTHERWISE) GRADE SPF OR EQUAL.

2. FLOOR FRAMING SHALL BE AS INDICATED IN FRAMING PLANS AND BRACE Laterally AS REQUIRED BY CODE.

3. DIMENSIONAL LUMBER SHALL BE NO.2 SPRUCE PINE FIR OR SOUTHERN YELLOW PINE OR EQUAL FOR HEADERS AND RAFTERS.

4. WOOD BEAMS SHALL BE STRESS GRADED MICRO-LAMS.

5. ALL BEAMS AND JOISTS NOT BEARING ON SUPPORTING MEMBERS SHALL BE FRAMED WITH "SIMPSON STRONG TIE" JOIST HANGERS OR EQUAL.

6. SILL PLATES SHALL BE BOLTED TO FOUNDATION WALL WITH 1/2" ROUND BOLTS @ 6'-0" MAXIMUM O.C., BOLTS TO EXTEND 15" MINIMUM INTO GROUTED MASONRY. EACH SILL PLATE SHALL HAVE A MINIMUM OF 2 BOLTS WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE.

7. WOOD SILLS IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE IMPREGNATED WITH PRESERVATIVE. PRESSURE TREATED WOOD SHALL CONTAIN NO ARSENIC, CHROMIUM OR ANY OTHER EPA LISTED HAZARDOUS COMPOUNDS.

8. SUBFLOOR SHALL BE 3/4" CDX EXTERIOR GRADE T & G PLYWOOD, A.P.A. GRADE STAMPED.

EXTERIOR SHEATHING AND TRIM

1. EXTERIOR WALL SHEATHING SHALL BE 1/2" O.S.B. EXTERIOR WALL SHEATHING.

2. ROOF SHEATHING TO BE 5/8" CDX PLYWOOD, A.P.A. GRADE STAMPED.

3. FASCIA, TRIM AND CASINGS: HARDI-BOARD FOR PAINT FINISH.

4. SIDING: HARDI-PANEL CEMENT BOARD FOR PAINT FINISH. 1X HARDI-TRIM BOARDS FOR PAINT FINISH. REFER TO ELEVATIONS.

INTERIOR WOOD

1. INTERIOR TRIM AND PANELING: REFER TO INTERIOR ELEVATIONS AND ROOM FINISH SCHEDULE.

2. WOOD FLOORING: TONGUE AND GROOVE HARDWOOD FLOORING FOR 3 COAT SOLVENT BASED SATIN POLYURETHANE FINISH

CABINETRY

1. CABINETRY SHALL COMPLY WITH ARCHITECTURAL WOODWORK INSTITUTE'S "ARCHITECTURAL WOODWORK QUALITY STANDARDS."

2. CONTRACTOR SHALL REVIEW FINAL CABINET SELECTION WITH OWNER PRIOR TO FABRICATION.

3. INSTALL OWNER PROVIDED APPLIANCES AND TEST FOR GOOD WORKING ORDER.

7). THERMAL AND MOISTURE PROTECTION

1. INSULATION IN EXTERIOR WALLS SHALL BE FOAM INSULATION, FILLING THE VOID COMPLETELY - R 20 MINIMUM.

2. INSULATION IN CEILING AND ATTIC SHALL BE FOAM INSULATION - R 38 MINIMUM.

3. INSULATION AT RIM JOIST INSULATION: R 20 MINIMUM

4. INSULATION AT CRAWL SPACE: R 15 MINIMUM. INSULATION AT BASEMENT WALLS: R 10 MINIMUM.

5. VAPOR BARRIER: PROVIDE VAPOR BARRIER ON WARM SIDE OF INSULATION. ALL VAPOR BARRIERS SHALL BE 6 MIL. CROSS LAMINATED POLY. ALL SEAMS SEALED. USE CROSS LAMINATED POLY UNDER CONCRETE SLAB AND ALONG FOUNDATION WALLS.

6. PROVIDE FLASHING AS REQUIRED.

7. PROVIDE PRE-FINISHED METAL DRIP CAP AT WINDOW HEADS, DOOR HEADS, AND AT ALL EXPOSED LOCATIONS AS NECESSARY.

8. PROVIDE A RUBBERIZED MEMBRANE ROOF UNDERLAYMENT TO EXTEND FROM THE EAVE TO A POINT 3'-0" MINIMUM BEYOND THE INTERIOR WALL LINE. MEMBRANE UNDERLAYMENT SHOULD OVERLAP ADJACENT STRIPS OF UNDERLAYMENT 6" MINIMUM.

9. PROVIDE UNDERLAYMENT PER ROOFING MANUFACTURER RECOMMENDATIONS.

10. REVIEW ROOF SHINGLE SELECTION WITH OWNER.

8). DOORS AND WINDOWS

1. REFER TO SHEET A.01 FOR SPECIFICS ON DOOR AND WINDOW BASIS OF DESIGN PRODUCT AND SIZES.

9) FINISHES

1. INSTALL GYPSUM BOARD TO COMPLY WITH ASTM C 840

GYPSUM BOARD SHALL BE 5/8" TYPICAL AT WALLS AND 1/2" TYPICAL AT CEILINGS. GYPSUM BOARD SHALL BE TAPED, FILLED AND SANDED SMOOTH. OUTSIDE CORNERS SHALL BE REINFORCED WITH CORNER BEADS. USE MOISTURE RESISTANT 5/ 8" GYPSUM BOARD IN BATHS. CEMENT BOARD TO BE INSTALLED AT SHOWER ENCLOSURES SCHEDULED TO RECEIVE CERAMIC TILE.

2. ALL INTERIOR WALL PAINT TO BE 2 COATS OF THE HIGHEST QUALITY PAINT OVER PRIMER AS RECOMMENDED BY THE MANUFACTURER, FREE OF RUNS AND DRIPS, WITH STRAIGHT CUTS. COLORS PER INTERIOR DESIGNER SCHEDULE.

3. ALL TILE WORK SHALL BE INSTALLED ACCORDING TO THE TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION. TILE SHALL COMPLY WITH STANDARD GRADE REQUIREMENTS IN ANSI A137.1. "SPECIFICATIONS FOR CERAMIC TILE."

10) ACCESSORIES

1. REFER TO SHEET A.02.

2. SMOKE ALARMS: PROVIDE SMOKE ALARMS AS REQUIRED BY CODE AND OWNER REQUIREMENTS.

12). PLUMBING AND HEATING

1. CONTRACTOR SHALL PROVIDE DESIGN, LABOR AND MATERIALS FOR INSTALLATION OF PLUMBING AND HEATING SYSTEM. SYSTEM SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.

2. REVIEW PLUMBING FIXTURES, KITCHEN / BATH FAUCET AND VALVE SELECTIONS WITH OWNER FOR APPROVAL PRIOR TO INSTALLATION.

4. PROVIDE EXHAUST FAN IN KITCHEN AND EACH BATH. VENTILATING RANGE HOOD DUCTED OUTSIDE.

5. PROVIDE ELECTRONIC SETBACK THERMOSTATS.

6. PLUMBING SUPPLY SHALL BE PEX TUBING.

13). ELECTRICAL

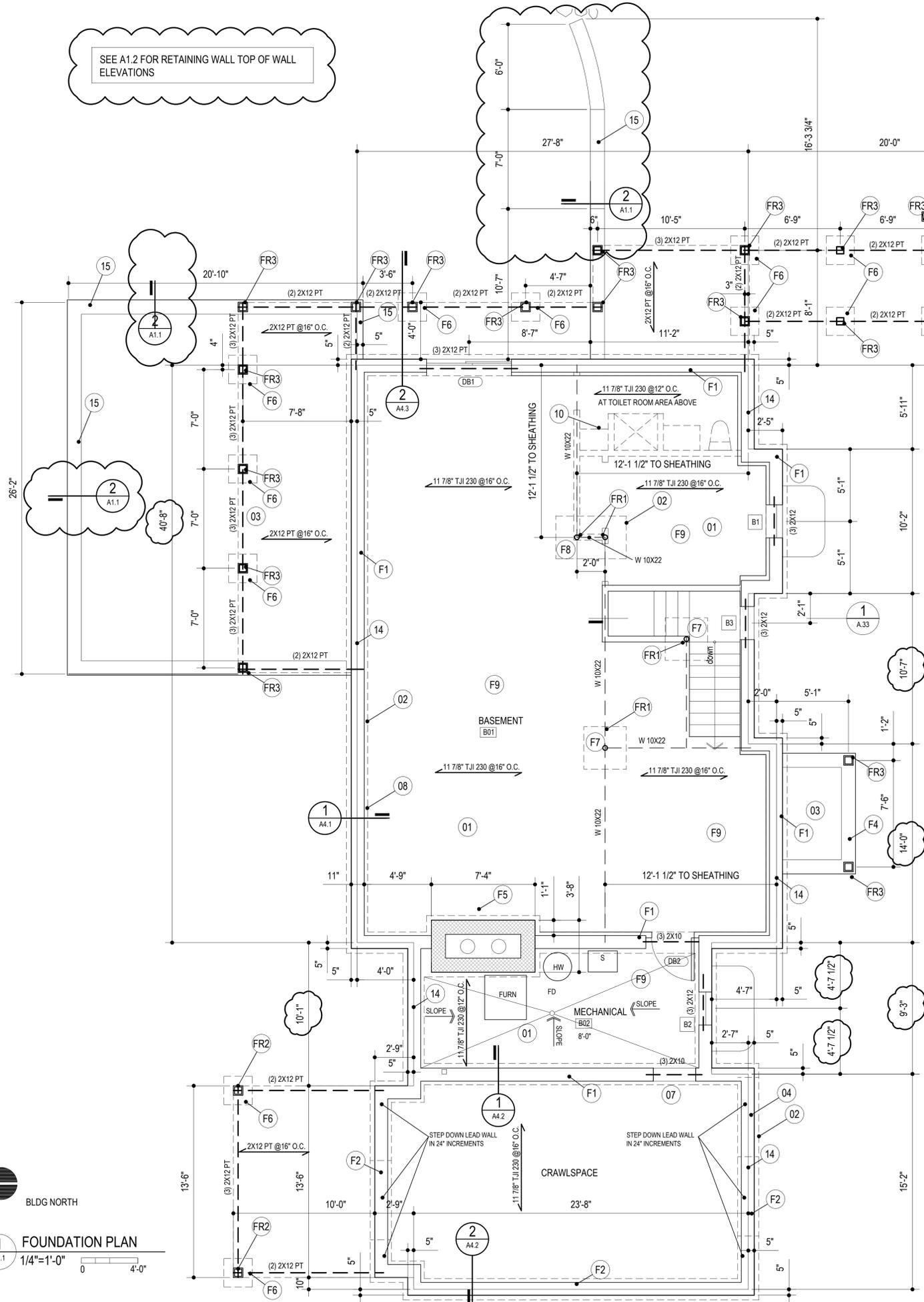
1. CONTRACTOR SHALL PROVIDE DESIGN, LABOR AND MATERIALS FOR INSTALLATION OF ELECTRICAL SYSTEM. SYSTEM SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.

2. PROVIDE TERMINAL HOOKUP OF ALL FIXTURES, APPLIANCES, AND FANS.

3. REVIEW LIGHTING AND DEVICE SELECTIONS WITH OWNER FOR APPROVAL PRIOR TO INSTALLATION.

4. REVIEW ALL DEVICE LOCATIONS WITH OWNER. PROVIDE TELEPHONE AND DATA RECEPTACLE LOCATIONS PER OWNER REQUIREMENTS.

SEE A1.2 FOR RETAINING WALL TOP OF WALL ELEVATIONS



**1** FOUNDATION PLAN  
A1.1 1/4"=1'-0"

**KEY**

- 01 CONCRETE SLAB
- 02 LINE OF FOOTING BELOW
- 03 UNEXCAVATED
- 04 REINF. CONC WALL- REFER TO FOUNDATION KEY
- 05 MECHANICAL CHASE
- 06 BRICK SHELF
- 07 CRAWLSPACE ACCESS PANEL
- 08 GYP BD FURRING WITH INSULATION
- 09 NOT USED
- 10 FUTURE WORK
- 11 TRENCH FOOTING - REFER TO FOUNDATION KEY
- 12 NOT USED
- 13 LINE OF STEP
- 14 LINE OF SHEATHING ABOVE
- 15 CONC RETAINING WALL
- 16 CHIMNEY: PROVIDE 6" CMU BEARING DIRECTLY ON FOUNDATION AT ALL HIDDEN AREAS PROVIDE BED SET LIMESTONE BEARING ON CMU AT ALL EXPOSED AREAS

**GENERAL NOTES**

FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL OR ENGINEERED FILL WITH AN ASSUMED SAFE BEARING CAPACITY OF 2,000 PSF. ALLOWABLE SOIL BEARING PRESSURE SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED SOILS ENGINEER.

PROVIDE EMBEDDED ANCHOR BOLTS AT EXTERIOR AND INTERIOR BEARING WALLS. USE 5/8" DIAMETER x 12" @ 6'-0" O.C. AND WITHIN 12" OF END OR CORNER OF WALLS.

TOP OF FOOTING ELEVATIONS SHALL BE 8" BELOW BASEMENT FINISH FLOOR. PROVIDE PLUMBING ROUGH-INS AT FUTURE WORK AREAS INDICATED.

FLOOR DL = 22 PSF, FLOOR LL = 40 PSF, STAIRS DL = 22PSF, STAIRS LL = 100 PSF.

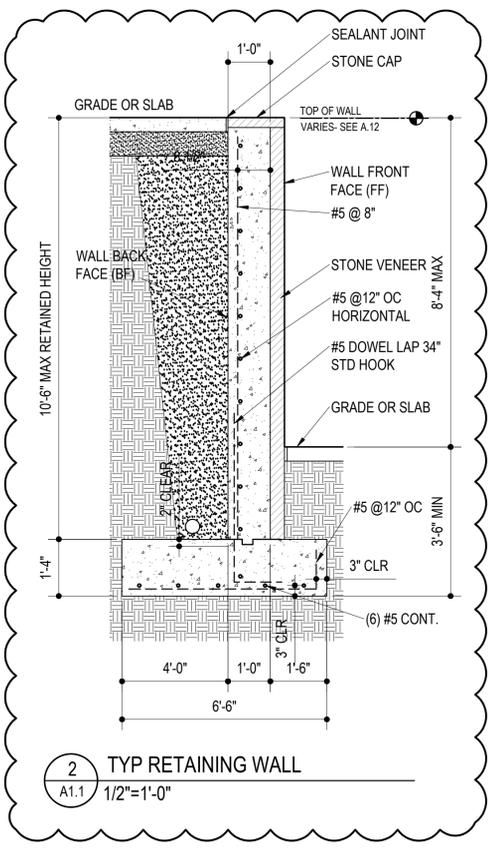
FLOOR SHEATHING SHALL BE 3/4" APA RATED T&G PLYWOOD. ATTACH TO WOOD FRAMING WITH CONSTRUCTION GLUE AND 2" #8 WOOD SCREWS OR 8D NAIL @ 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING.

**FOUNDATION KEY**

- F1 12" CONC WALL W/ #5 @14" O.C. VERTICAL AND #5 @12" O.C. HORIZONTAL ON 30"W X 12"D STRIP FOOTING W/(3) #5 CONT. PROVIDE DOWELS #5 @14" O.C. 36"X12" TYP. (TYP BASEMENT)
- F2 12" CONC WALL W/ #5 @14" O.C. VERTICAL AND #5 @12" O.C. HORIZONTAL ON 18"W X 12"D STRIP FOOTING W/ (2) #5 CONT. PROVIDE DOWELS #5 @14" O.C. 36"X12" TYP. (TYP CRAWLSPACE)
- F3 16"W X 42"D TRENCH FOOTING W/ (4) #5 T&B (TYP GARAGE FOOTING)
- F4 12"W TRENCH FOOTING TO BASEMENT FOUNDATION DEPTH W/ (3) #5 T&B
- F5 12" CMU W/ #5 @32" O.C. VERTICAL ON 16" THICKENED SLAB W/ #2 @12" E.W. PROVIDE DOWEL #5 @32" O.C. W/ 5" EMBEDMENT. 20"X6" TYP. (FIREPLACE FOUNDATION)
- F6 F20 2'-0" X 2'-0" X 3'-6" W/ (5) #6 E.W.
- F7 F46 4'-6" X 4'-6" X 2'-0" W/ (8) #6 S.W.B. W/ (5) #6 L.W.B.
- F8 F60X40 6'-0" X 4'-0" X 2'-0" W/ (8) #6 S.W.B. W/ (5) #6 L.W.B.
- F9 S1 4" CONCRETE SLAB W/ 6X6 W1.4 X 4 X W1.4 WWF ON 6 MIL VAPOR BARRIER OVER 6" GRANULAR FILL.

**FRAMING KEY**

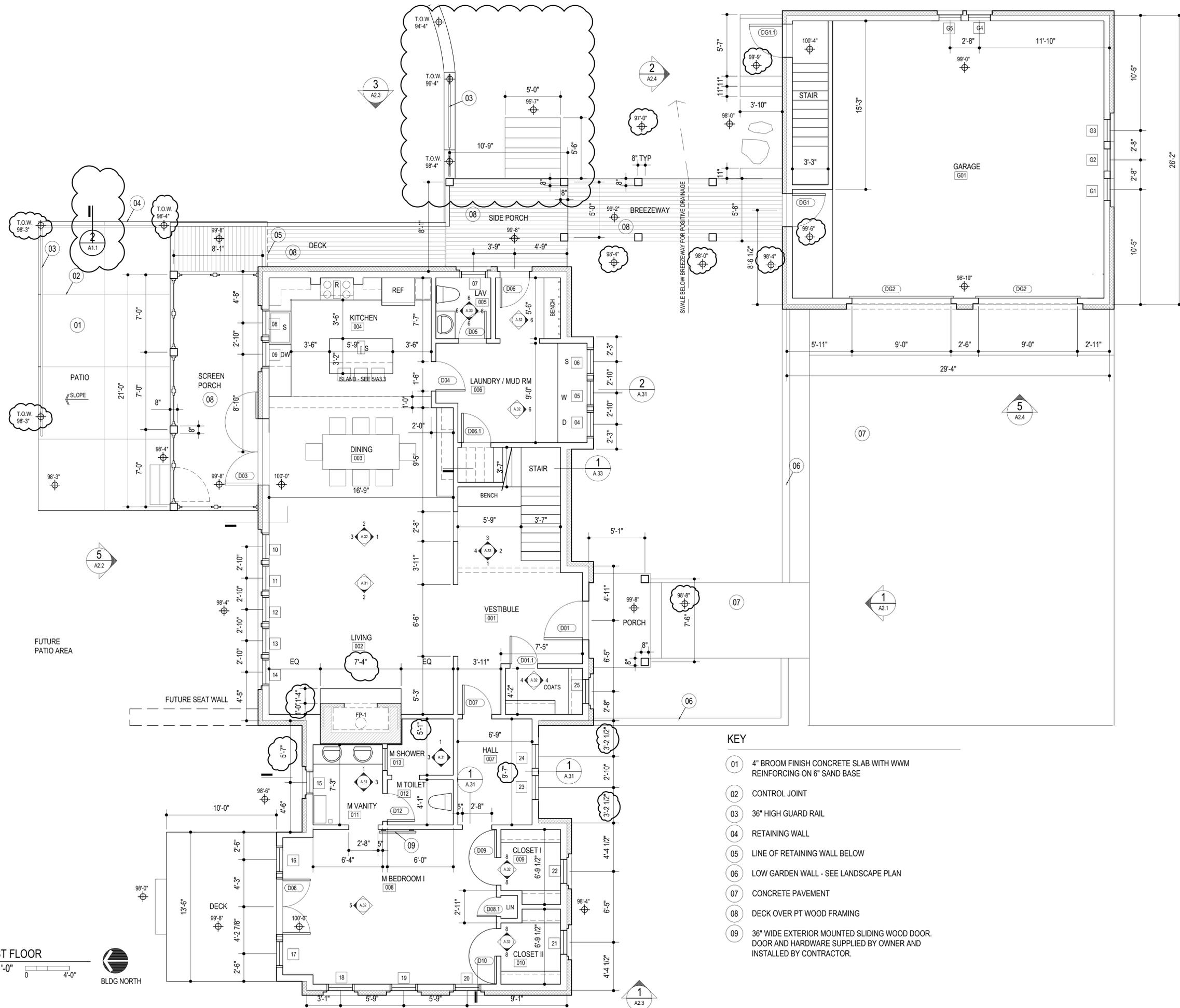
- FR1 C1 3" STD PIPE COLUMN W/ 1/2" CAP ON 10" X 10" X 3/4" PLATE ON 1/2" NON-SHRINK METALLIC GROUT. (4) 3/4"DIAMETER ANCHOR BOLTS
- FR2 4X4 PT WOOD POST
- FR3 6X6 PT WOOD POST



**2** TYP RETAINING WALL  
A1.1 1/2"=1'-0"

FOUNDATION PLAN DIMENSIONS ARE TO FACE OF SHEATHING. SHEATHING IS SET 5" INSIDE OF FACE OF FOUNDATION WALL AT LIMESTONE VENEER LOCATIONS

**1** FIRST FLOOR  
1/4"=1'-0"



**SYMBOLS**

- PARTITION OR WALL TYPE- REFER TO SHEET A.0X
- WINDOW CODE- REFER TO SHEET A.0X
- DOOR CODE- REFER TO SHEET A.0X

ALL INTERIOR PARTITION DIMENSIONS ARE TO FACE OF GYPSUM BOARD

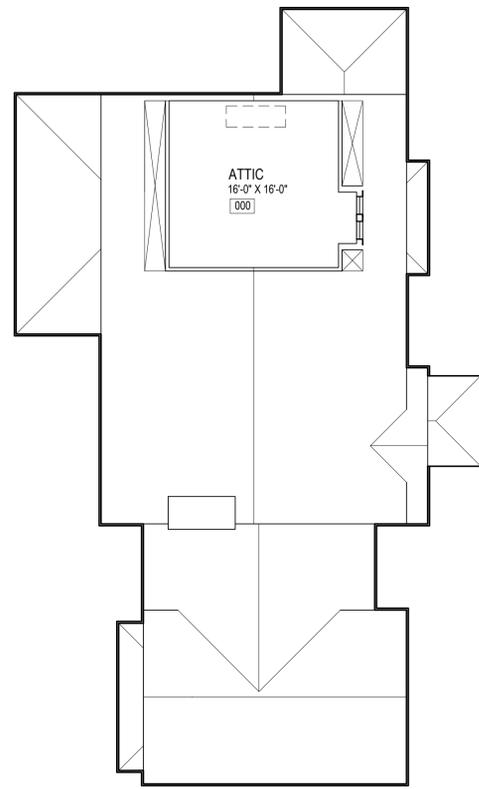
ALL INTERIOR PARTITIONS ARE 1/2" GYPSUM BOARD ON 2X4 WOOD FRAMING

FLOOR PLAN EXTERIOR DIMENSIONS THIS SHEET ARE TO FACE OF SHEATHING

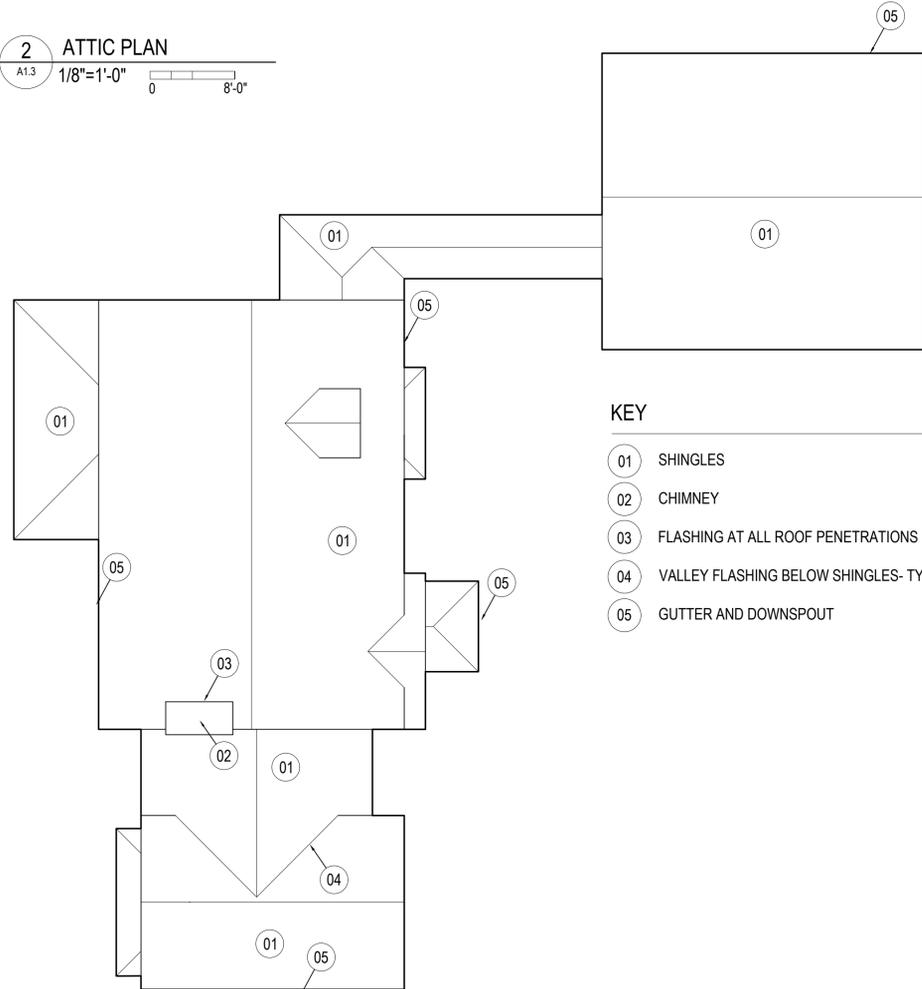
REFER TO WALL SECTIONS

**KEY**

- 01 4" BROOM FINISH CONCRETE SLAB WITH WWM REINFORCING ON 6" SAND BASE
- 02 CONTROL JOINT
- 03 36" HIGH GUARD RAIL
- 04 RETAINING WALL
- 05 LINE OF RETAINING WALL BELOW
- 06 LOW GARDEN WALL - SEE LANDSCAPE PLAN
- 07 CONCRETE PAVEMENT
- 08 DECK OVER PT WOOD FRAMING
- 09 36" WIDE EXTERIOR MOUNTED SLIDING WOOD DOOR. DOOR AND HARDWARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.



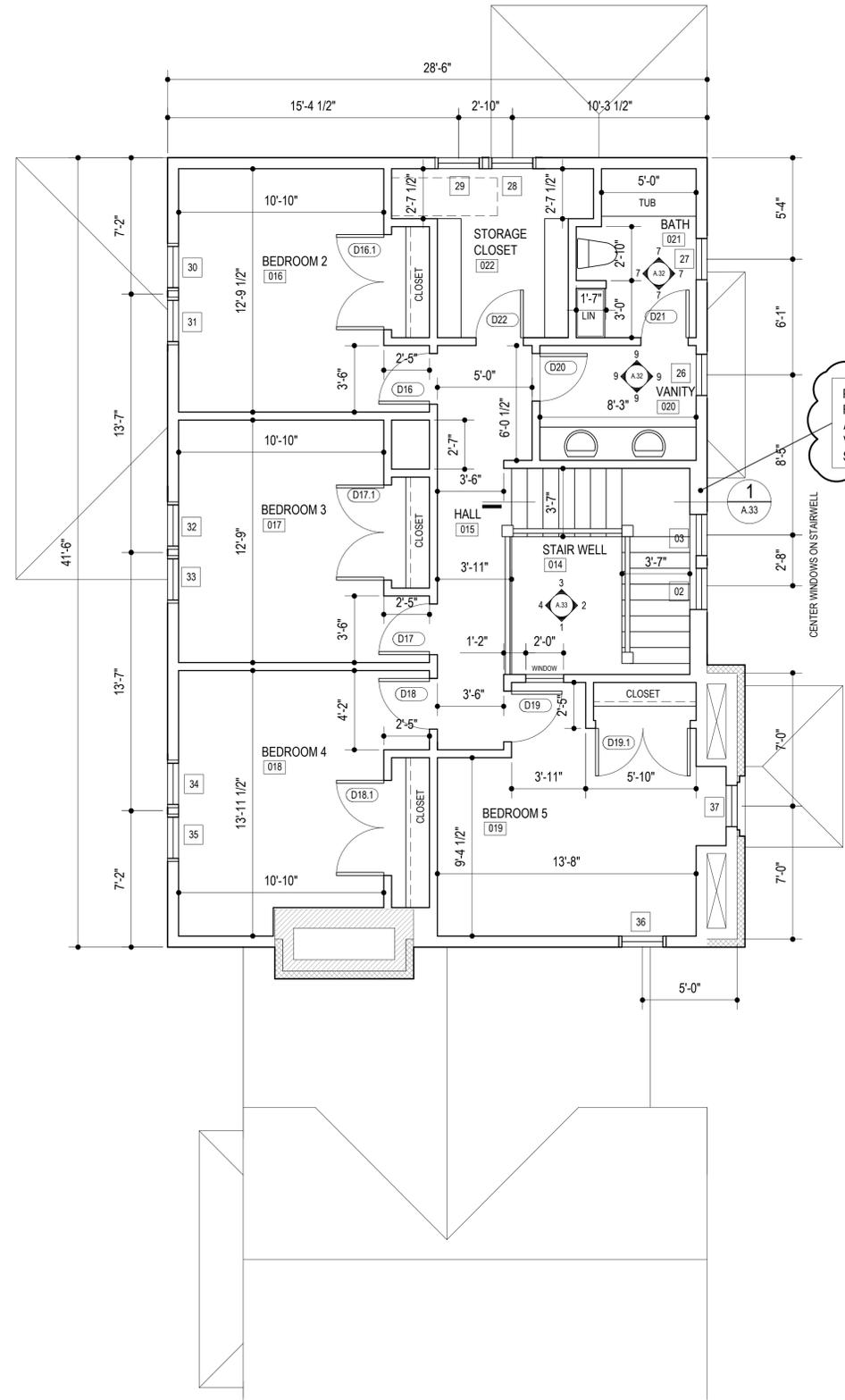
**2 ATTIC PLAN**  
 1/8"=1'-0"  
 0 8'-0"



**2 ROOF PLAN**  
 1/8"=1'-0"  
 0 8'-0"  
 BLDG NORTH

**KEY**

- 01 SHINGLES
- 02 CHIMNEY
- 03 FLASHING AT ALL ROOF PENETRATIONS
- 04 VALLEY FLASHING BELOW SHINGLES- TYP
- 05 GUTTER AND DOWNSPOUT



**1 SECOND FLOOR**  
 1/4"=1'-0"  
 0 4'-0"  
 BLDG NORTH

PACK OUT SECOND FLOOR FRAMING TO ALIGN WITH LIMESTONE VENEER AT STAIRWELL- SEE 1 / A.33

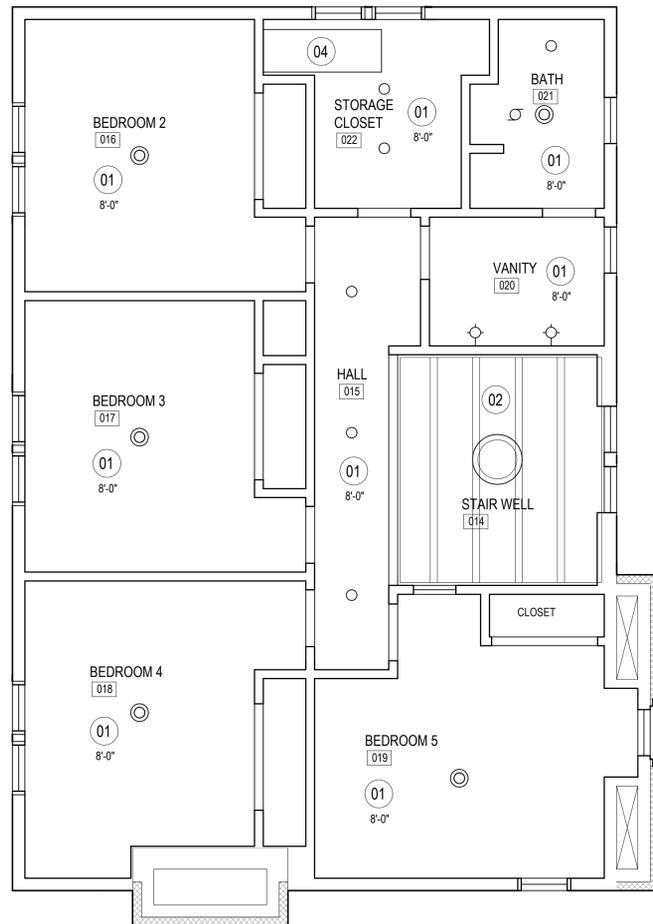
**SYMBOLS**

- ◇ PARTITION OR WALL TYPE- REFER TO SHEET A.0X
- WINDOW CODE- REFER TO SHEET A.0X
- DOOR CODE- REFER TO SHEET A.0X

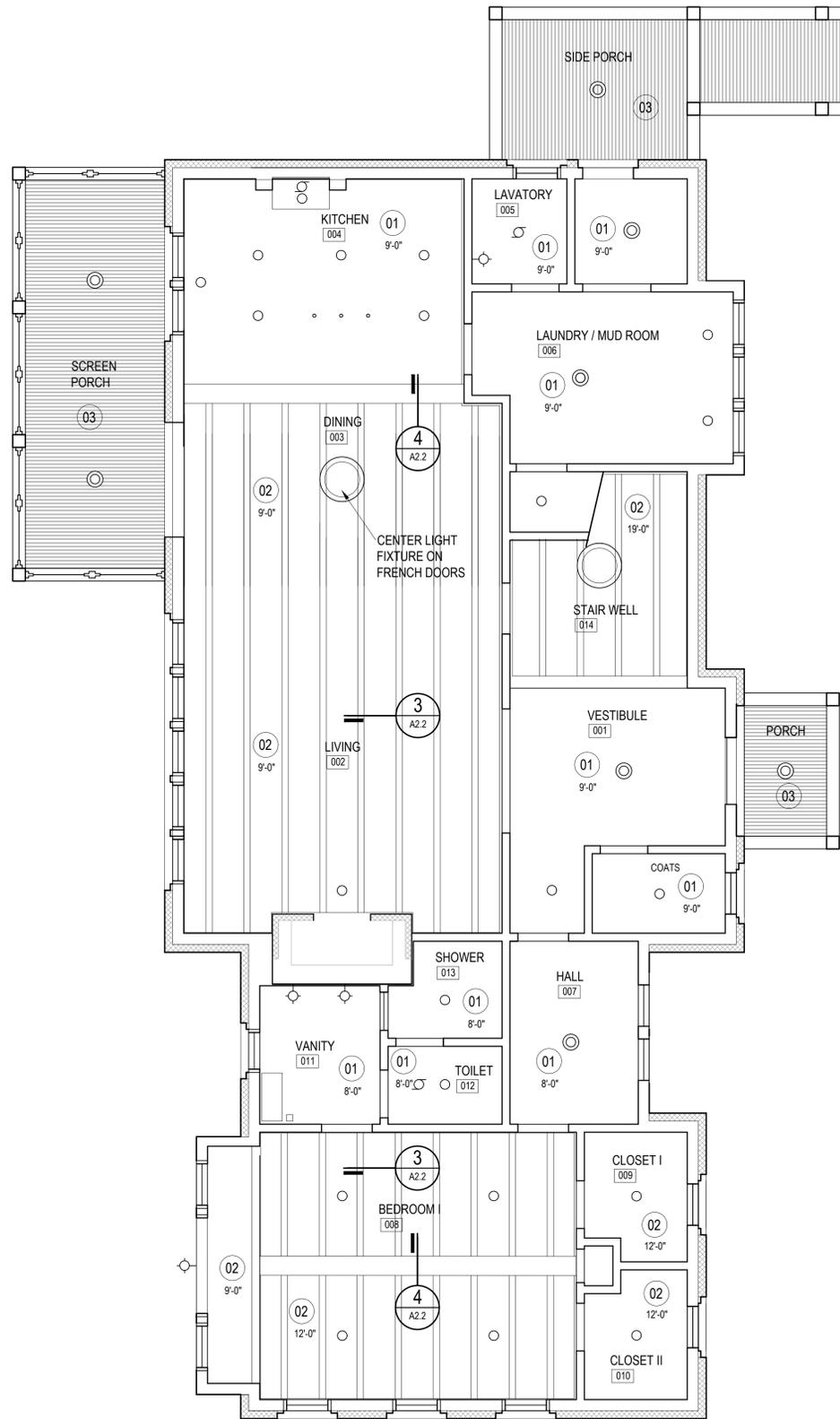
ALL INTERIOR PARTITION DIMENSIONS ARE TO FACE OF GYPSUM BOARD  
 ALL INTERIOR PARTITIONS ARE 1/2" GYPSUM BOARD ON 2X4 WOOD FRAMING

FLOOR PLAN EXTERIOR DIMENSIONS THIS SHEET ARE TO FACE OF SHEATHING  
 REFER TO WALL SECTIONS

**2** SECOND FLOOR CEILING PLAN  
A1.4 1/4"=1'-0" 0 4'-0"



**1** FIRST FLOOR CEILING PLAN  
A1.4 1/4"=1'-0" 0 4'-0"



**KEY**

- 01 GYPSUM BOARD CEILING PAINTED- TYP
- 02 WOOD TRIM OVER GYPSUM BOARD CEILING PAINTED
- 03 T&G BEADBOARD FOR CLEAR FINISH
- 04 ATTIC LADDER

**SYMBOLS**

- ◊ PARTITION OR WALL TYPE- REFER TO SHEET A.0X
- WINDOW CODE- REFER TO SHEET A.0X
- DOOR CODE- REFER TO SHEET A.0X

ALL INTERIOR PARTITION DIMENSIONS ARE TO FACE OF GYPSUM BOARD

ALL INTERIOR PARTITIONS ARE 1/2" GYPSUM BOARD ON 2X4 WOOD FRAMING

FLOOR PLAN EXTERIOR DIMENSIONS ON THIS SHEET ARE TO FACE OF PARTITIONS  
 REFER TO WALL SECTIONS

**FRAMING NOTES**

HDR: BUILT UP HEADERS SHALL BE ATTACHED WITH CONSTRUCTION GLUE AND GRK SCREWS AT 10" O.C. STAGGERED. BUILT UP HEADERS SHALL HAVE THE FOLLOWING CONSTRUCTION UNLESS NOTED OTHERWISE:  
 2X4 WALL - (2) 2X10 + 1/2" PLYWOOD FOR 3 1/2" TOTAL WIDTH  
 2X6 WALL - (3) 2X10 + (2) 1/2" PLYWOOD FOR 5 1/2" TOTAL WIDTH

ALL HEADERS SHALL HAVE A MINIMUM (2) 2X JACK STUDS AT BEARING ENDS.

ROOF DL = 20 PSF, ROOF LL = 20 PSF,  
 SECOND FLOOR DL = 22 PSF, SECOND FLOOR FLOOR LL = 40 PSF,  
 ATTIC DL = 30 PSF, ATTIC LL = 50 PSF  
 STAIRS DL = 22 PSF, STAIRS LL = 100 PSF.

TYPICAL POST: (2) 2X6 OR 2X STUD POST WITH NUMBER OF PLIES EQUAL TO SUPPORTED GIRDER OR HEADER UNLESS NOTED OTHERWISE.

P.E.R.T.: PRE-ENGINEERED ROOF TRUSS, GT: GIRDER TRUSS, HT: HIP TRUSS

ROOF SHEATHING SHALL BE 1/2" APA RATED T&G OSB. ATTACH TO WOOD FRAMING WITH CONSTRUCTION GLUE AND 8D NAIL @ 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING.

EXTERIOR WALL SHEATHING SHALL BE 1/2" APA RATED T&G OSB. ATTACH TO WOOD FRAMING WITH 8D NAIL @ 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING.

FLOOR SHEATHING SHALL BE 3/4" APA RATED T&G PLYWOOD. ATTACH TO WOOD FRAMING WITH CONSTRUCTION GLUE AND 2" # 8 WOOD SCREWS OR 8D NAIL @ 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING.

**GENERAL NOTES**

- FIELD VERIFY ALL DIMENSIONS.
- PROVIDE TEMPORARY SHORING AND BRACING AS REQUIRED.
- CONTACT A/E IF ANY OF THE CONDITIONS ON SITE VARY FROM ASSUMPTIONS STATED HEREIN OR IF DESIGN CHANGES ARE TO OCCUR.
- AS PER MICHIGAN RESIDENTIAL BUILDING CODE 2015.

**FOUNDATIONS/BACKFILL**

- FOUNDATIONS ARE DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 2000PSF. FOUNDATIONS SHALL BEAR ON NATURAL, UNDISTURBED SOILS.
- CONTRACTOR SHALL BE AWARE OF AND VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, VAULTS, ETC. DUE CARE SHALL BE EXERCISED DURING EXCAVATION SUCH THAT EXISTING UTILITIES ARE NOT DAMAGED.

**WOOD CONSTRUCTION**

- SAWN LUMBER FRAMING HAS BEEN DESIGNED IN ACCORDANCE WITH THE NATIONAL FOREST PRODUCTS ASSOCIATION, NATIONAL DESIGN SPECIFICATIONS (NDS), FOR WOOD CONSTRUCTION, 2005 EDITION.
- DIMENSIONAL TIMBER CONSTRUCTION SHALL CONFORM TO THE FOLLOWING MINIMUM ALLOWABLE STRESSES (BASED ON SPRUCE-PINE-FIR NO. 2 GRADE OR BETTER), UNLESS NOTED OTHERWISE.
 

|  |         |
|--|---------|
| A. MODULUS OF ELASTICITY, E:                           | 1400KSI |
| B. BENDING STRESS, F <sub>b</sub> :                    | 875PSI  |
| C. COMPRESSION STRESS, F <sub>c</sub> (PARALLEL):      | 1150PSI |
| D. COMPRESSION STRESS, F <sub>c</sub> (PERPENDICULAR): | 425PSI  |
| E. SHEAR STRESS, F <sub>v</sub> :                      | 135PSI  |
| F. MAXIMUM MOISTURE CONTENT:                           | 19%     |
- LAMINATED VENEER LUMBER SHALL CONFORM TO THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
 

|                                     |         |
|-------------------------------------|---------|
| A. MODULUS OF ELASTICITY, E:        | 1800KSI |
| B. BENDING STRESS, F <sub>b</sub> : | 2600PSI |
| C. SHEAR STRESS, F <sub>v</sub> :   | 285PSI  |
- MINIMUM (2) STUDS AT ALL BEAM BEARING LOCATIONS.
- SUPPORT AT LEAST EVERY OTHER JOIST LATERALLY AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING NOT LESS THAN 2" THICK AND FULL DEPTH.
- PROVIDE ONE LINE OF BRIDGING FOR EACH EIGHT FEET OF SPAN FOR ALL ROOF AND FLOOR FRAMING MEMBERS.
- HOLES PLACED IN JOISTS SHALL NOT BE WITHIN 2' OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST.
- INSTALL SHEATHING WITH THE LONG DIMENSION OF THE PANEL ACROSS THE SUPPORTS, WITH PANEL CONTINUOUS OVER 2 OR MORE SPANS AND PANEL JOINTS STAGGERED. FLOOR SHEATHING SHALL BE GLUED AND NAILED TO SUPPORTING MEMBERS. FLOOR PANEL EDGES SHALL BE TONGUE IN GROOVE OR SUPPORTED ON 2" LUMBER BLOCKING. USE ADHESIVES MEETING APA SPECIFICATIONS APG-01 AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ADHESIVES SHALL MEET THE REQUIREMENTS FOR WET CONDITIONS OF SERVICE.

**CAST-IN-PLACE CONCRETE**

- CONCRETE HAS BEEN DESIGNED BY THE ULTIMATE STRENGTH METHOD PER ACI 318-05 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE."
- CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 - CURRENT EDITION, "SPECIFICATIONS FOR STRUCTURAL CONCRETE OF BUILDINGS", ACI 318-05 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", ACI GUIDE 362.1R-07, AND ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60.
- ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000PSI.
- CONCRETE SHALL BE NORMAL WEIGHT, UNLESS INDICATED OTHERWISE.

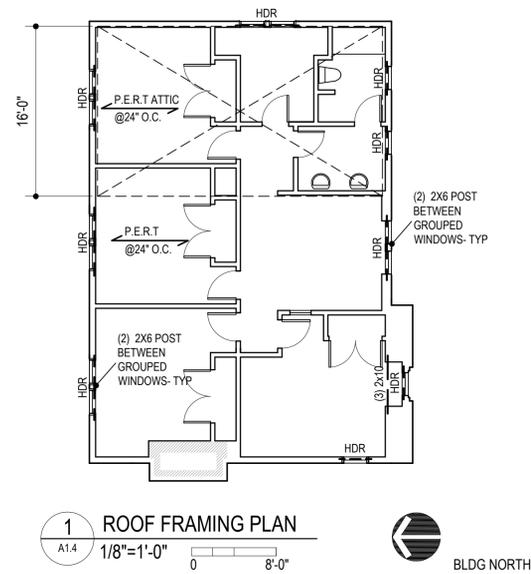
**STRUCTURAL STEEL**

- DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE THIRTEENTH EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS AND MINIMUM YIELD STRENGTHS:

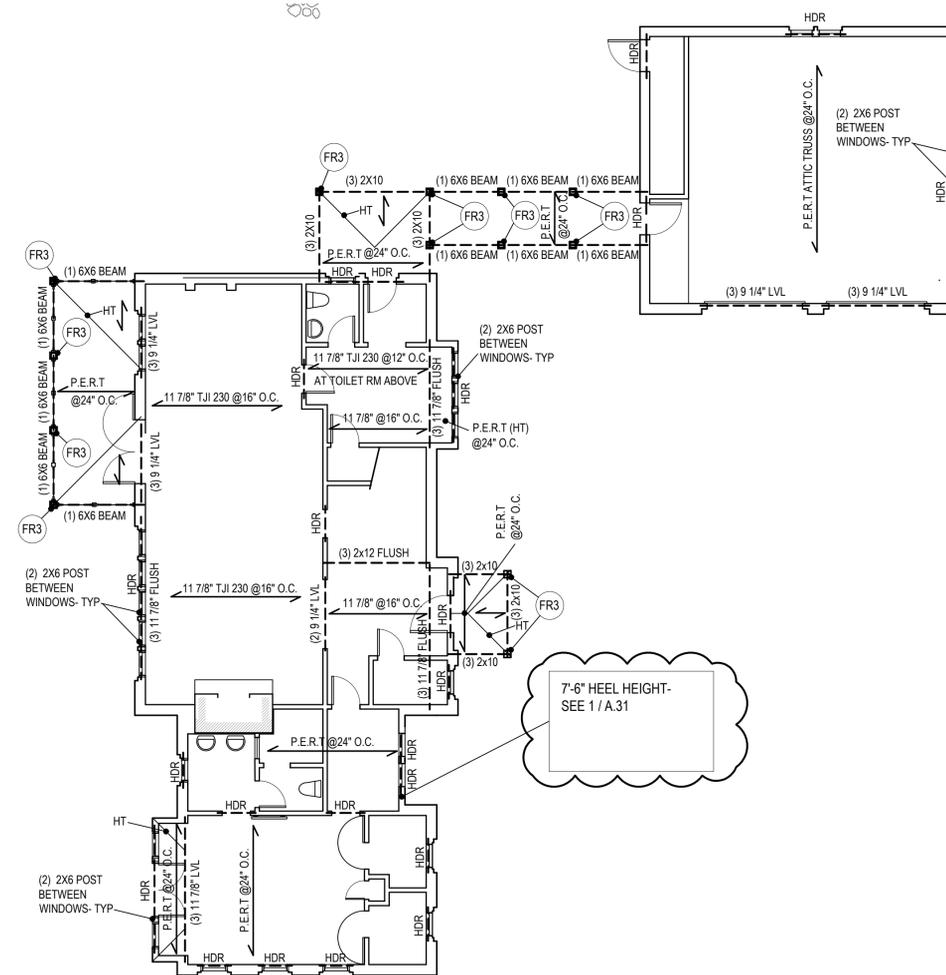
|              |             |            |
|--------------|-------------|------------|
| W SHAPES     | A992        | FY = 50KSI |
| PIPE COLUMNS | A53 GRADE B | FY = 35KSI |
| PLATES       | A36         | FY = 36KSI |

**FRAMING KEY**

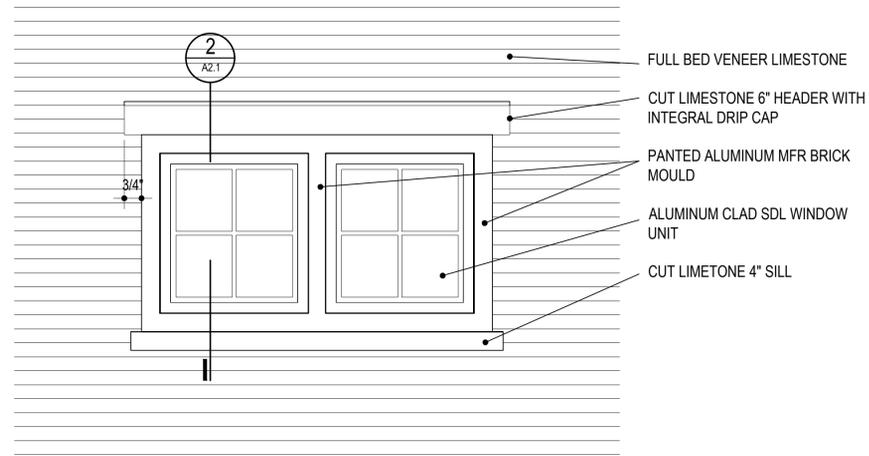
- FR1 C1  
3" STD PIPE COLUMN W/ 1/2" CAP ON 10" X 10" X 3/4" PLATE ON 1/2" NON-SHRINK METALLIC GROUT.  
(4) 3/4" DIAMETER ANCHOR BOLTS
- FR2 4X4 PT WOOD POST
- FR3 6X6 PT WOOD POST



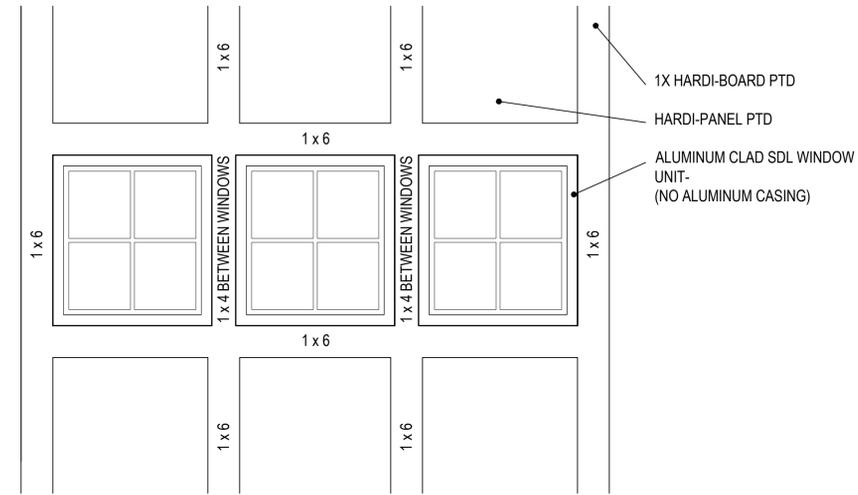
REFER TO 1 A1.1 FOR FIRST FLOOR FRAMING INFORMATION



REFER TO 1 A1.1 FOR FIRST FLOOR FRAMING INFORMATION



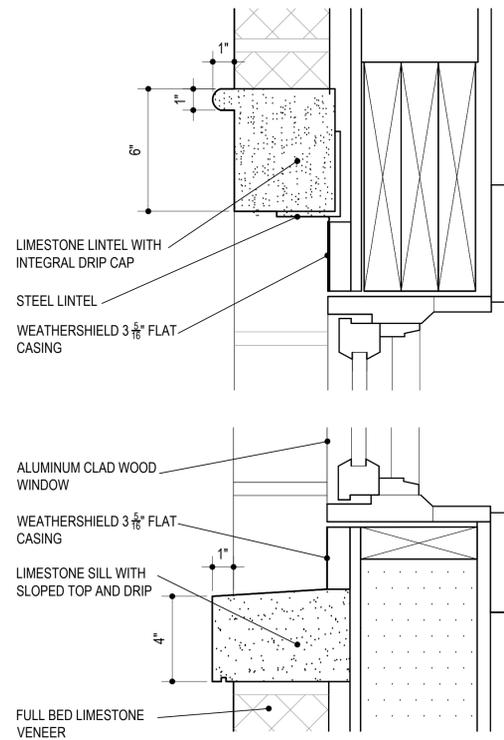
WINDOW GROUP AT MASONRY VENEER



WINDOW GROUP AT HALF-TIMBERING

KEY

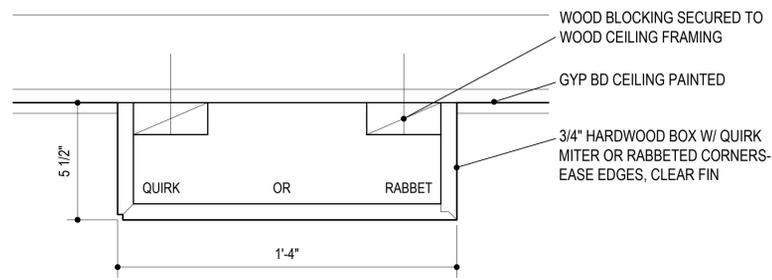
- 01 FULL BED VENEER LIMESTONE
- 02 HALF TIMBERING - HARDI-BEARD TRIM ON HARDI-PANEL
- 03 GUTTER AND DOWNSPOUT
- 04 SHINGLE ROOF
- 05 LIMESTONE CAP
- 06 DECK RAIL
- 07 RETAINING WALL
- 08 CLAY CHIMNEY POT
- 09 PORCH SCREENS
- 10 OUTLINE OF FOUNDATION
- 11 HARDI-BEARD TRIM PAINTED



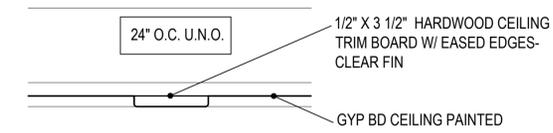
2 TYP WINDOW HEAD AND SILL AT MASONRY VENEER  
1/4"=1'-0"  
0 4'-0"



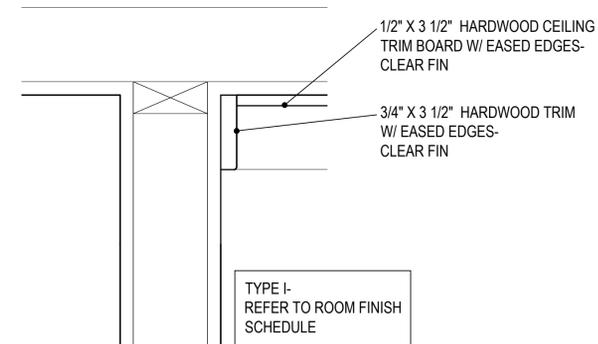
1 1/4"=1'-0"  
0 4'-0"



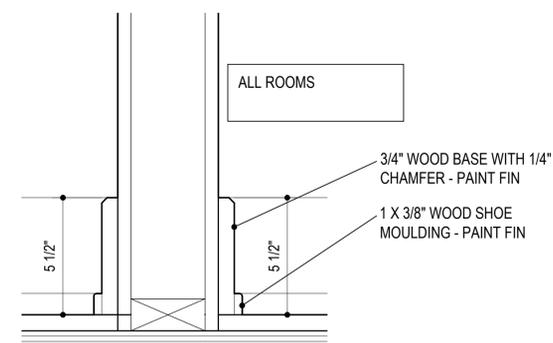
**4 CEILING TRIM**  
A2.2 3"=1'-0" 0 6"



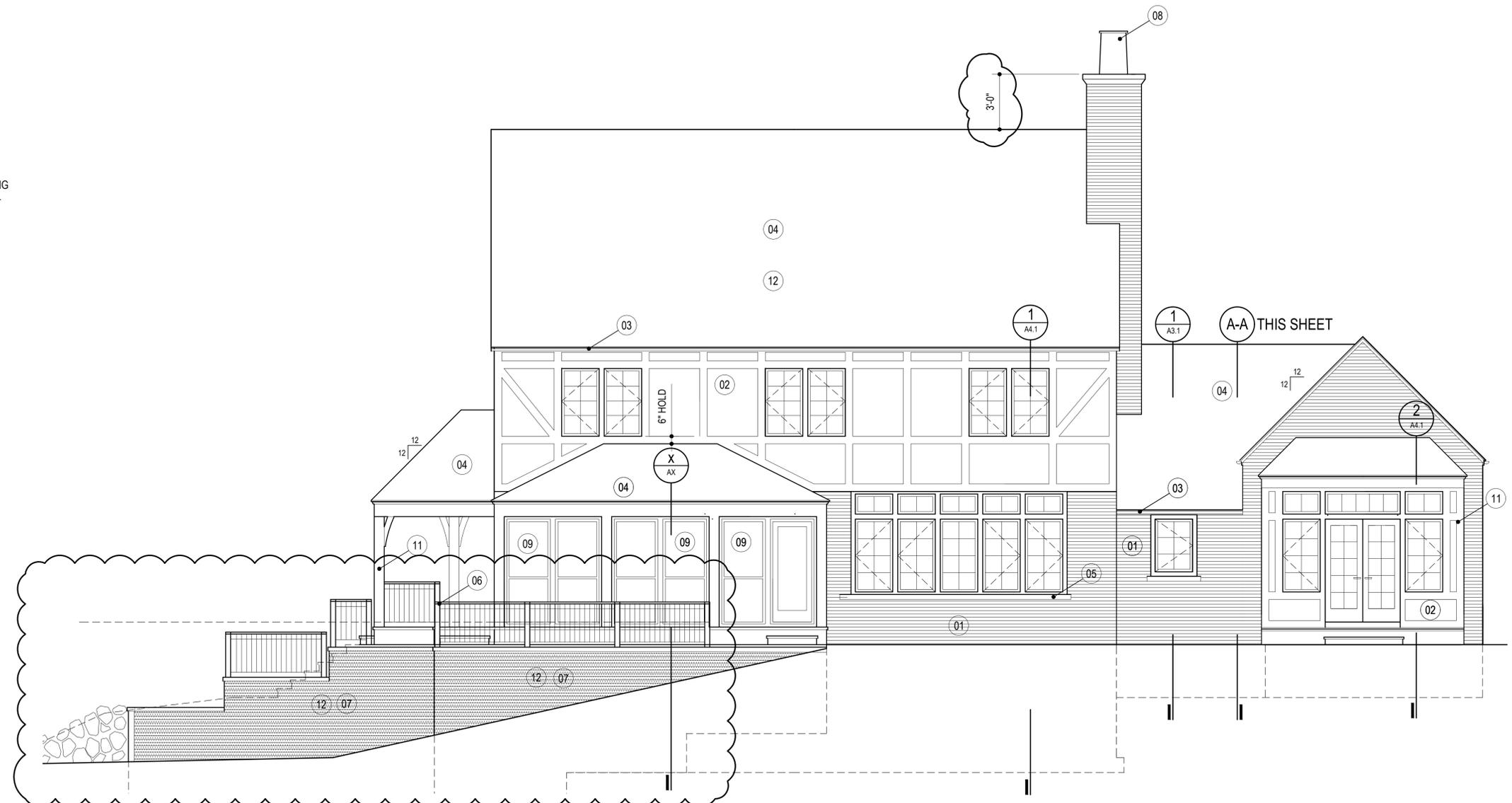
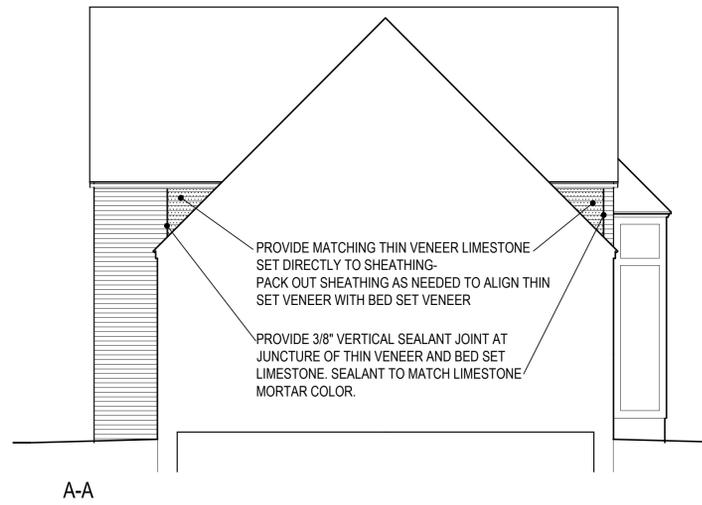
**3 CEILING TRIM**  
A2.2 3"=1'-0" 0 6"



**2 CEILING TRIM**  
A2.2 3"=1'-0" 0 6"



**1 WALL BASE**  
A2.2 3"=1'-0" 0 6"



**5 NORTH ELEVATION**  
A2.2 1/4"=1'-0" 0 4'-0"

**KEY**

- 01 FULL BED VENEER LIMESTONE
- 02 HALF TIMBERING - HARDI-BOARD TRIM ON HARDI-PANEL
- 03 GUTTER AND DOWNSPOUT
- 04 SHINGLE ROOF
- 05 LIMESTONE CAP
- 06 DECK RAIL
- 07 RETAINING WALL
- 08 CLAY CHIMNEY POT
- 09 PORCH SCREENS
- 10 OUTLINE OF FOUNDATION
- 11 HARDI-BOARD TRIM PAINTED
- 12 THIN VENEER LIMESTONE

**FULL BED VENEER NOTES**

PROVIDE STAINLESS STEEL ANCHORS 24" VERTICALLY AND 18" HORIZONTALLY.

FLASH TOPS OF ALL WALLS TO PREVENT RAIN, SNOW OR SEEPAGE FROM ENTERING SPACE BETWEEN VENEER AND BACKING.

PROVIDE CONTINUOUS BASE FLASHING WITH 24" O.C. WEEP HOLES ABOVE FINISHED GRADE AT BASE OF WALL.

PROVIDE PRE-FINISHED METAL DRIP CAP AT WINDOW HEADS, DOOR HEADS, AND AT ALL EXPOSED LOCATIONS AS NECESSARY

MORTAR COLOR PER OWNER SELECTION.

**VENEER FLASHING NOTES**

PROVIDE MEMBRANE FLASHING, STEP FLASHING AND METAL COUNTER-FLASHING AT JUNCTURE OF VENEER SYSTEM AND ADJACENT ROOF PLANE. REVIEW COUNTER-FLASHING MATERIAL AND COLOR WITH OWNER.

**THIN VENEER NOTES**

PROVIDE CORROSION RESISTANT WEEP SCREEDS, FLASHING AND WEEP VENTS.

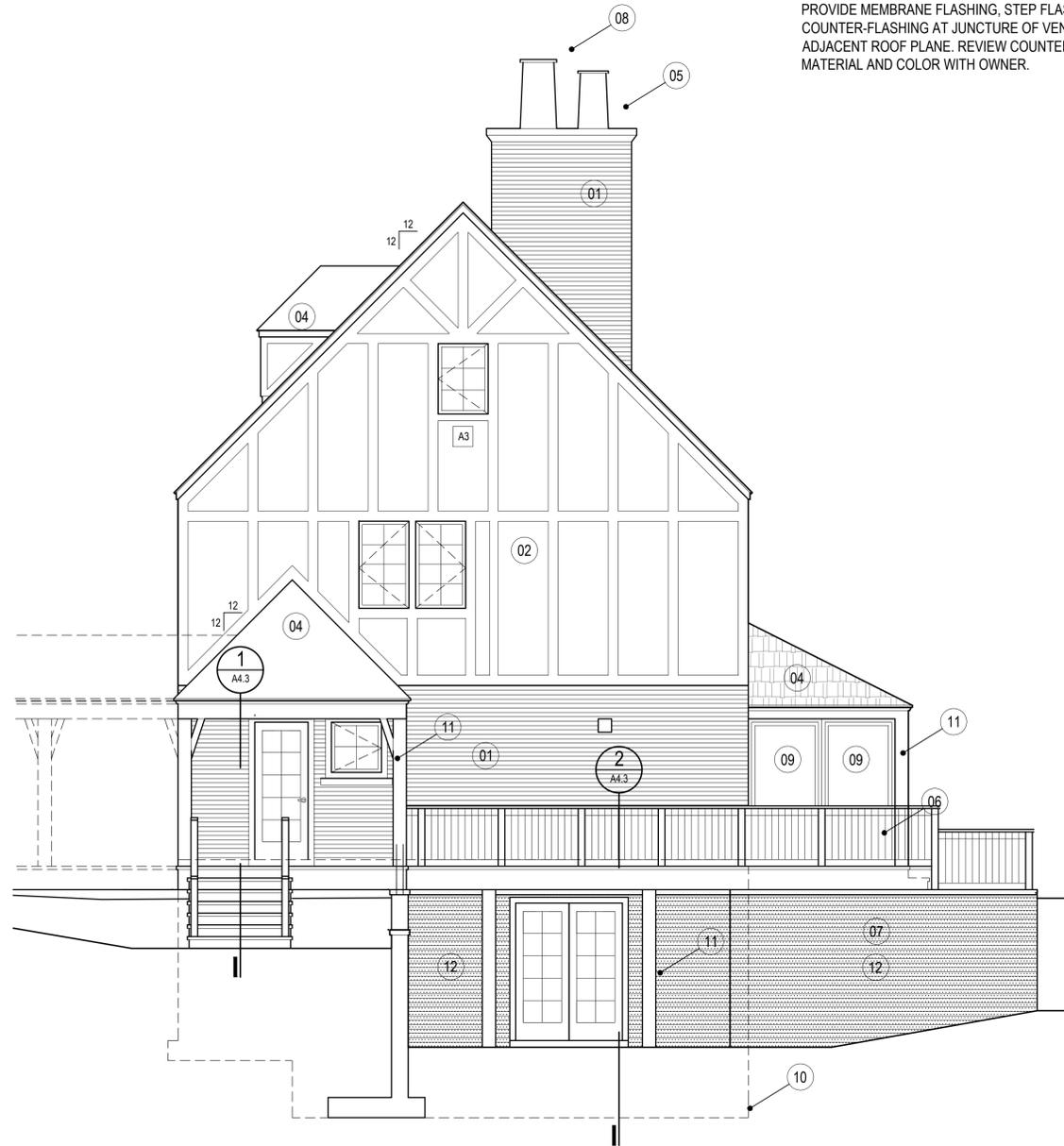
PROVIDE TWO PLY WATER RESISTANT BARRIER SYSTEM.

PROVIDE 3.4 LB PER SF EXPANDED METAL GALVANIZED DIAMOND METAL LATHE ASTM C1063-15. CORROSION RESISTANT FASTENERS CONFORMING TO ASTM 1063.

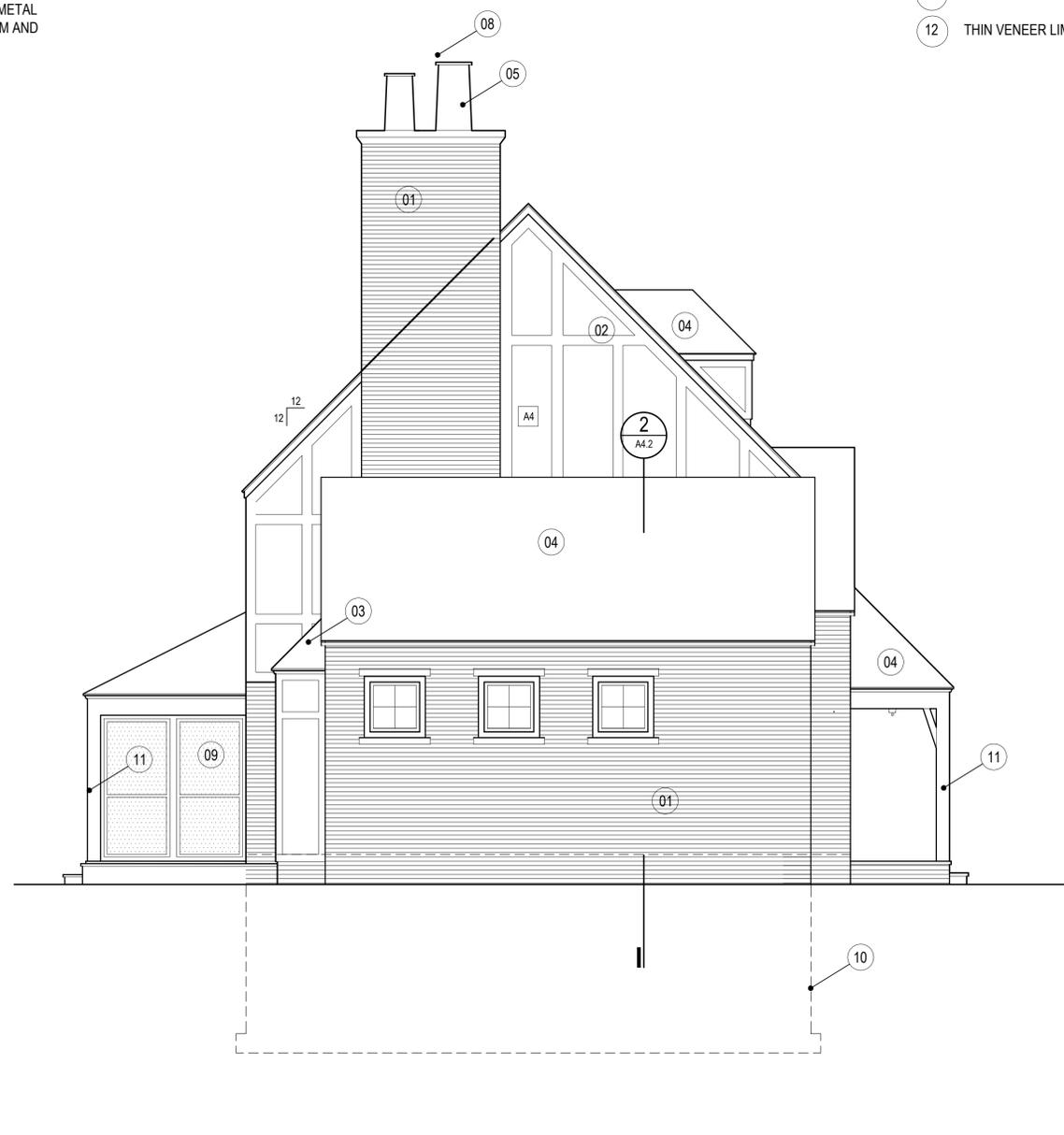
MORTAR COLOR PER OWNER SELECTION.

**KEY**

- 01 FULL BED VENEER LIMESTONE
- 02 HALF TIMBERING - HARDI-BEARD TRIM ON HARDI-PANEL
- 03 GUTTER AND DOWNSPOUT
- 04 SHINGLE ROOF
- 05 LIMESTONE CAP
- 06 DECK RAIL
- 07 RETAINING WALL
- 08 CLAY CHIMNEY POT
- 09 PORCH SCREENS
- 10 OUTLINE OF FOUNDATION
- 11 HARDI-BOARD TRIM PAINTED
- 12 THIN VENEER LIMESTONE



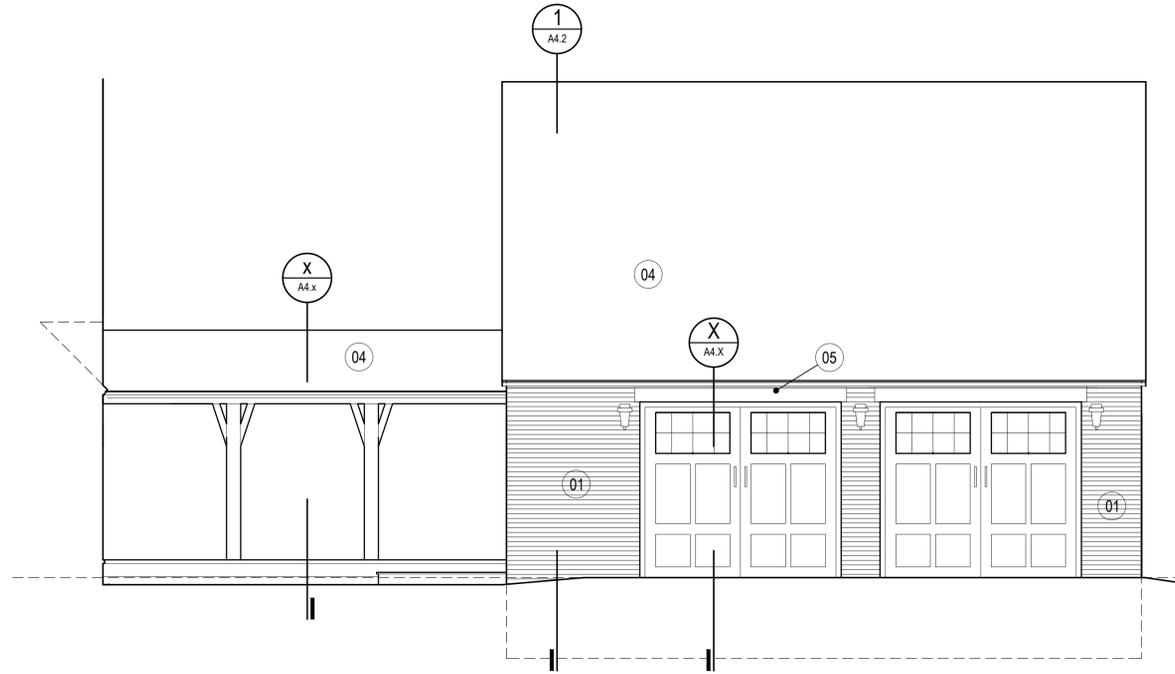
2 EAST ELEVATION  
1/4"=1'-0"  
0 4'-0"



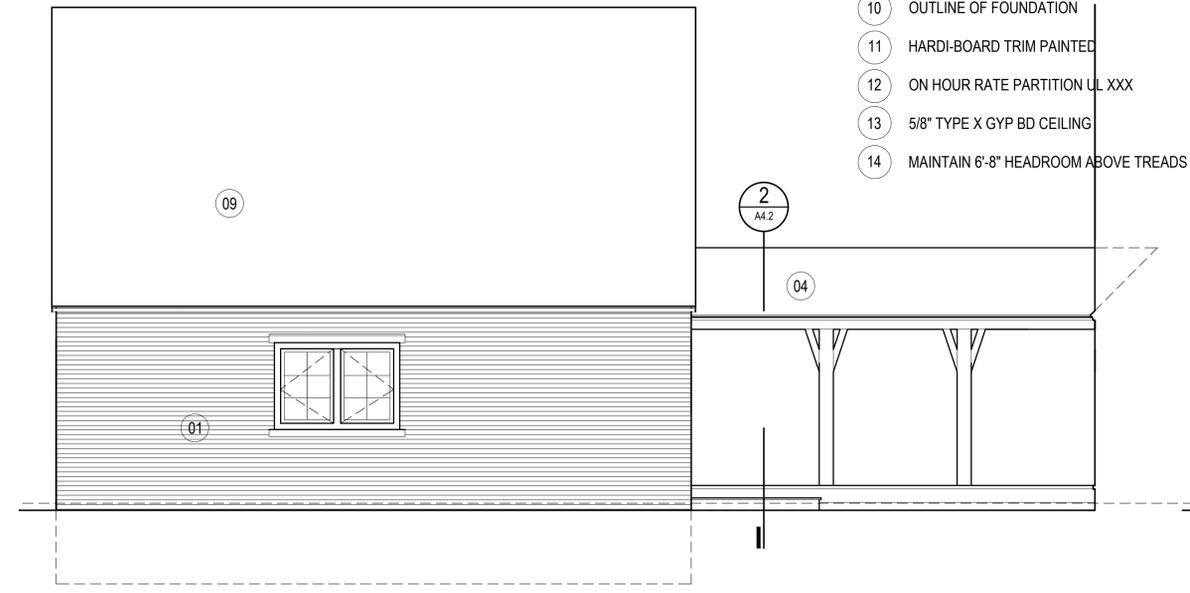
1 WEST ELEVATION  
1/4"=1'-0"  
0 4'-0"

KEY

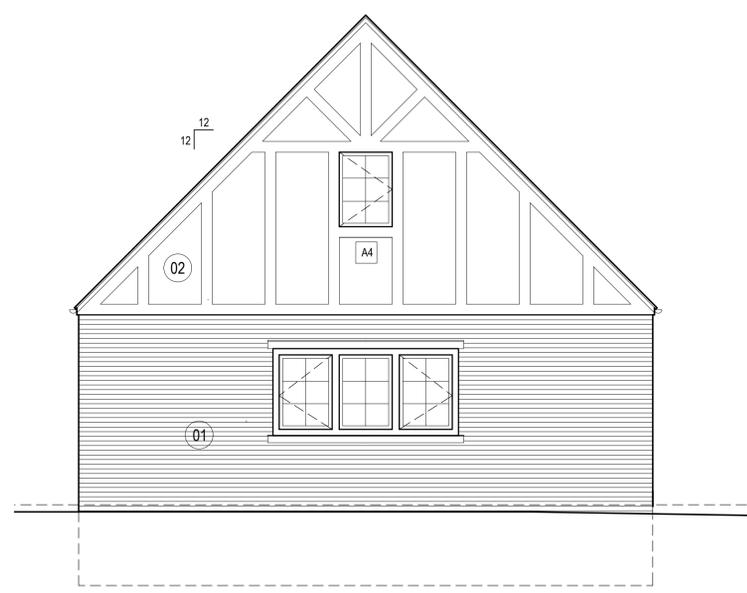
- 01 FULL BED VENEER LIMESTONE
- 02 HALF TIMBERING - HARDI-BBOARD TRIM ON HARDI-PANEL
- 03 GUTTER AND DOWNSPOUT
- 04 SHINGLE ROOF
- 05 LIMESTONE CAP
- 06 DECK RAIL
- 07 VINYL PLANK ON WOOD FRAMED LANDING
- 08 CLEAR FINISH TREAD, PAINTED RISER
- 09 CLEAR FINISH WD HANDRAIL SECURED TO BLOCKING
- 10 OUTLINE OF FOUNDATION
- 11 HARDI-BOARD TRIM PAINTED
- 12 ON HOUR RATE PARTITION UL XXX
- 13 5/8" TYPE X GYP BD CEILING
- 14 MAINTAIN 6'-8" HEADROOM ABOVE TREADS



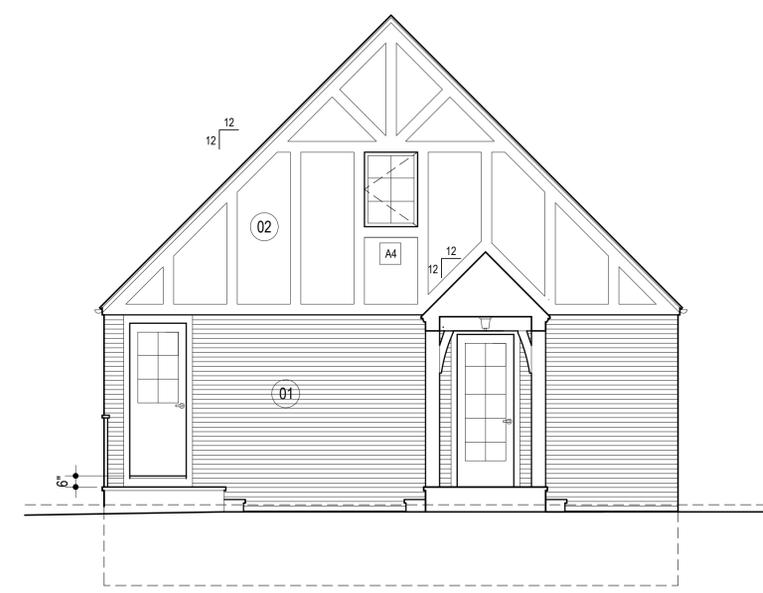
5 WEST ELEVATION  
A2.4 1/4"=1'-0" 0 4'-0"



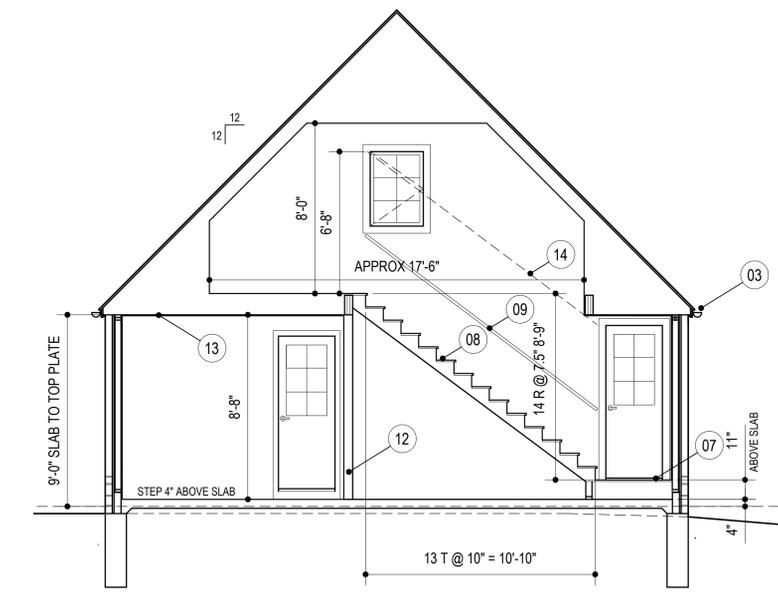
4 EAST ELEVATION  
A2.4 1/4"=1'-0" 0 4'-0"



3 SOUTH ELEVATION  
A2.4 1/4"=1'-0" 0 4'-0"

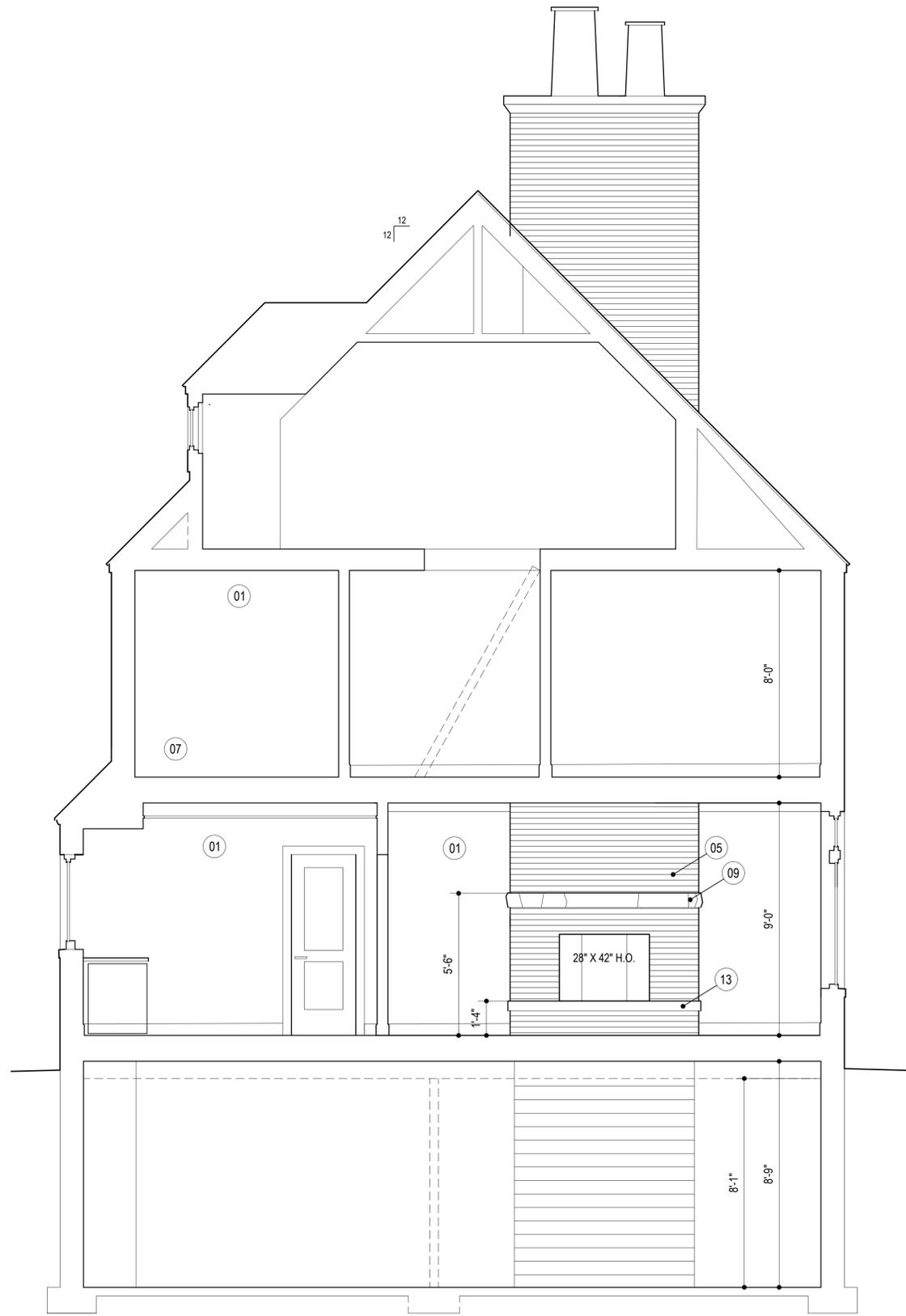


2 NORTH ELEVATION  
A2.4 1/4"=1'-0" 0 4'-0"



1 SECTION  
A2.4 1/4"=1'-0" 0 4'-0"

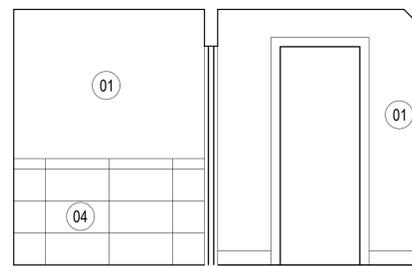
ATTIC TRUSS, STAIR SYSTEM AND EGRESS DOOR ARE OPTIONAL GARAGE DESIGN FEATURES



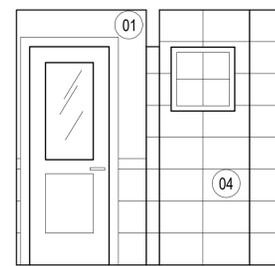
2 NORTH-SOUTH SECTION ELEVATION  
 A3.1 3/8"=1'-0" 0 4'-0"



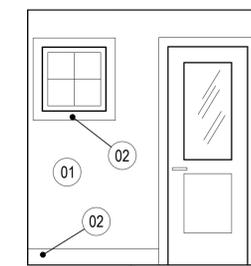
1 NORTH-SOUTH SECTION ELEVATION  
 A3.1 3/8"=1'-0" 0 4'-0"



WEST



NORTH M TOILET / M SHOWER

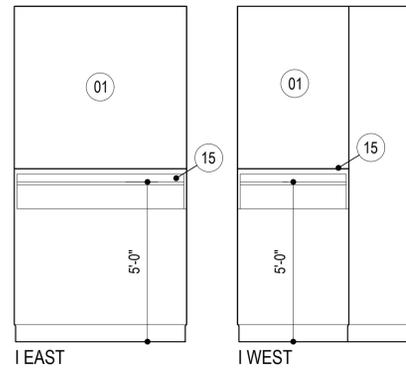


SOUTH M VANITY

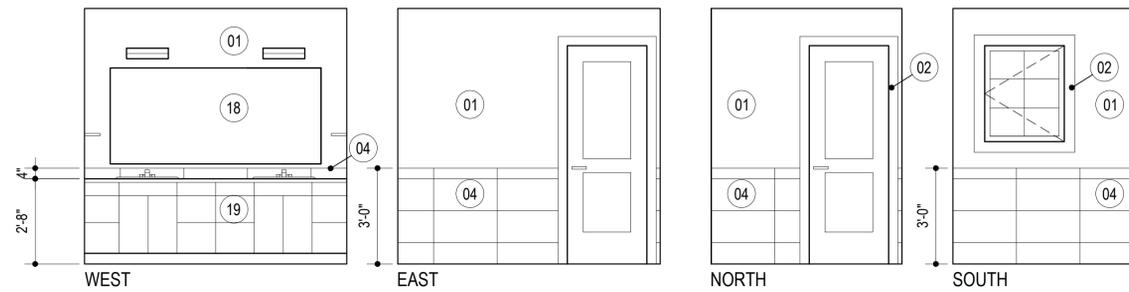
3 M SHOWER / TOILET  
 A3.1 3/8"=1'-0" 0 4'-0"

KEY

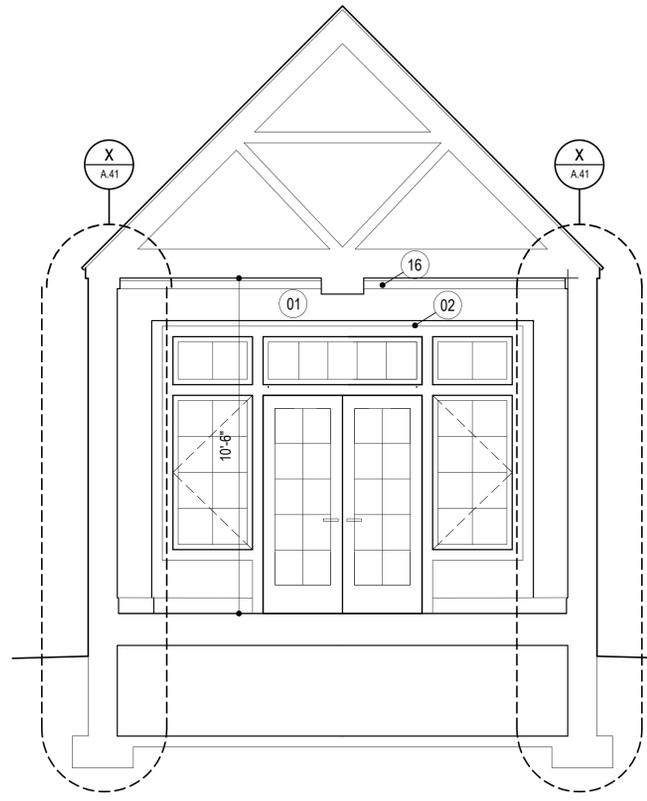
- 01 GYP BD PAINTED
- 02 WOOD TRIM PAINTED
- 03 CASEWORK PAINTED
- 04 CERAMIC TILE
- 05 LIMESTONE VENEER
- 06 BUILT IN SHELVING
- 07 VANITY WITH MARBLE TOP
- 08 TRIM TOP FOR CLEAR FINISH
- 09 TIMBER MANTEL FOR CLEAR FINISH
- 10 FIXED PANEL TO MATCH CABINTRY
- 11 GLASS SHELVES
- 12 MIRROR SBOIBC
- 13 LIMESTONE HEARTH



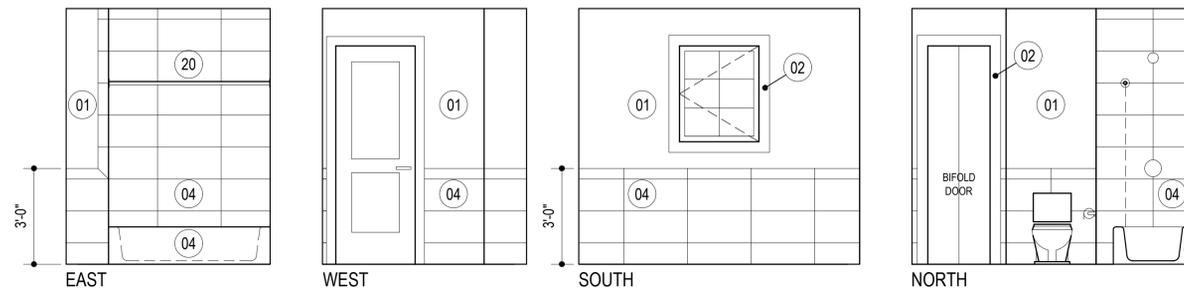
8 CLOSET I (CLOSET II SIM - OPP HD)  
 A3.2 3/8"=1'-0" 0 4'-0"



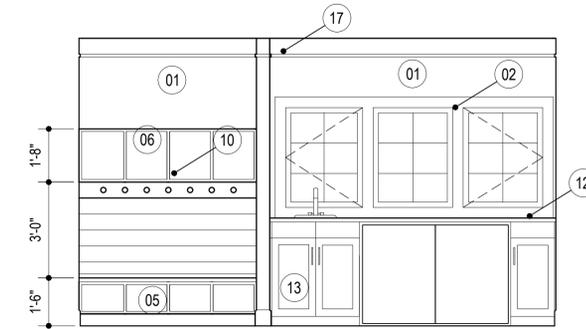
9 VANITY  
 A3.2 3/8"=1'-0" 0 4'-0"



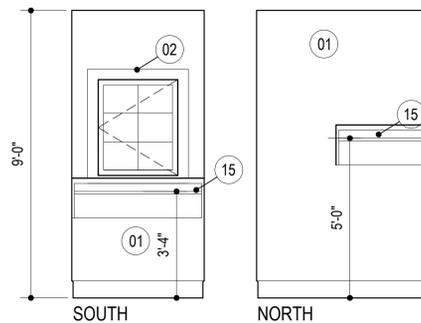
5 BEDROOM 1  
 A3.2 3/8"=1'-0" 0 4'-0"



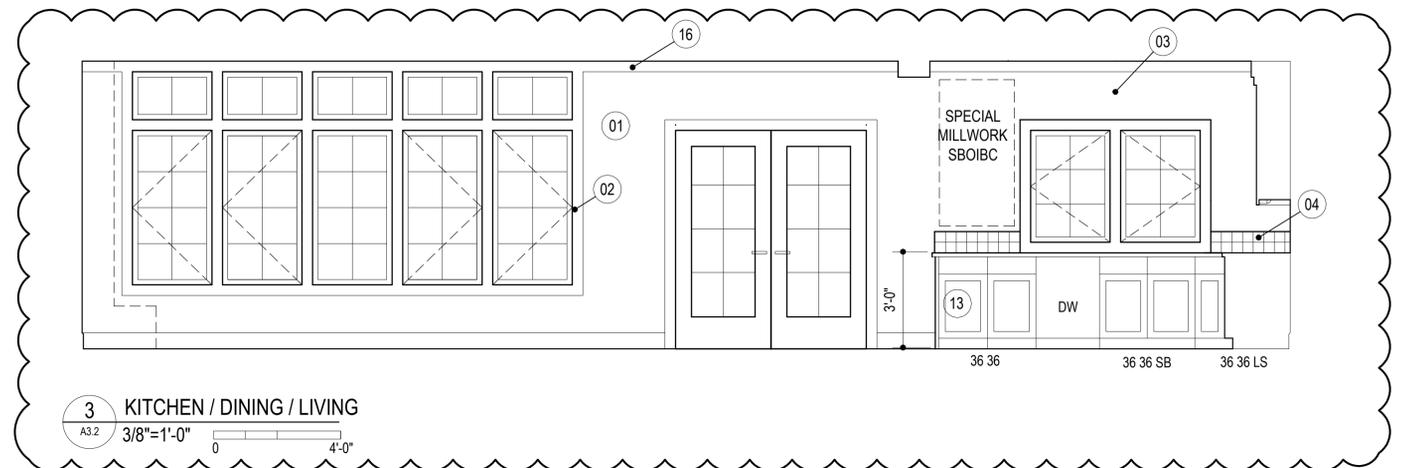
7 BATH  
 A3.2 3/8"=1'-0" 0 4'-0"



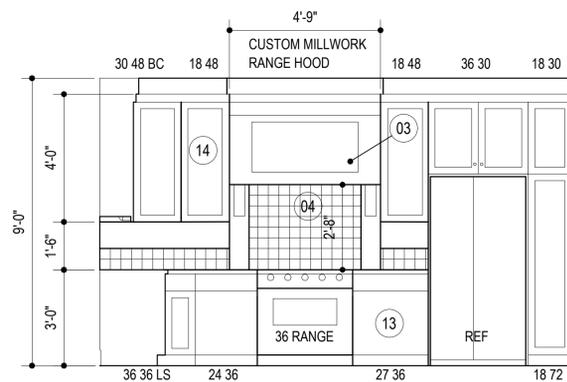
6 MUDROOM / LAUNDRY  
 A3.2 3/8"=1'-0" 0 4'-0"



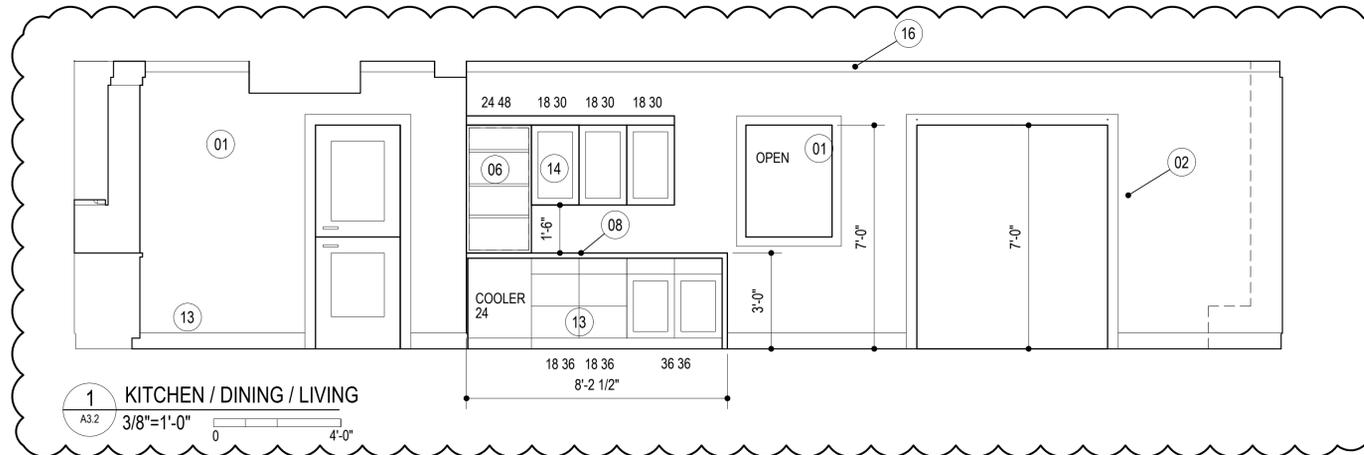
4 COATS  
 A3.2 3/8"=1'-0" 0 4'-0"



3 KITCHEN / DINING / LIVING  
 A3.2 3/8"=1'-0" 0 4'-0"



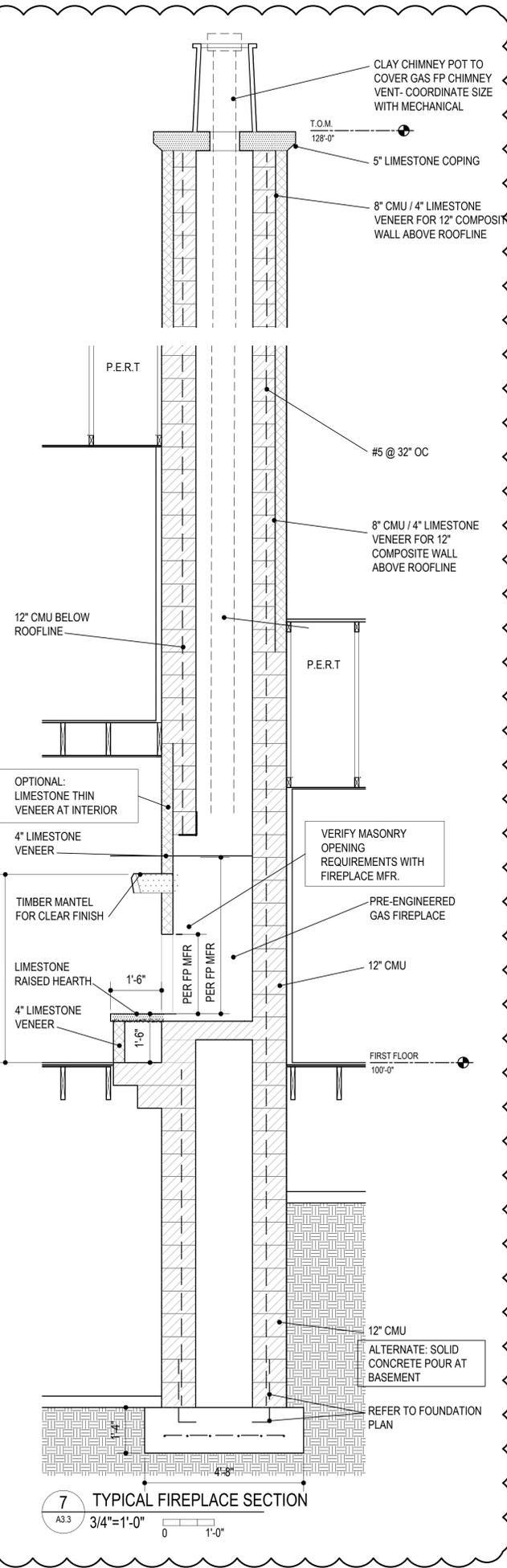
2 KITCHEN  
 A3.2 3/8"=1'-0" 0 4'-0"



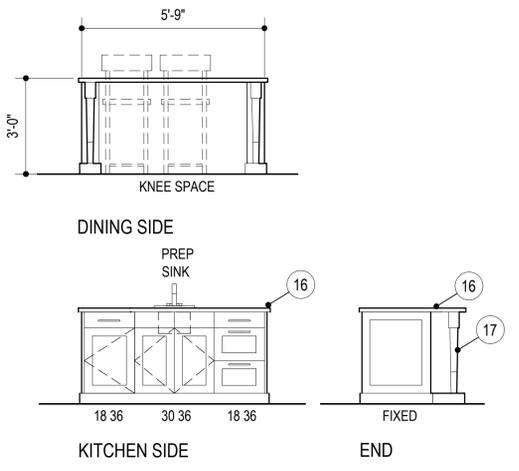
1 KITCHEN / DINING / LIVING  
 A3.2 3/8"=1'-0" 0 4'-0"

KEY

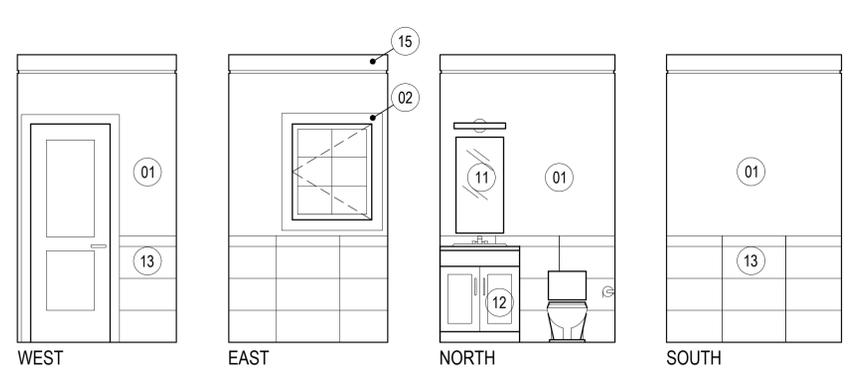
- 01 GYP BD PAINTED
- 02 WOOD TRIM PAINTED
- 03 CASEWORK PAINTED
- 04 CERAMIC TILE
- 05 BENCH AND CUBBIES
- 06 BUILT IN SHELVING
- 07 BUILT IN CABINET
- 08 WOOD TOP FOR CLEAR FINISH
- 09 MANTEL FOR CLEAR FINISH
- 10 HOOKS
- 11 GLASS SHELVES
- 12 MARBLE TOP
- 13 BASE CABINET
- 14 WALL CABINET
- 15 SHELF AND HANGER ROD
- 16 CEILING MOULDING TYPE I
- 17 CEILING MOULDING TYPE II
- 18 MIRROR SBOIBC
- 19 VANITY W/ MARBLE TOP
- 20 METAL SHOWER CURTAIN ROD
- 21 BATHTUB
- 22 DEPRESS JOISTS FOR SHOWER FLOOR SLOPED TO DRAIN



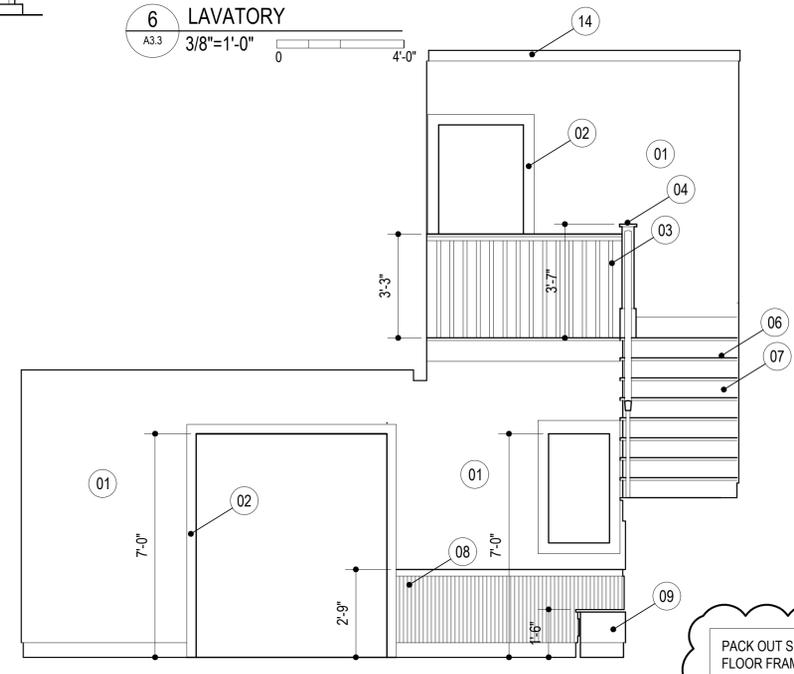
**7** TYPICAL FIREPLACE SECTION  
A3.3 3/4"=1'-0" 0 1'-0"



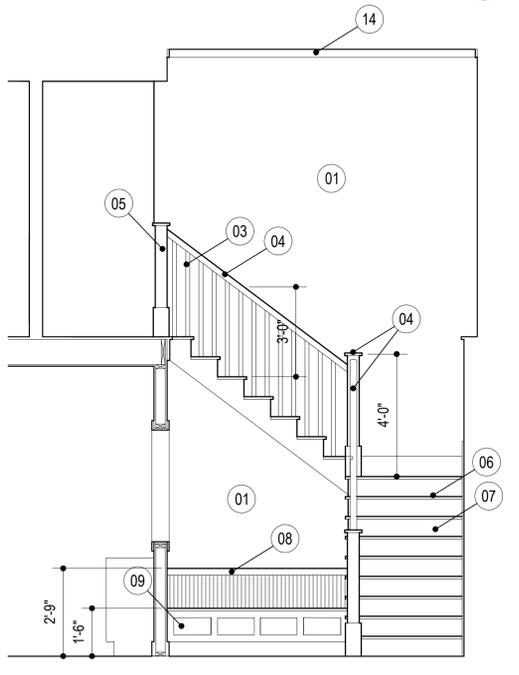
**5** KITCHEN ISLAND  
A3.3 3/8"=1'-0" 0 4'-0"



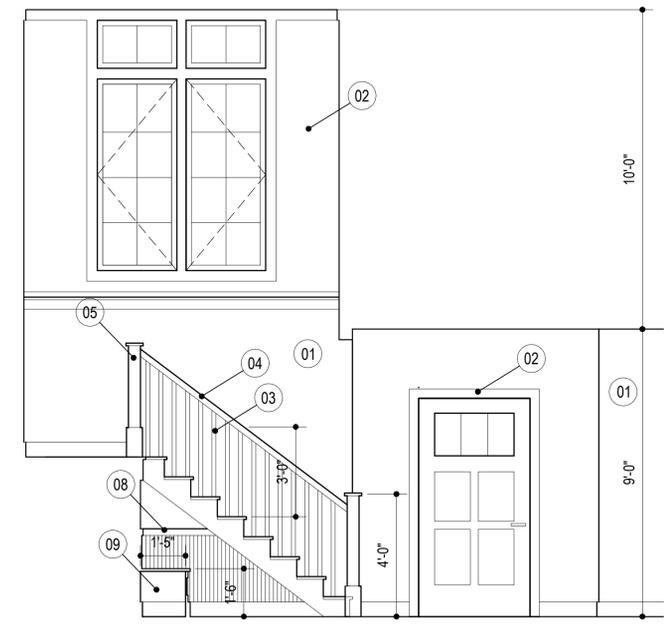
**6** LAVATORY  
A3.3 3/8"=1'-0" 0 4'-0"



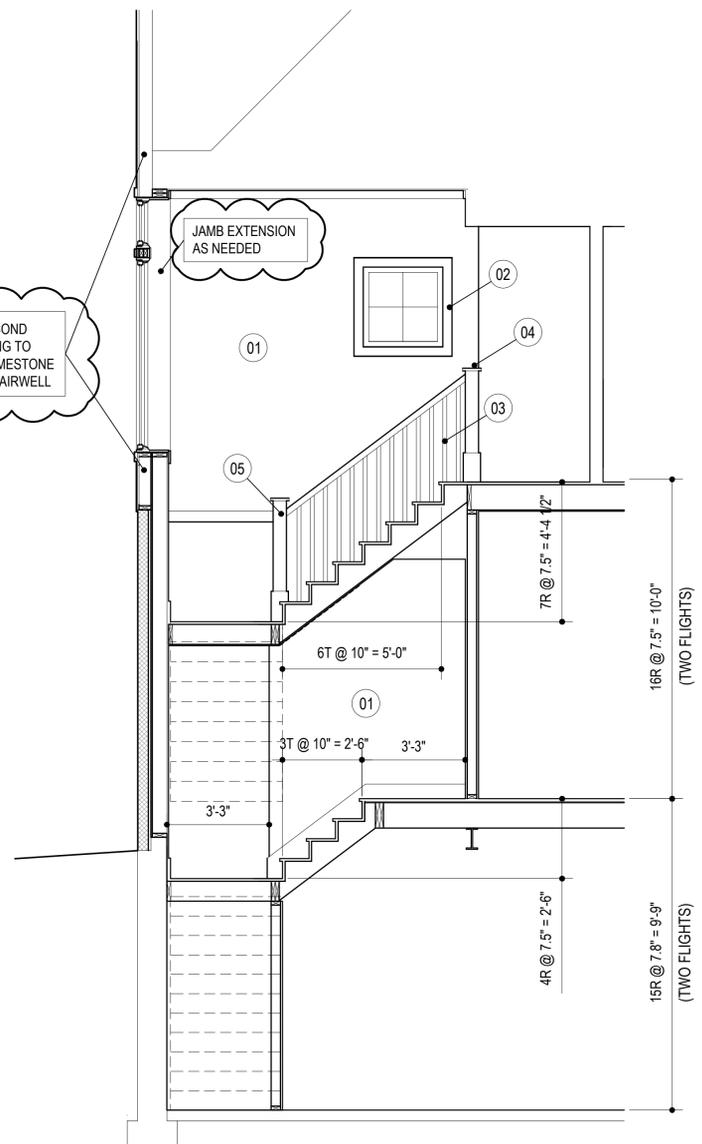
**4** VESTIBULE / STAIR  
A3.3 3/8"=1'-0" 0 4'-0"



**3** VESTIBULE / STAIR  
A3.3 3/8"=1'-0" 0 4'-0"



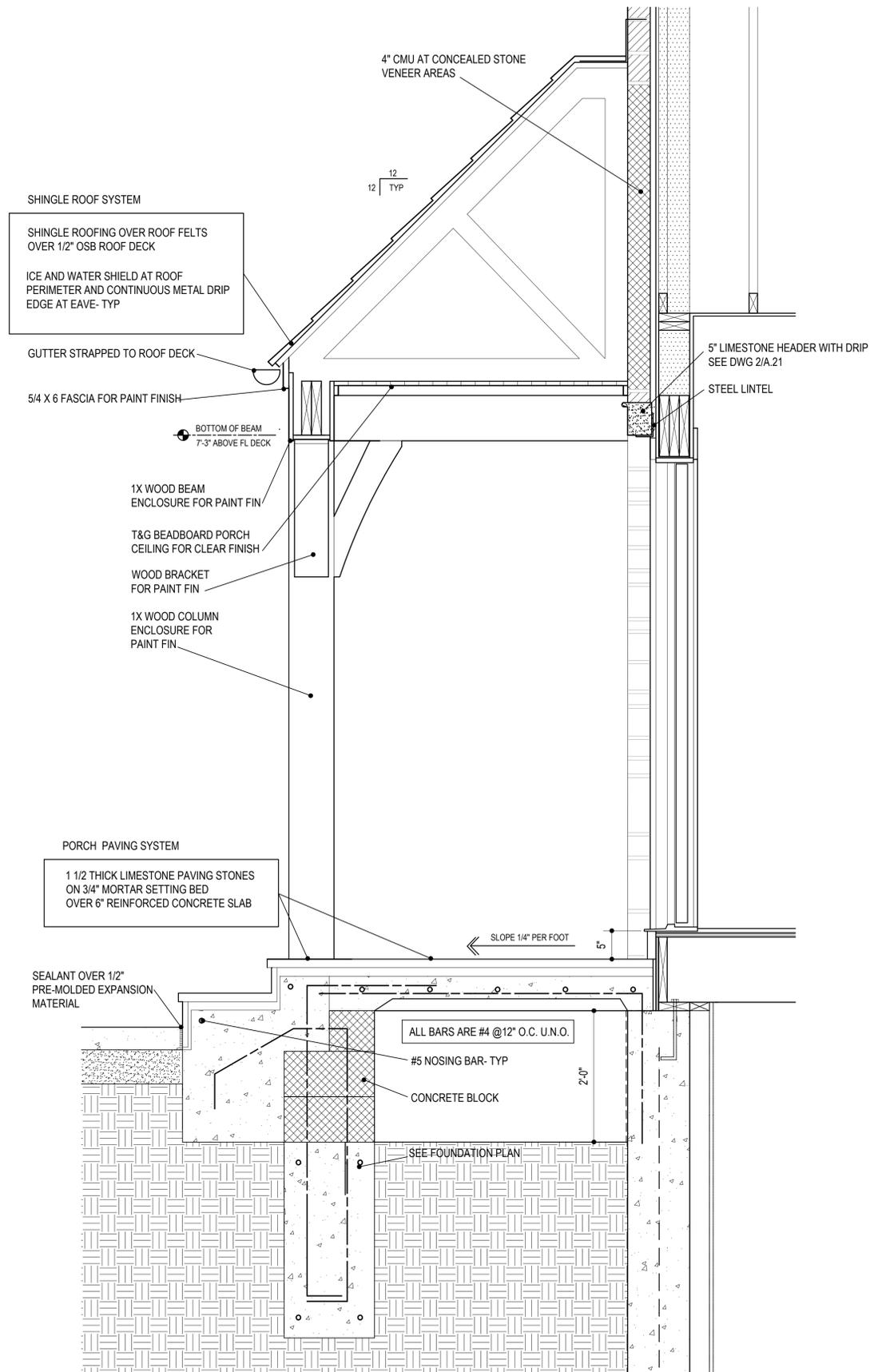
**2** VESTIBULE / STAIR  
A3.3 3/8"=1'-0" 0 4'-0"



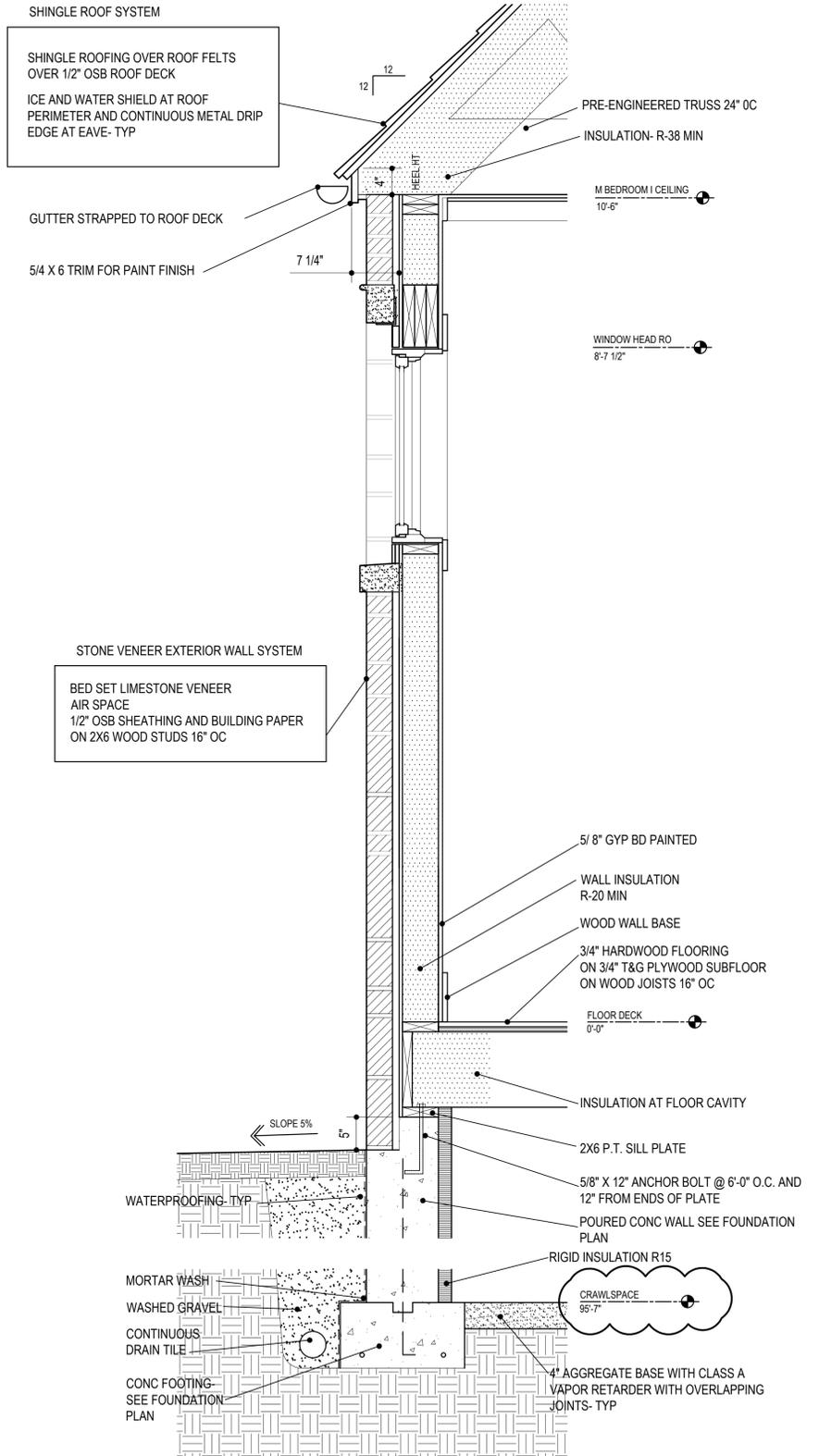
**1** VESTIBULE / STAIR  
A3.3 3/8"=1'-0" 0 4'-0"

- KEY**
- 01 GYP BD PAINTED
  - 02 WOOD TRIM PAINTED
  - 03 1 1/2" WOOD BALUSTERS PAINTED
  - 04 WOOD CAP FOR CLEAR FINISH
  - 05 NEWELL POST PAINTED
  - 06 HARDWOOD TREADS FOR CLEAR FINISH
  - 07 PAINTED RISER
  - 08 PAINTED BEADBOARD WAINSCOT AND RAIL
  - 09 PAINTED WOOD BENCH WITH CLEAR FINISH TOP
  - 10 SLOPED TOP WOOD LEDGE PAINTED
  - 11 MIRROR SBOIBC
  - 12 VANITY W/ MARBLE TOP
  - 13 CERAMIC TILE
  - 14 CEILING MOULDING TYPE I
  - 15 CEILING MOULDING TYPE II
  - 16 STONE TOP
  - 17 DECORATIVE POST

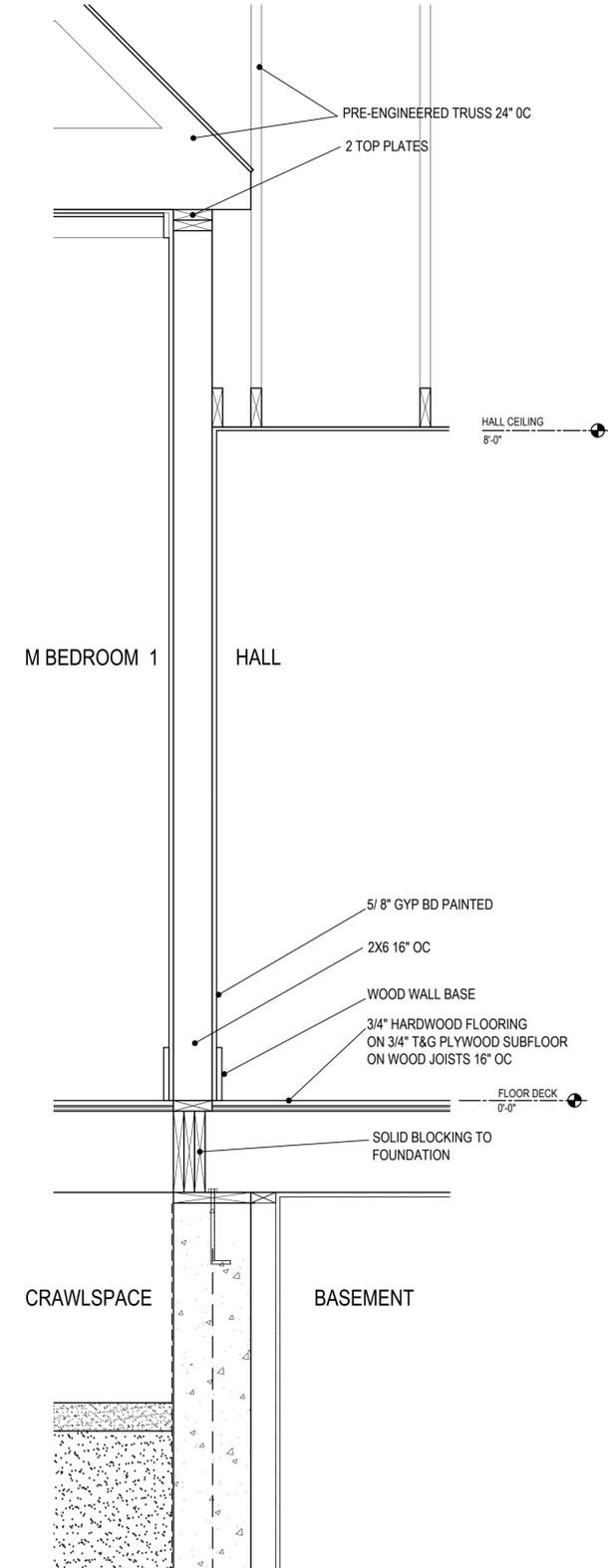




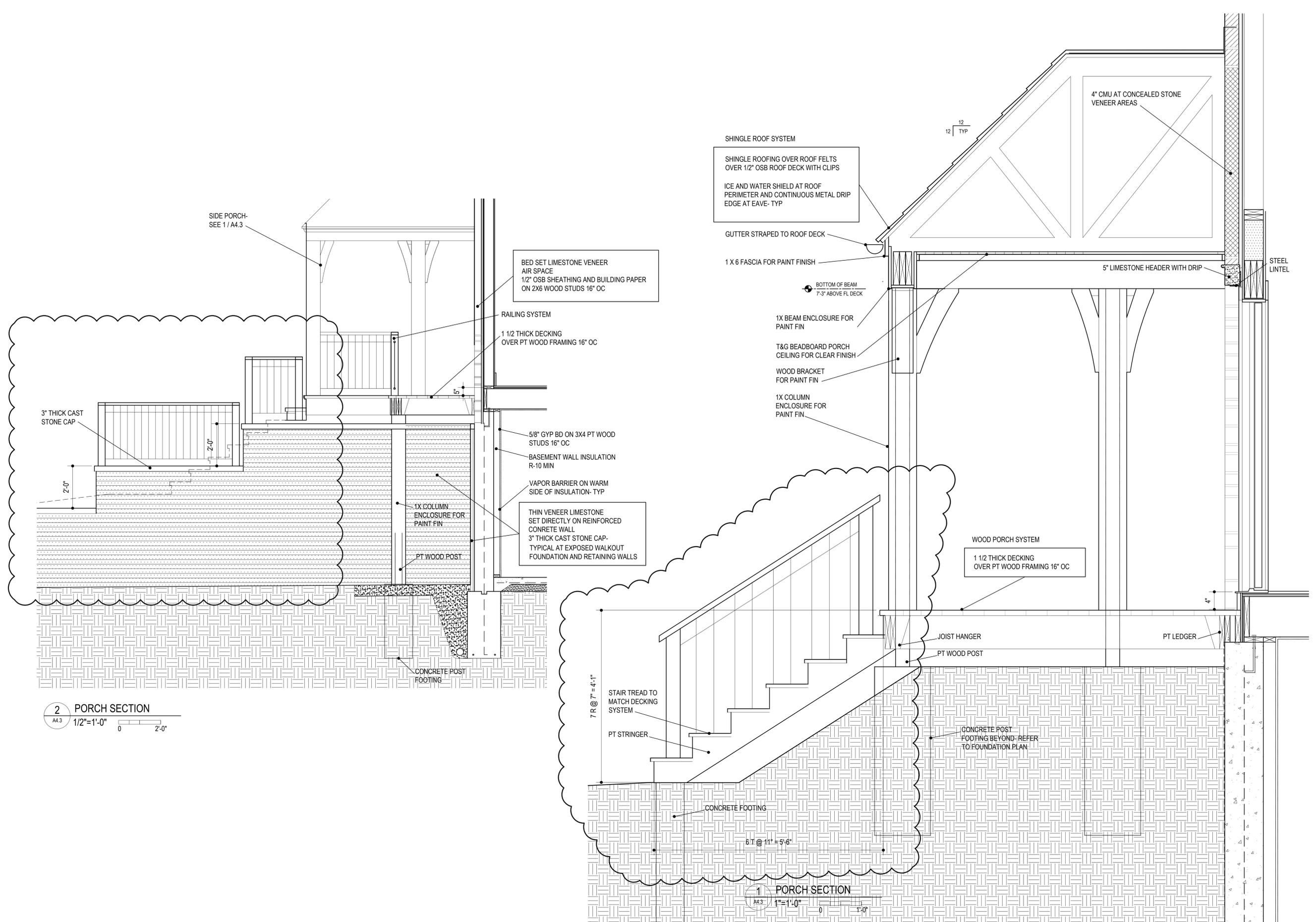
**3 PORCH SECTION**  
 A4.2 1"=1'-0" 0 1'-0"



**2 WALL SECTION**  
 A4.2 1"=1'-0" 0 1'-0"



**1 SECTION - M BEDROOM 1 BEARING WALL**  
 A4.2 1"=1'-0" 0 1'-0"



2 PORCH SECTION  
 A4.3 1/2"=1'-0"  
 0 2'-0"

1 PORCH SECTION  
 A4.3 1"=1'-0"  
 0 1'-0"

**SYMBOLS**

-  SURFACE MOUNTED UTILITY LIGHT FIXTURE
-  UNDERCABINET STRIP LIGHT
-  EXHAUST FAN
-  WALL MOUNTED LIGHT FIXTURE
-  TUBULAR DAYLIGHT DEVICE
-  SURFACE MOUNTED CEILING FIXTURE
-  RECESSED CEILING FIXTURE
-  THREE WAY SWITCH
-  DIMMER SWITCH
-  DUPLEX RECEPTACLE
-  GFI RECEPTACLE
-  WATERPROOF RECEPTACLE
-  ELECTRICAL PANEL
-  SMOKE DETECTOR
-  FROST FREE HOSE BIBB
-  FLOOR DRAIN
-  FOOD WASTE DISPOSER

**MECHANICAL AND PLUMBING NOTES**

1. HVAC PARAMETERS ARE GIVEN FOR PURPOSES OF INDICATING DESIGN INTENT ONLY. HVAC SYSTEM SHALL BE PROVIDED ON A DESIGN-BUILD BASIS BY LICENSED TRADES AND SHALL COMPLY WITH MICHIGAN MECHANICAL CODE AND MICHIGAN PLUMBING CODE.
2. PROVIDE GAS HEATING / ELECTRIC COOLING SYSTEM SIZED FOR YEAR ROUND COMFORT LEVELS. ENERGY STAR RATED. REVIEW SYSTEM CAPACITY AND CONTROLS WITH OWNER. PROVIDE PRODUCT DATA. REVIEW DUCTWORK ROUTING WITH OWNER REPRESENTATIVE.
3. REVIEW ALL DIFFUSER, REGISTER AND GRILLE LOCATIONS IN THE FIELD WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
4. DIFFUSERS, GRILLES AND REGISTERS SHALL BE PAINTED STEEL, TITUS, OR OWNER APPROVED EQUIVALENT. STANDARD COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.
5. VENT RANGE HOOD OVER STOVE TO EXTERIOR.
6. ALL MECHANICAL AND PLUMBING DISTRIBUTION SHALL BE CONCEALED IN WALLS OR CEILINGS.
7. ALL DUCTWORK DISTRIBUTION IN BASEMENT OR ATTIC.
8. PROVIDE CAPPED PUMBING ROUGH-INS FOR FUTURE BASEMENT PLUMBING WORK AS INDICATED IN BASEMENT PLAN.
9. PROVIDE SUPPLY AND DRAIN FOR WASHER. PROVIDE DRYER DUCT DIRECT TO EXTERIOR.

**LIGHTING AND POWER NOTES**

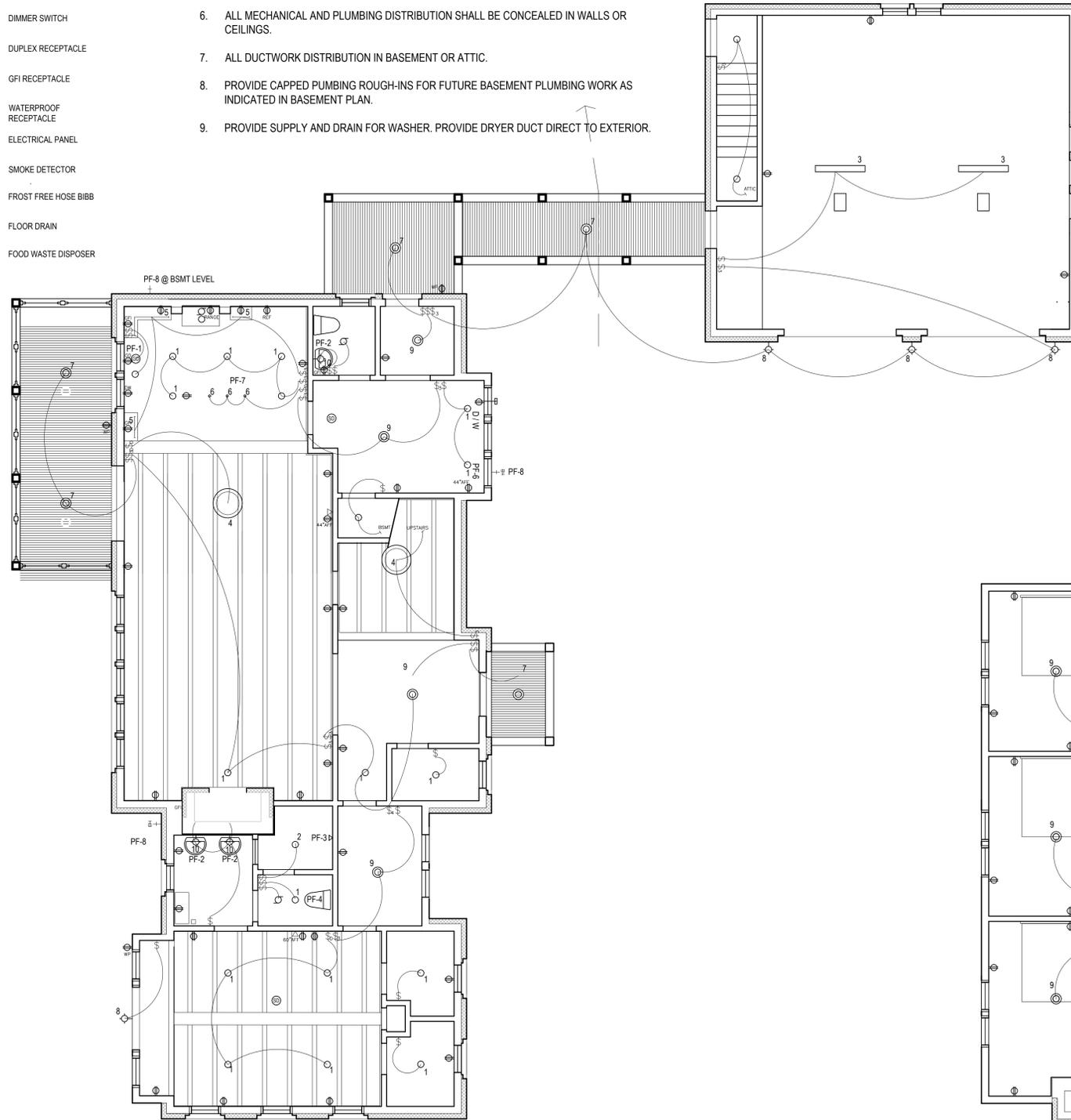
1. LIGHTING, POWER AND DATA IS INDICATED IN DRAWINGS FOR PURPOSES OF SHOWING DESIGN INTENT ONLY. LIGHTING AND POWER SYSTEMS SHALL BE PROVIDED ON A DESIGN-BUILD BASIS BY LICENSED TRADES AND SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
2. REVIEW ALL DEVICE LOCATIONS IN THE FIELD WITH OWNER PRIOR TO INSTALLATION.
3. REVIEW OWNER REQUIREMENTS FOR DATA DISTRIBUTION AND LOCATIONS INCLUDING SECURITY, CABLE, TELEPHONE AND WIFI.
4. COORDINATE ELECTRICAL WORK WITH OWNER PROVIDED DATA, TELEPHONE AND SECURITY CONTRACTORS.
5. SWITCHES: DECORA ROCKER WITH WHITE NYLON COVERS.
6. PROVIDE LABEL PLATES FOR ALL ELECTRICAL PANELS. PROVIDE PRINTED CIRCUIT INDEXES.
7. PROVIDE GFI RECEPTACLES AS REQUIRED AT BATHROOMS AND KITCHEN.
8. COORDINATE DEVICE AND FIXTURE LOCATIONS WITH BUILT-INS.
9. REVIEW BASEMENT POWER AND LIGHTING REQUIREMENTS WITH OWNER.
10. REVIEW SWITCHED SPLIT-WIRED RECEPTACLE REQUIREMENTS WITH OWNER.

**PLUMBING FIXTURE SCHEDULE**

|      |  |
|------|--|
| PF-1 | KITCHEN SINK, SINK FAUCET, FOOD WASTE DISPOSER   |
| PF-2 | LAVATORY, LAVATORY FAUCET WITH HOT LIMIT SAFETY STOP KOHLER, DELTA, OR OWNER APPROVED EQUIVALENT   |
| PF-3 | SHOWER FIXTURE WITH WALL MONTED HAND HELD SHOWER, SHOWER VALVE, KOHLER, DELTA, OR OWNER APPROVED EQUIVALENT  |
| PF-4 | WATER CLOSET<br>KOHLER OR OWNER APPROVED EQUIVALENT, STANDARD HEIGHT   |
| PF-5 | BATHTUB, 60" X 30", SLIP RESISTANT, WHITE<br>KOHLER OR OWNER APPROVED EQUIVALENT<br><br>BATHTUB FAUCET<br>SINGLE HANDLE, PRESSURE BALANCE, ANTISCALD<br>KOHLER, DELTA OR OWNER APPROVED EQUIVALENT<br><br>BATHTUB SHOWER HEAD AND FILLER SPOUT<br>KOHLER, DELTA OR OWNER APPROVED EQUIVALENT |
| PF-6 | LAUNDRY SINK AND FAUCET<br>ONE BOWL UNDERMOUNT SINK  |
| PF-7 | PREP SINK AND FAUCET<br>ONE BOWL UNDERMOUNT SINK   |
| PF-8 | HOSE BIBB , FROST FREE   |

**LIGHT FIXTURE SCHEDULE**

|      |  |       |  |
|------|--|-------|--|
| LF-1 | DOWNLIGHT<br>LED, 2800K                        | LF-7  | PORCH LIGHT I<br>CEILING MOUNT LED, 2800K        |
| LF-2 | SHOWER LIGHT FIXTURE<br>LED, UL1598 3000K      | LF-8  | PORCH LIGHT II<br>WALL MOUNT LED, 2800K          |
| LF-3 | SURFACE MOUNT UTILITY<br>LED, 6" X 48"         | LF-9  | CEILING LIGHT FIXTURE<br>SURFACE MOUNT LED 2800K |
| LF-4 | PENDANT<br>LED, 2800K, DIMMABLE                | LF-10 | VANITY LIGHT FIXTURE<br>SURFACE MOUNT LED, 2800K |
| LF-5 | UNDERCABINET STRIP LIGHT<br>LED, 3000K         |       |  |
| LF-6 | KITCHEN ISLAND PENDANT<br>LED, 2800K, DIMMABLE |       |  |



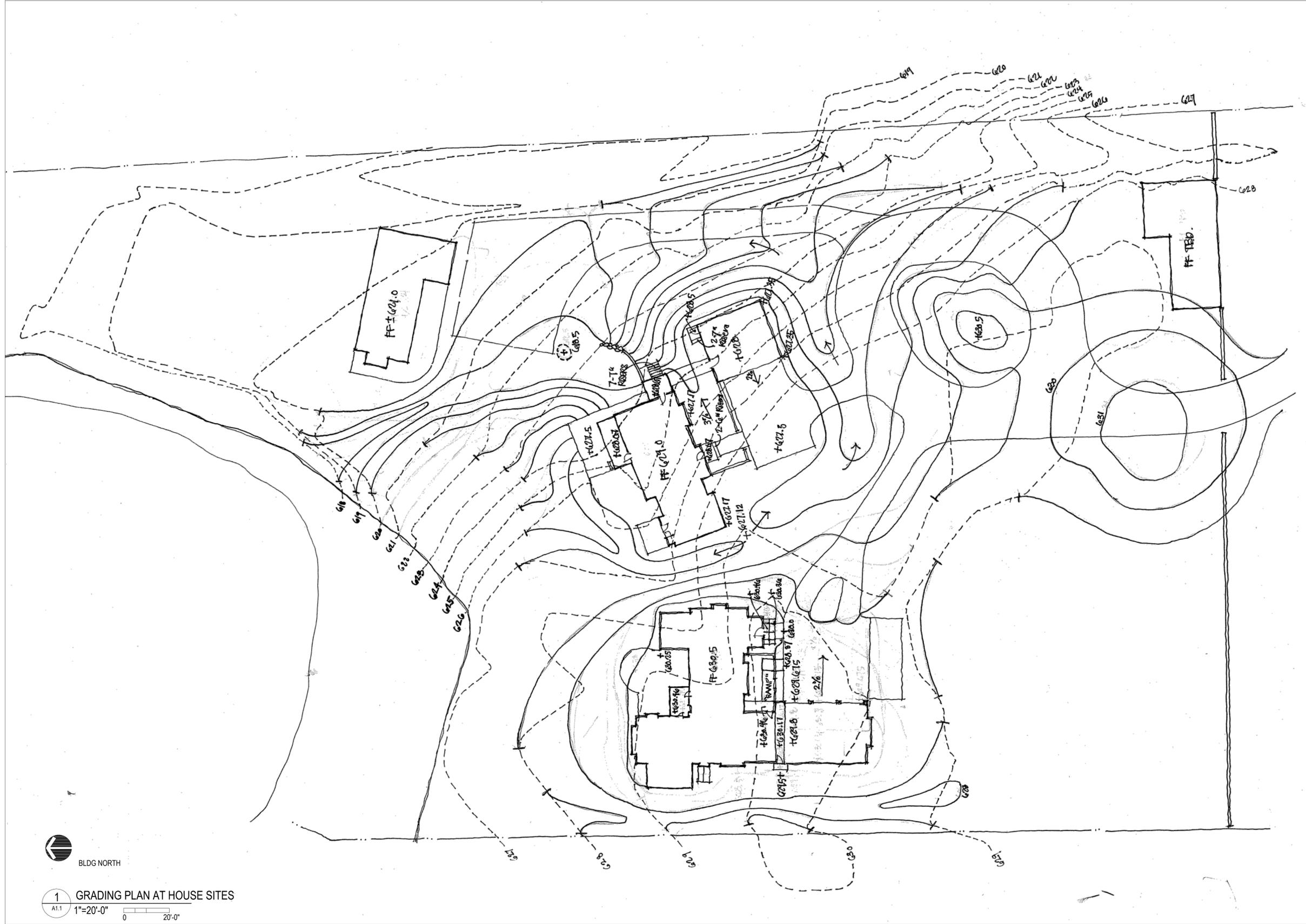
**1 FIRST FLOOR MEP PLAN**  
MEP 01 3/16"=1'-0" 0 4'-0"

**2 SECOND FLOOR MEP PLAN**  
MEP 01 3/16"=1'-0" 0 4'-0"



BLDG NORTH

1 GRADING PLAN AT HOUSE SITES  
A1.1 1"=20'-0"  
0 20'-0"



SHEET

A1.1

TITLE

HOUSE 2  
Grading Plan at House Sites

PROJECT

On the Riverbend  
Judd Road  
New Boston, Michigan

ISSUE

CONSTRUCTION

DATE

01-31-20

SILVERI ARCHITECTS  
650 LIVERNOIS FERNDALE, MICHIGAN 48220  
(248) 591-0360 silveri.com