



SLOWTIDE.STUDIO,
ARCHITECTS

1915 WOODLAND AVENUE
SYLVAN LAKE - MICHIGAN - 48320
BDV @ SLOWTIDE.STUDIO & 248.891.2737

WALTZ ROAD DUPLEX

19353 WALTZ ROAD - NEW BOSTON - MICHIGAN - 48164

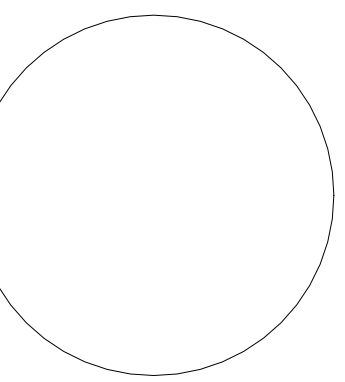
PERMIT DRAWINGS

WALTZ ROAD DUPLEX

19353 WALTZ ROAD
NEW BOSTON - MICHIGAN - 48164

TITLE SHEET

PERMIT DRAWINGS



PROJECT ISSUE DATE:
03 - 22 - 2026

G- 0.01

12	9	6	3
11	8	5	2
10	7	4	1

USE THE SHEET INDEX GRID AS A REFERENCE TO LOCATE DRAWINGS ON INDIVIDUAL SHEETS WITHIN THE SET.

- DO NOT SCALE FROM DRAWINGS. CONSULT OWNER IF DIMENSIONAL QUESTION ARISES.
- CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES/LAWS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.
- ALL DIMENSIONAL LUMBER, PLYWOOD, PARTICLE BOARD, FITTING, AND BLOCKING SHALL BE PRESSURE TREATED/UL CERTIFIED NON-COMBUSTIBLE WHERE REQUIRED BY CODE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE.
- NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENCING WORK OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BECOME A PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE OWNER, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
- COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.
- WHERE INTERFACES DEVELOP, NOTIFY OWNER FOR RESOLUTION OF CONFLICT.
- CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WORK ON ALL SHEETS WITHIN, NOT JUST SHEETS NAMED IN ACCORDANCE WITH TRADE NAME.
- ALL DRAWINGS WITHIN SET ARE SET ON ARCH D (24" X 36") PAPER.

PROJECT SCOPE PRIMARILY INVOLVES REMODELING THE KITCHEN & BATHROOM ON BOTH THE MAIN LEVEL (APARTMENT ONE) AND THE LOWER LEVEL (APARTMENT TWO). ADDITIONALLY, MINOR FLOOR PLAN CHANGES TO EACH LEVEL ARE PROPOSED ALONG WITH GENERAL FINISH UPDATES THROUGHOUT.

THE TWO APARTMENTS ARE EXISTING AND CURRENTLY SHARE ACCESS FROM THE EAST FACING GRADE-LEVEL DOOR. THE RENOVATION PROPOSES TO DEDICATE THE EAST FACING GRADE-LEVEL DOOR TO APARTMENT ONE, WHILE UTILIZING THE EAST FACING LOWER LEVEL DOOR FOR APARTMENT TWO. THE BEDROOM WINDOW IN APARTMENT TWO WILL BE CONVERTED TO A PRE-FABRICATED EGRESS COMPLIANT WINDOW WITH WELL.

EXISTING MECHANICAL SYSTEM TO BE ZONED TO PROVIDE INDIVIDUAL THERMOSTAT CONTROLS AT EACH APARTMENT. THE MECHANICAL CONTRACTOR WILL PULL A SEPERATE PERMIT DETAILING THE MODIFICATIONS NEEDED TO THE EXISTING SYSTEM.

- G- 0.01 TITLE SHEET
- G- 0.02 GENERAL NOTES
- G- 0.03 EXISTING FLOOR PLAN, LOWER LEVEL
- G- 0.04 EXISTING FLOOR PLAN, FIRST FLOOR
- G- 0.05 EXISTING FLOOR PLAN, SECOND FLOOR
- D- 1.00 DEMO PLANS
- A- 1.00 FLOOR PLAN, LOWER LEVEL
- A- 1.01 FLOOR PLAN, FIRST FLOOR
- A- 1.02 FLOOR PLAN, SECOND FLOOR

SHEET INDEX 11

PROJECT NOTES 8

PROJECT DESCRIPTION 5

ARCHITECT
SLOWTIDE.STUDIO, ARCHITECTS
1915 WOODLAND AVENUE
SYLVAN LAKE - MICHIGAN - 48320

CONTACT - BRADLEY DEVRIES
T - 248 - 891 - 2737
E - BDV @ SLOWTIDE.STUDIO

PROPERTY OWNER
NEW BOSTON HOLDINGS, LLC
10909 HANNAN ROAD
ROMULUS - MICHIGAN - 48174

CONTACT - JOSEPH C RICHERT
T - 734 - 341 - 2107
E - JOERICHERT @ SPECIALTREE.COM



- 2015 MICHIGAN RESIDENTIAL BUILDING CODE (MRC)
- 2021 MICHIGAN MECHANICAL CODE (MMC)
- 2021 MICHIGAN PLUMBING CODE (MPC)
- 2023 NATIONAL ELECTRIC CODE, WITH PART 8 AMMENDMENTS (NEC)

PROJECT DIRECTORY 10

VICINITY MAP 7
NOT TO SCALE

APPLICABLE CODES 4

SHEET LIST 1



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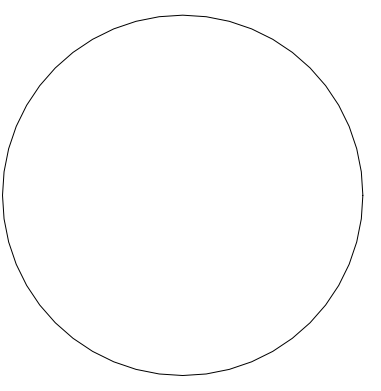
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GENERAL NOTES

PERMIT DRAWINGS



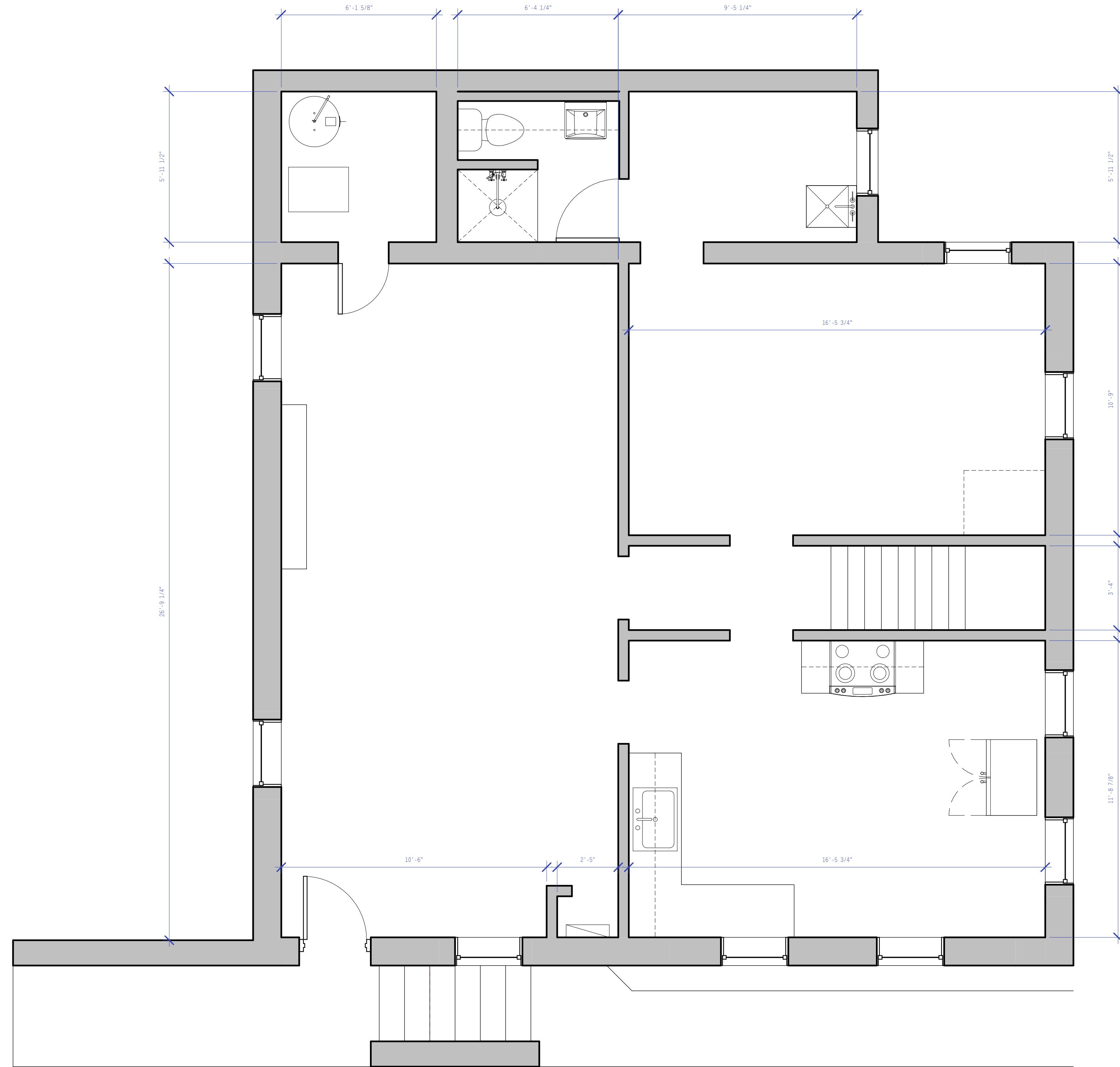
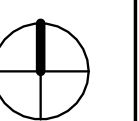
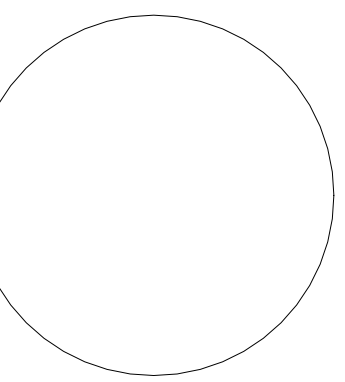
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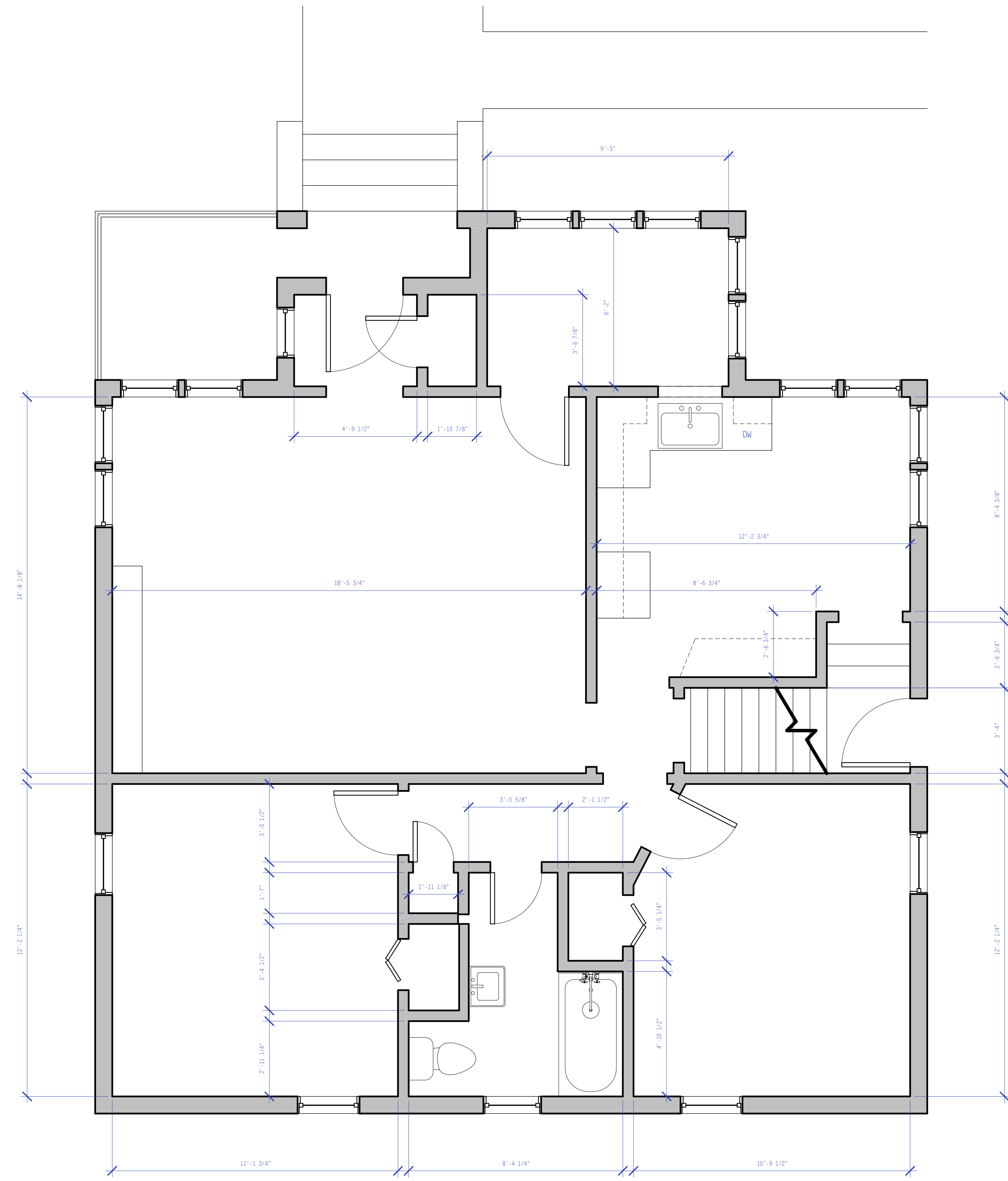
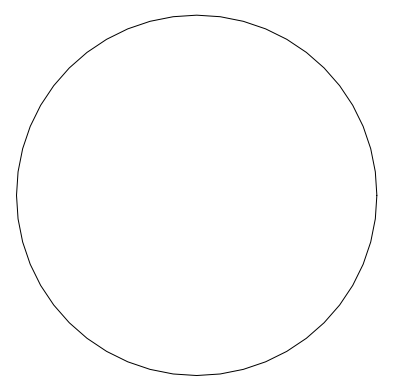
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		<p>& AND / AND > ANGLE @ AT + HEIGHT ABOVE</p> <p>ABV ABOVE ADJ ADJUSTABLE AP ACCESS PANEL APPROX. APPROXIMATE</p> <p>BB BASEBOARD REL. BELOW B.O. BOTTOM OF</p> <p>CB CASEWORK CMU CONCRETE MASONRY UNIT</p> <p>D DEPTH DIM. DIMENSION DN DOWN DN DISHWASHER</p> <p>(E) EXISTING E EAST EF EXHAUST FAN ELEC. ELECTRICAL PANEL EP ELECTRICAL PANEL EQ EQUAL EXT. EXTERIOR</p> <p>FC FAUCET FD FLOOR DRAIN FL FLOOR FF FINISH FLOOR</p> <p>GA GAUGE GD GARBAGE DISPOSAL GR GRADE GYP. GYPSUM WALLBOARD</p> <p>H HEIGHT HVAC HEATING, VENTILATION, AND AIR CONDITIONING</p> <p>INCL. INCLUDE INT. INTERIOR</p> <p>LT LIGHT</p> <p>MAX MAXIMUM MIN MINIMUM MR MIRROR MT METAL</p> <p>N NORTH</p> <p>O.C. ON CENTER</p> <p>PD PAPER DISPENSER PT PAINT</p> <p>RCP REFLECTED CEILING PLAN RF REFRIGERATOR REF. REFERENCE RK RACK</p> <p>S SOUTH SF SQUARE FOOTAGE SK SINK SIM. SIMILAR SP SPEAKER SPEC. SPECIFIED ST STONE</p> <p>TL TILE T.O. TOP OF TP TOLLET PAPER TV TELEVISION TYP. TYPICAL</p> <p>VH VENTILATION HOOD VIF. VERIFY IN FIELD</p> <p>W WEST W WIDTH WC WATER CLOSET (TOILET) WD WOOD WH WATER HEATER</p>	<p>NORTH ARROW </p> <p>CENTERLINE </p> <p>DETAIL </p> <p>EXTERIOR ELEVATION </p> <p>INTERIOR ELEVATION </p> <p>LEVEL HEAD </p> <p>DIMENSION STRING </p> <p>ROOM TAG </p> <p>SECTION TAG </p> <p>WALL TAG </p> <p>DOOR TAG </p> <p>WINDOW TAG </p> <p>EXIT SIGN </p>
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NOTE: ALL DIMENSIONS PROVIDED FOR
REFERENCE ONLY. VERIFY IN FIELD AS
REQUIRED TO COMPLETE
ALTERATION SCOPE.



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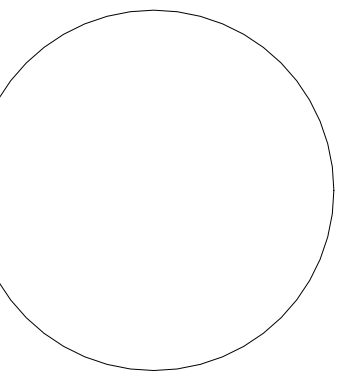
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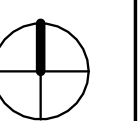
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EXISTING FLOOR PLAN, SECOND
FLOOR

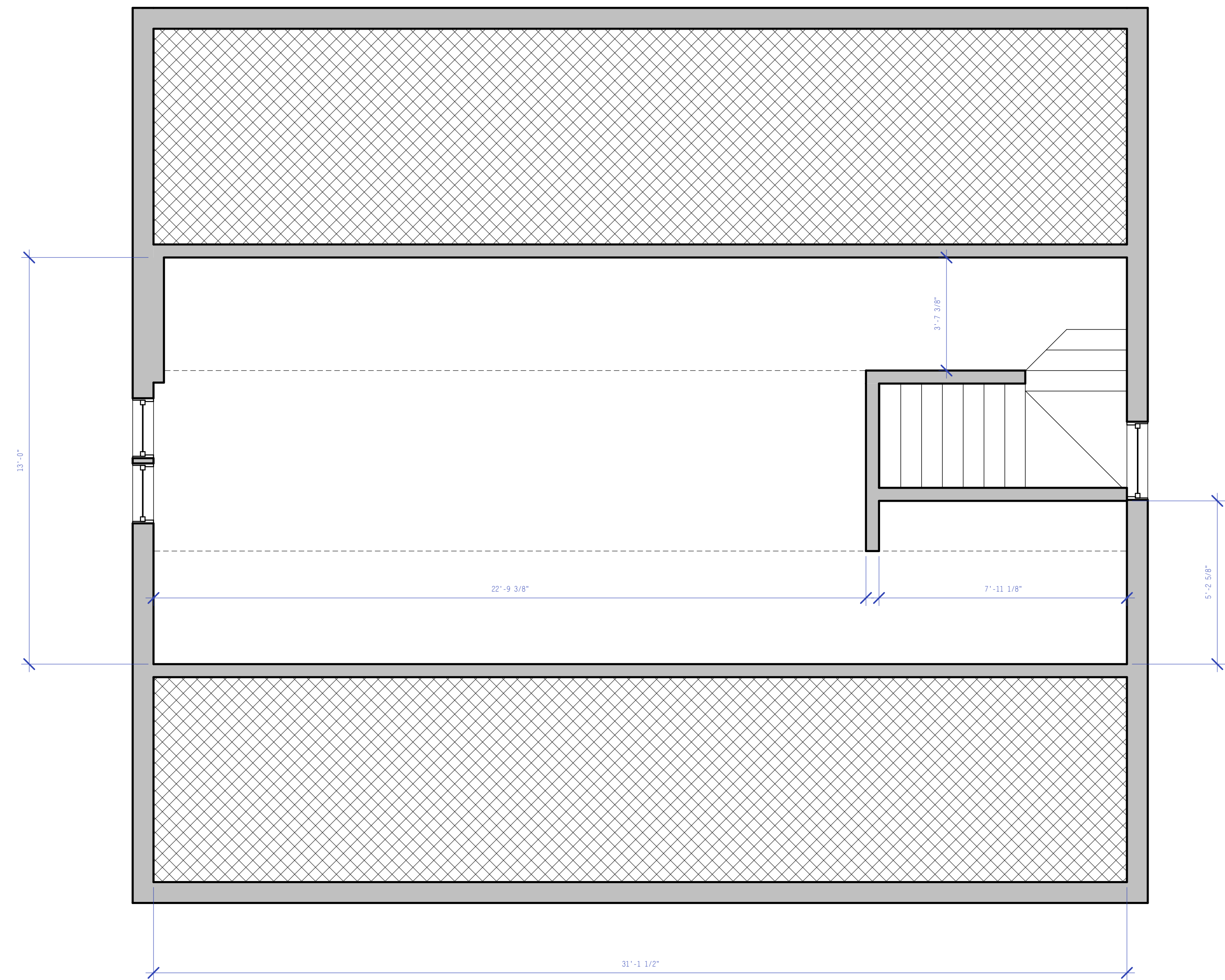
PERMIT DRAWINGS



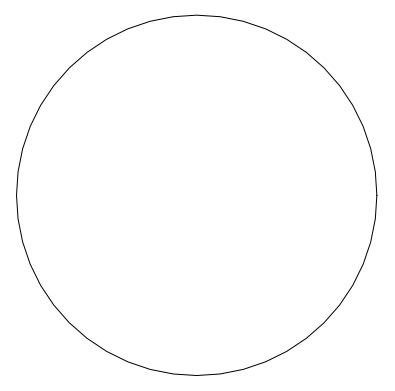
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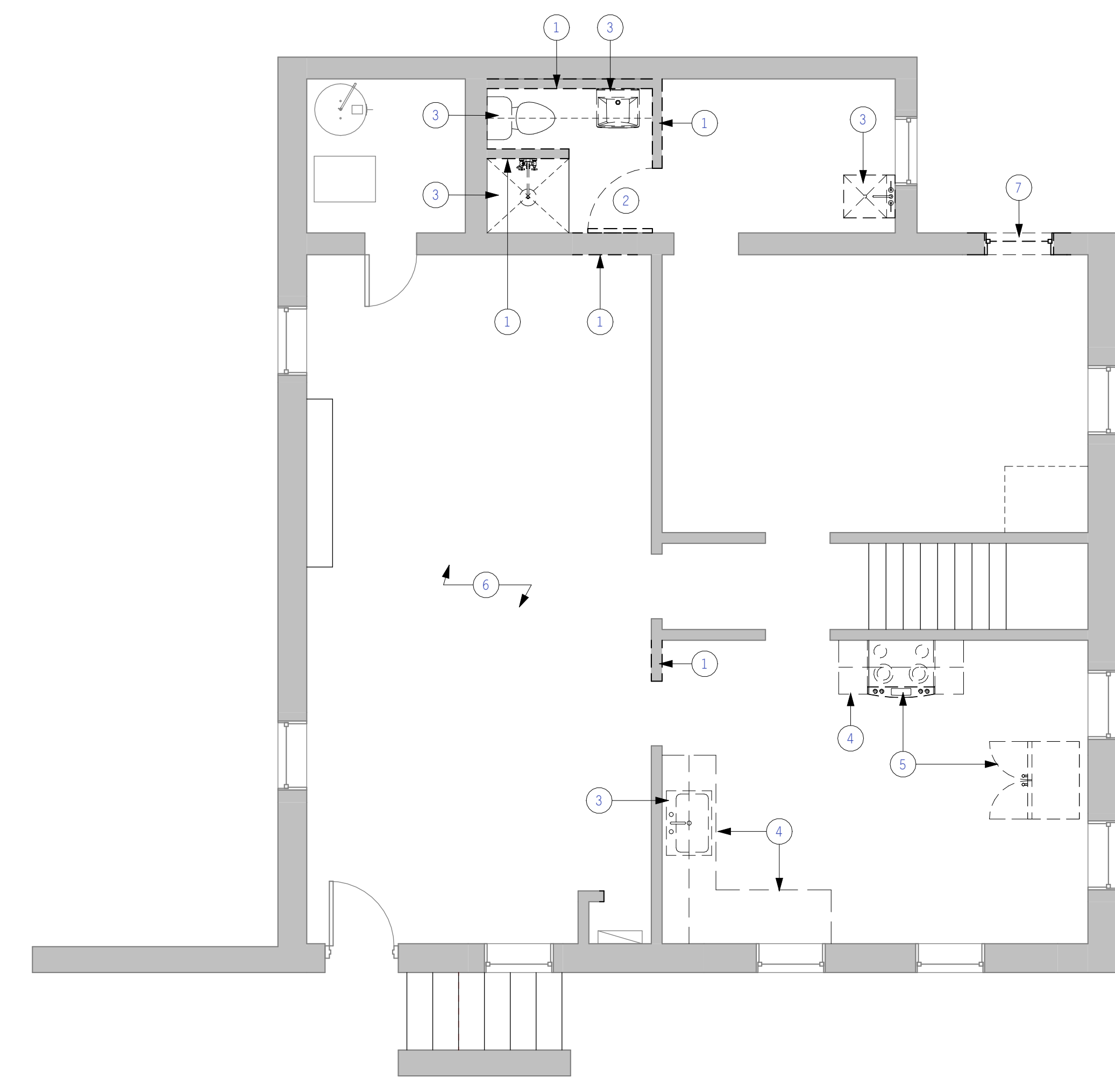


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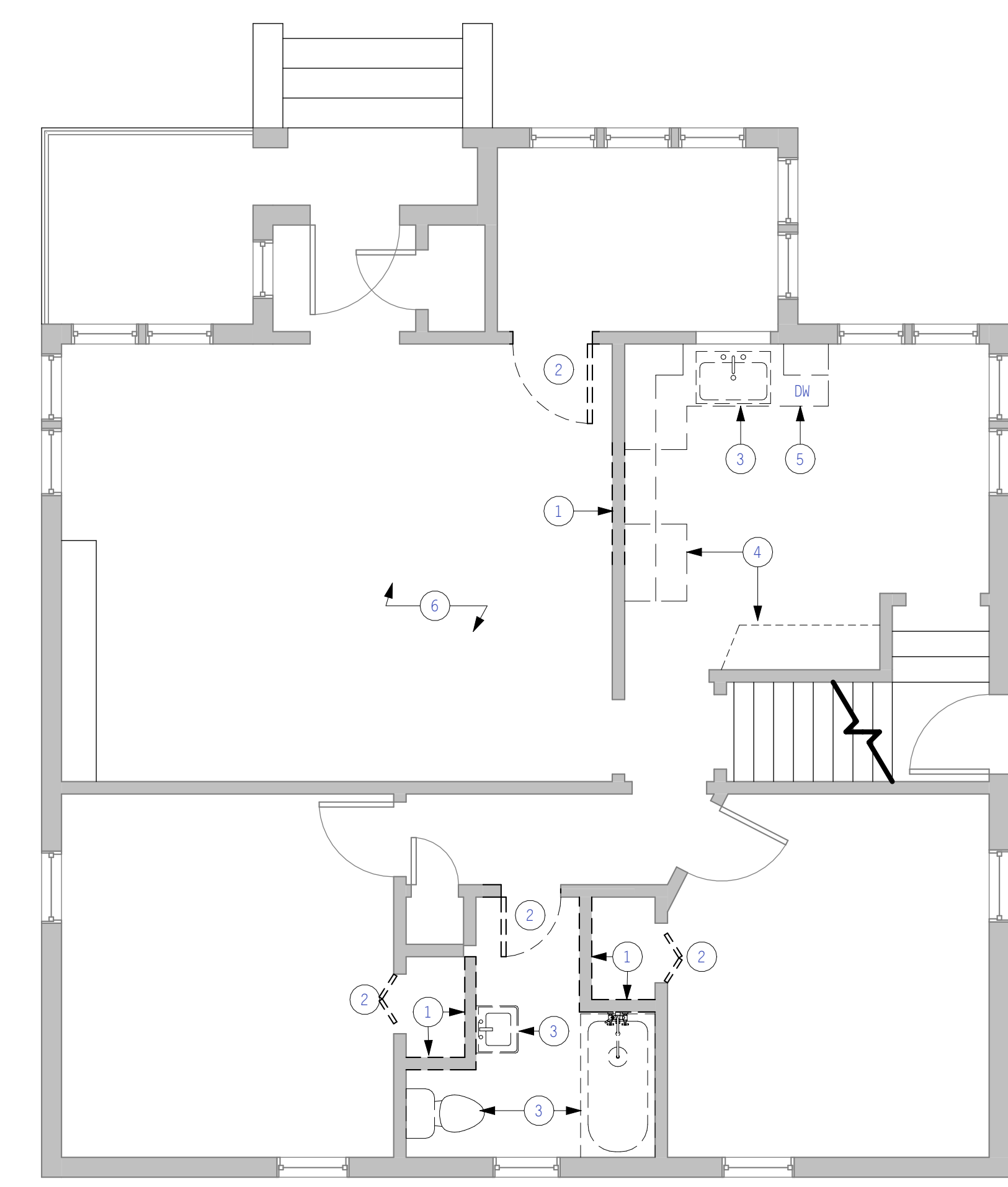


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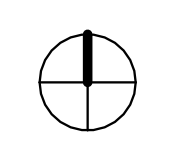
1. DEMO (E) PARTITION, INCLUDING ANY (E) MECHANICAL, ELECTRICAL, PLUMBING, OR SIMILAR COMPONENTS. DEMO OF (E) SYSTEMS TO BE COORDINATED CAREFULLY WITH ALTERATION PLANS AND TERMINATED / ELIMINATED IN A SUCCINCT MANNER.
2. DEMO (E) DOOR, FRAME, AND HARDWARE.
3. DEMO (E) PLUMBING FIXTURE AND ASSOCIATED SUPPLY/DRAIN AS REQUIRED TO COORDINATE WITH ALTERATION PLANS.
4. DEMO (E) MILLWORK/COUNTERTOP IN ITS ENTIRETY.
5. DEMO (E) APPLIANCE, INCLUDING PROPER TERMINATION OR REMOVAL OF ANY MECHANICAL, PLUMBING, OR ELECTRICAL COMPONENTS.
6. DEMO (E) FLOOR AND PREP SURFACE FOR INSTALLATION OF NEW FLOORING. REFER TO ALTERATION PLANS/FINISH SCHEDULE.
7. DEMO (E) FOUNDATION WALL AS REQUIRED TO ACCOMMODATE NEW PREFABRICATED, EGRESS COMPLIANT WINDOW AND WELL.

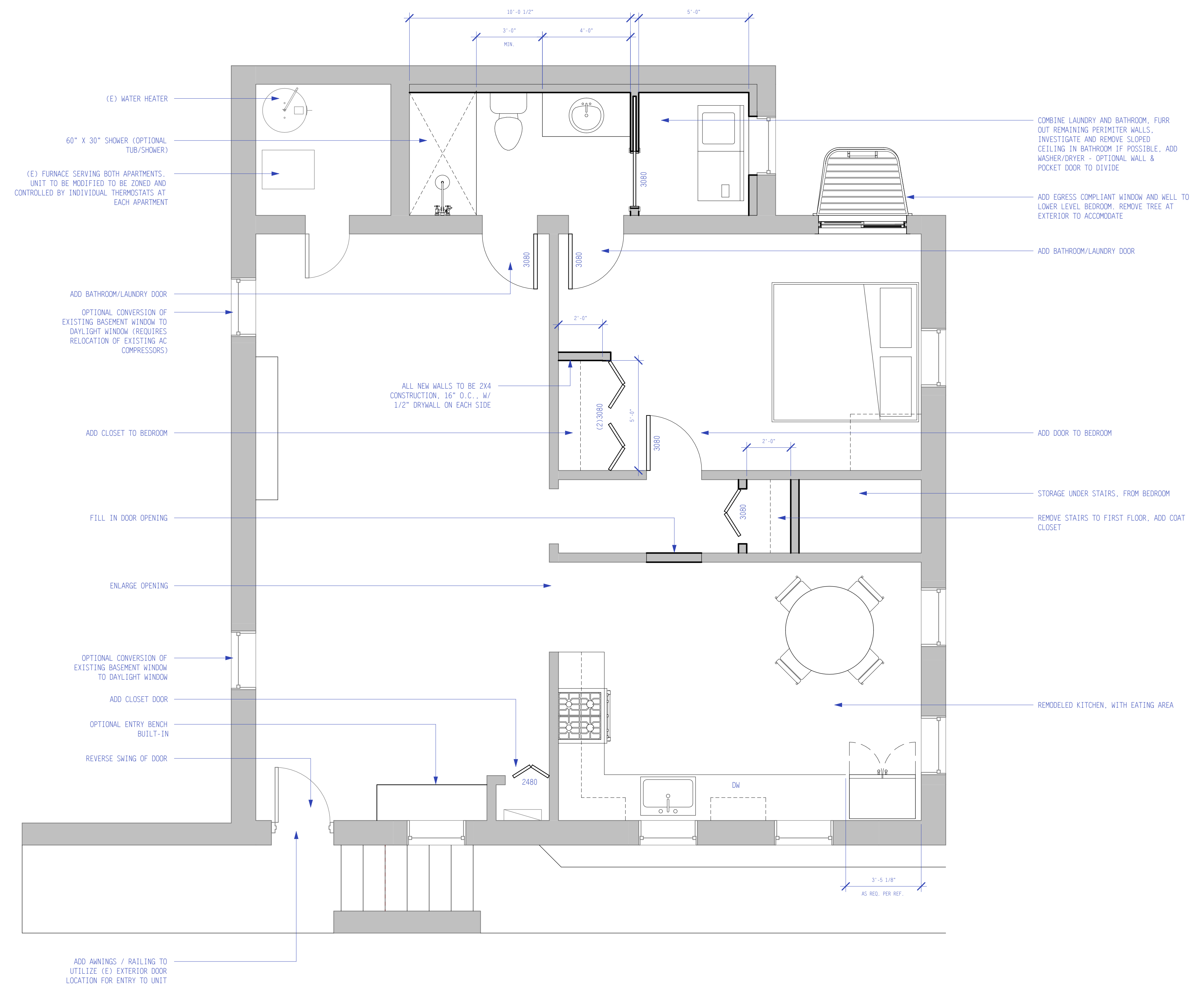
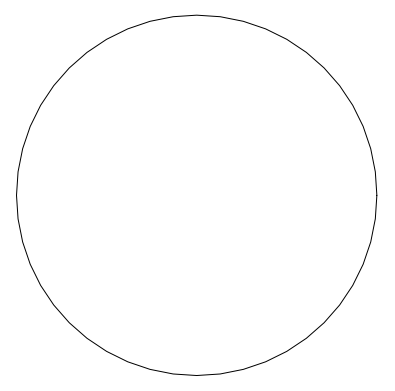


DEMO PLAN, LOWER LEVEL 2
1/4" = 1'-0"

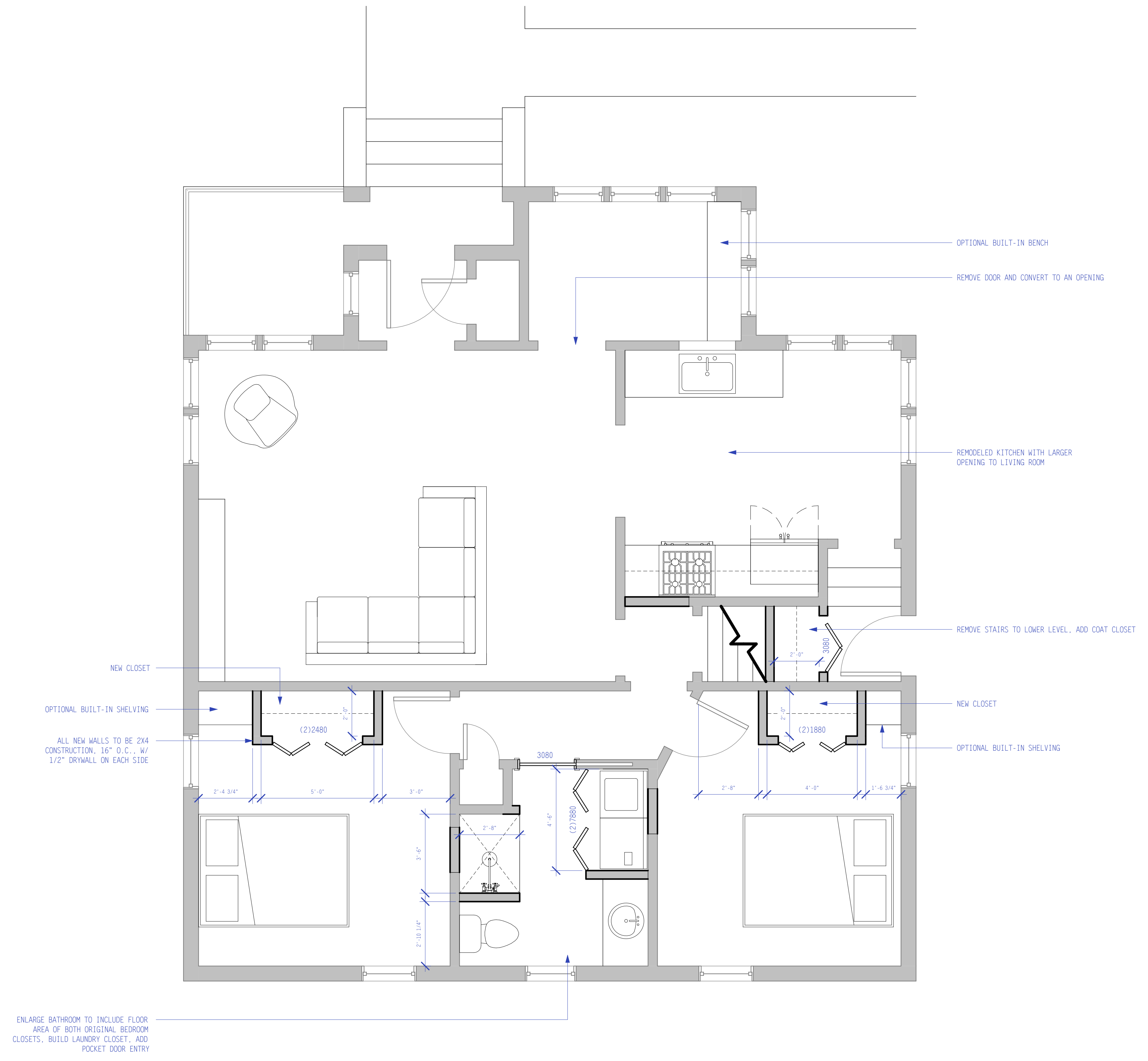
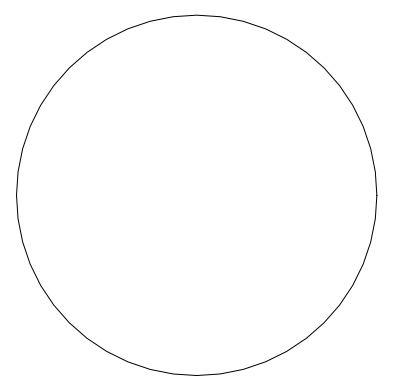


DEMO PLAN, FIRST FLOOR 1
1/4" = 1'-0"





FLOOR PLAN, LOWER LEVEL
3/8" = 1'-0" 1



ENLARGE BATHROOM TO INCLUDE FLOOR AREA OF BOTH ORIGINAL BEDROOM CLOSETS, BUILD LAUNDRY CLOSET, ADD POCKET DOOR ENTRY



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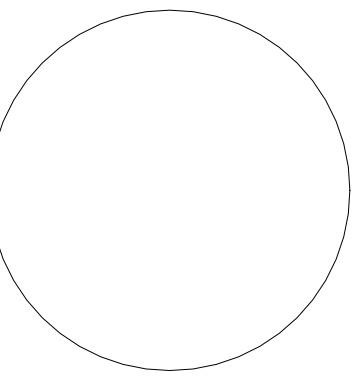
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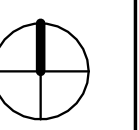
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FLOOR PLAN, SECOND FLOOR

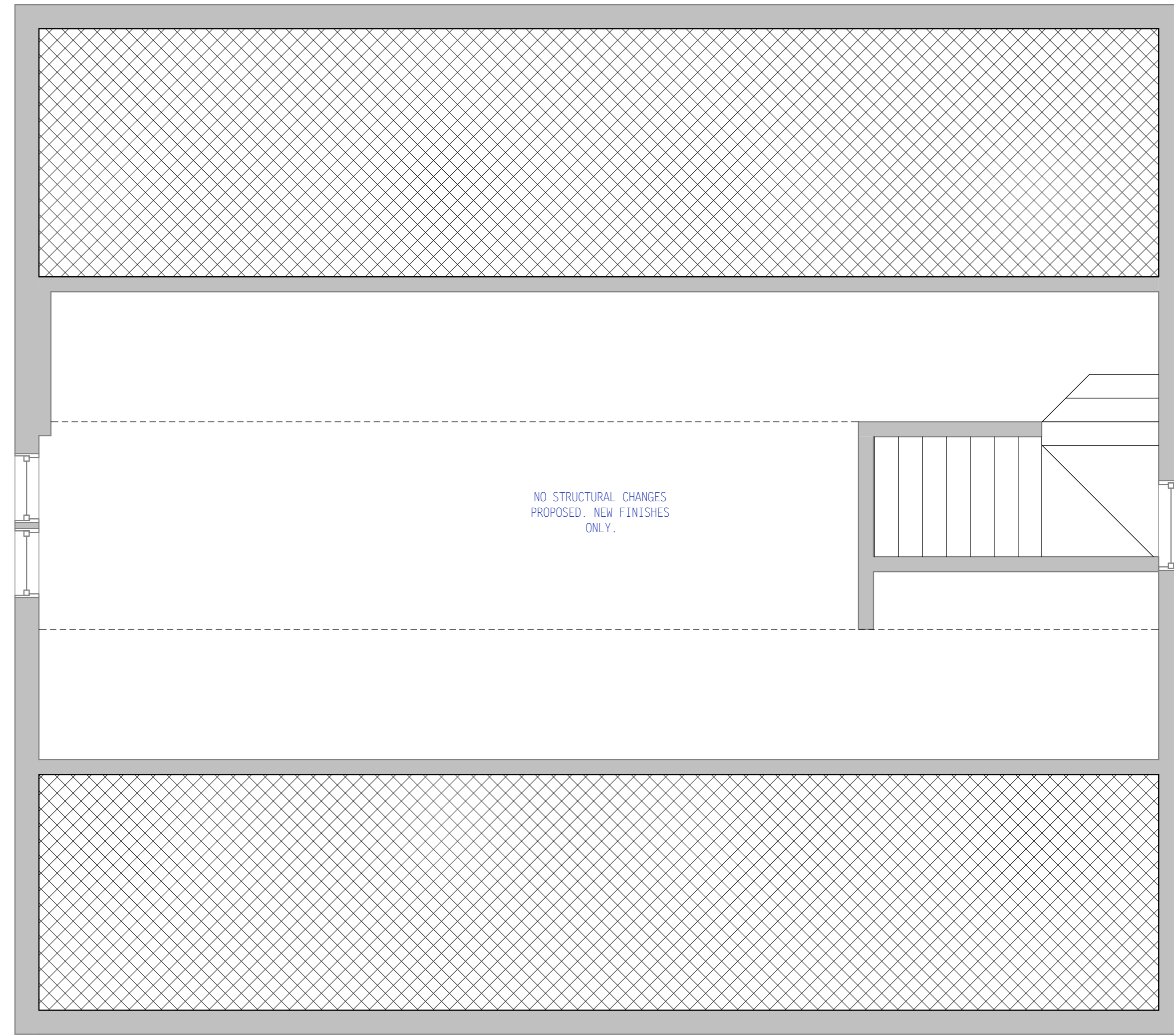
PERMIT DRAWINGS



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A-
1.02



NO STRUCTURAL CHANGES
PROPOSED. NEW FINISHES
ONLY.