



SLOWTIDE.STUDIO,
ARCHITECTS

1915 WOODLAND AVENUE
SYLVAN LAKE - MICHIGAN - 48320
BDV @ SLOWTIDE.STUDIO & 248.891.2737

THE PINK CASTLE

36780 JUDD ROAD - NEW BOSTON - MICHIGAN - 48164

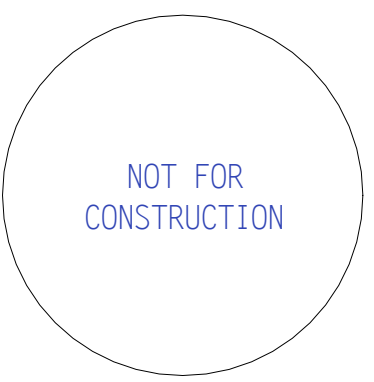
PERMIT & BID DRAWINGS

THE PINK CASTLE

36780 JUDD ROAD
NEW BOSTON - MICHIGAN - 48164

TITLE SHEET

PERMIT & BID DRAWINGS



PROJECT ISSUE DATE:
05 - 02 - 2026

G- 0.01

12	9	6	3
11	8	5	2
10	7	4	1

USE THE SHEET INDEX GRID AS A REFERENCE TO LOCATE DRAWINGS ON INDIVIDUAL SHEETS WITHIN THE SET.

1. DO NOT SCALE FROM DRAWINGS. CONSULT OWNER IF DIMENSIONAL QUESTION ARISES.
2. CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.
3. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES/LAWS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.
4. ALL DIMENSIONAL LUMBER, PLYWOOD, PARTICLE BOARD, FITTING, AND BLOCKING SHALL BE PRESSURE TREATED/UL CERTIFIED NON-COMBUSTIBLE WHEN REQUIRED.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE.
6. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENCING WORK OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BECOME A PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE OWNER, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
7. COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.
8. WHERE INTERFACES DEVELOP, NOTIFY OWNER FOR RESOLUTION OF CONFLICT.
9. CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WORK ON ALL SHEETS WITHIN, NOT JUST SHEETS NAMED IN ACCORDANCE WITH TRADE NAME.
10. ALL DRAWINGS WITHIN SET ARE SET ON ARCH D (24" X 36") PAPER.

RESTORATION AND RENOVATION TO A RESIDENTIAL PROPERTY.

- G- 0.01 TITLE SHEET
- G- 0.02 GENERAL NOTES
- G- 0.03 EXISTING FLOOR PLAN, FIRST FLOOR
- G- 0.04 EXISTING FLOOR PLAN, SECOND FLOOR
- G- 0.05 SCHEDULES, PROJECT
- D- 1.01 DEMO PLAN, FIRST FLOOR
- D- 1.02 DEMO PLAN, SECOND FLOOR
- A- 1.01 FLOOR PLAN, FIRST FLOOR
- A- 1.02 FLOOR PLAN, SECOND FLOOR
- A- 2.01 ELEVATIONS, EXTERIOR
- A- 3.01 ELEVATIONS, INTERIOR
- A- 3.02 ELEVATIONS, INTERIOR
- A- 3.03 ELEVATIONS, INTERIOR
- A- 3.04 ELEVATIONS, INTERIOR

SHEET INDEX 11

PROJECT NOTES 8

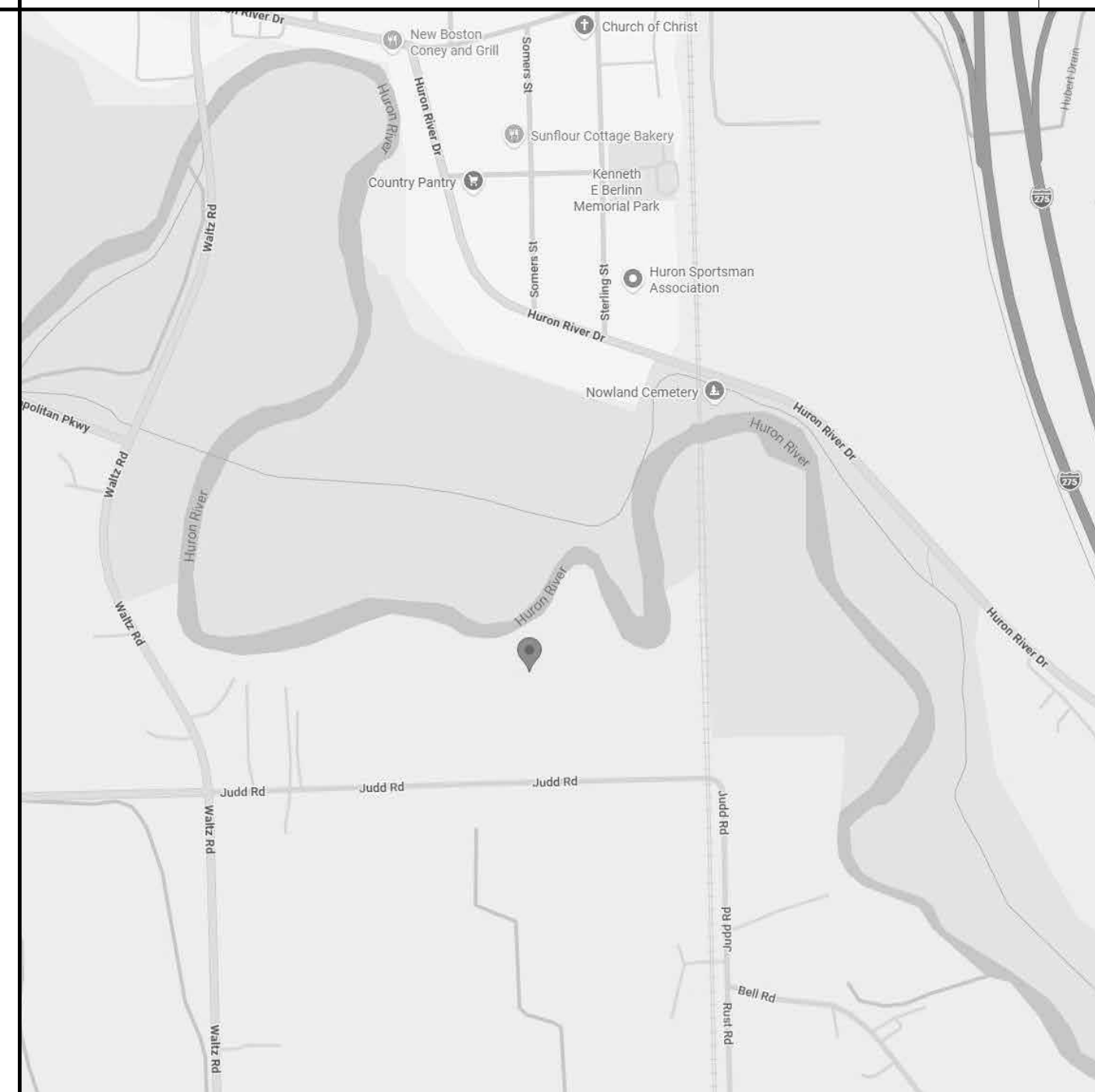
PROJECT DESCRIPTION 5

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- 2015 MICHIGAN RESIDENTIAL BUILDING CODE (MRC)
- 2021 MICHIGAN MECHANICAL CODE (MMC)
- 2018 MICHIGAN PLUMBING CODE (MPC)
- 2023 NATIONAL ELECTRIC CODE, WITH PART 8 AMMENDMENTS (NEC)

PROJECT DIRECTORY 10

VICINITY MAP 7
NOT TO SCALE

APPLICABLE CODES 4

SHEET LIST 1



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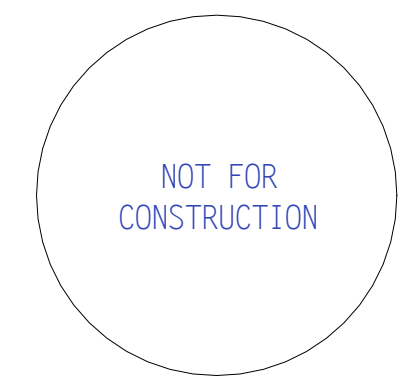
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GENERAL NOTES

PERMIT & BID DRAWINGS



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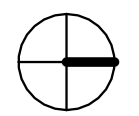
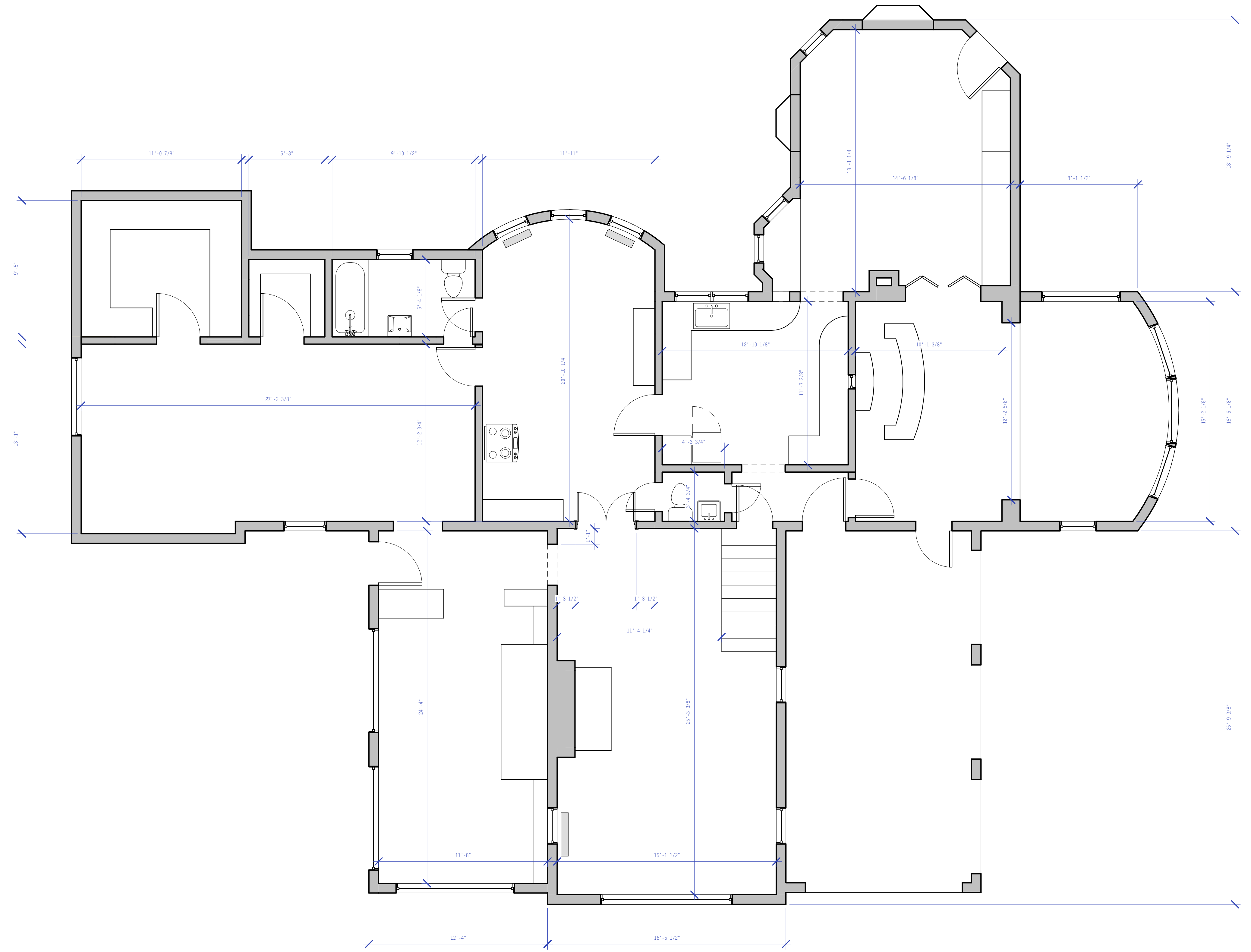
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		<p>& AND / AND > ANGLE @ AT + HEIGHT ABOVE</p> <p>ABV ABOVE ADJ ADJUSTABLE AP ACCESS PANEL APPROX. APPROXIMATE</p> <p>BB BASEBOARD BEL. BELOW B.O. BOTTOM OF</p> <p>CB CASEWORK CMU CONCRETE MASONRY UNIT</p> <p>D DEPTH DIM. DIMENSION DN DOWN DN DISHWASHER</p> <p>(E) EXISTING E EAST EF EXHAUST FAN ELEC. ELECTRICAL EP ELECTRICAL PANEL EQ EQUAL EXT. EXTERIOR</p> <p>FC FAUCET FD FLOOR DRAIN FL FLOOR FF FINISH FLOOR</p> <p>GA GAUGE GD GARBAGE DISPOSAL GR GRADE GYP. GYPSUM WALLBOARD</p> <p>H HEIGHT HVAC HEATING, VENTILATION, AND AIR CONDITIONING</p> <p>INCL. INCLUDE INT. INTERIOR</p> <p>LT LIGHT</p> <p>MAX MAXIMUM MIN MINIMUM MR MIRROR MT METAL</p> <p>N NORTH</p> <p>O.C. ON CENTER</p> <p>PD PAPER DISPENSER PT PAINT</p> <p>RCP REFLECTED CEILING PLAN RF REFRIGERATOR REF. REFERENCE RK RACK</p> <p>S SOUTH SF SQUARE FOOTAGE SK SINK SIM. SIMILAR SP SPEAKER SPEC. SPECIFIED ST STONE</p> <p>TL TILE T.O. TOP OF TP TOLLET PAPER TV TELEVISION TYP. TYPICAL</p> <p>VH VENTILATION HOOD VIF. VERIFY IN FIELD</p> <p>W WEST W WIDTH WC WATER CLOSET (TOILET) WD WOOD WH WATER HEATER</p>	<p>NORTH ARROW </p> <p>CENTERLINE </p> <p>DETAIL </p> <p>EXTERIOR ELEVATION </p> <p>INTERIOR ELEVATION </p> <p>LEVEL HEAD </p> <p>DIMENSION STRING </p> <p>ROOM TAG </p> <p>SECTION TAG </p> <p>WALL TAG </p> <p>DOOR TAG </p> <p>WINDOW TAG </p> <p>EXIT SIGN </p>
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NOTE: ALL DIMENSIONS PROVIDED FOR
REFERENCE ONLY. VERIFY IN FIELD AS
REQUIRED TO COMPLETE
ALTERATION SCOPE.



APPLIANCES & ELECTRICAL EQUIPMENT

TAG	ITEM	QTY	SPEC	NOTES
CF-1	CEILING FAN	2X	TBD	PROVIDE ELECTRICAL PER SPEC.; \$500 ALLOWANCE, OUTDOOR RATED
DW-1	DISHWASHER	2X	TBD	PROVIDE ELECTRICAL, WATER, & DRAIN PER SPECS; \$1,000 ALLOWANCE
EF-1	BATHROOM EXHAUST	4X	PANASONIC FV-0510VSL-1	PROVIDE ELECTRICAL & EXHAUST, PER SPECS; \$1,000 ALLOWANCE
FH-1	FLOOR HEAT	2X	NU HEAT CUSTOM MAT	PROVIDE ELECTRICAL PER SPECS. DOES NOT EXTEND INTO CURBED SHOWERS
GD-1	GARBAGE DISPOSAL	2X	TBD	PROVIDE ELECTRICAL PER SPECS. PROVIDE AIR SWITCH TO MATCH FC-1/FC-2 FINISH; \$300 ALLOWANCE
IH-1	INFRARED HEATER	2X	TBD	PROVIDE ELECTRICAL PER SPECS; \$1,500 ALLOWANCE
IM-1	UNDER COUNTER ICEMAKER	1X	TBD	PROVIDE ELECTRICAL & WATER PER SPECS; \$3,000 ALLOWANCE
MA-1	MAKE-UP AIR	1X	TBD	WIRE AS INTERLOCK WITH HOOD, FOLLOW MANUFACTURER INSTRUCTIONS. PROVIDE EXTERIOR LOUVERS; \$300 ALLOWANCE
MO-1	MICROWAVE OVEN	1X	TBD, BUILT-IN	PROVIDE ELECTRICAL; \$1,000 ALLOWANCE
RF-1	REFRIGERATOR	1X	TBD	PROVIDE ELECTRICAL & WATER PER SPECS; \$4,000 ALLOWANCE
RF-2	UNDER COUNTER REFRIGERATOR	1X	TBD	PROVIDE ELECTRICAL PER SPECS; \$1,500 ALLOWANCE
RG-1	RANGE	1X	TBD, 36"	PROVIDE ELECTRICAL & GAS PER SPECS; \$8,000 ALLOWANCE
VH-1	VENTILATION HOOD	1X	TBD	PROVIDE ELECTRICAL & EXHAUST PER SPECS
WO-1	WALL OVEN	1X	TBD	PROVIDE ELECTRICAL & GAS PER SPECS; \$3,000 ALLOWANCE

LIGHT FIXTURE SCHEDULE

TAG	ITEM	QTY	SPEC	NOTES
LT-1	RECESSED LIGHT	PER PLANS	WAC RAERDR W 9CS	3000K; PROVIDE WET LOCATION OPTION WHERE REQUIRED
LT-2	TAPE LIGHT	PER PLANS	PER ELECTRICIAN	3000K; DOTLESS
LT-3	ISLAND CHANDELIER	1X	TBD	3000K; \$750 ALLOWANCE
LT-4	WALL SCONCE	1X	TBD	3000K; DAMP RATED; \$300 ALLOWANCE
LT-5	WALL SCONCE	2X	TBD	3000K; DAMP RATED; \$500 ALLOWANCE
LT-6	RECESSED LIGHT	PER PLANS	PER ELECTRICIAN	3000K; 6" REPLACEMENT FOR (E) LOCATIONS
LT-7	EXTERIOR WALL SCONCE	PER PLANS	PINEAPPLE TO MATCH (E)	3000K
LT-7	WALL SCONCE	PER PLANS	TBD	3000K; DAMP RATED; \$300 ALLOWANCE
LT-8	WALL SCONCE	PER PLANS	TBD	3000K; DAMP RATED; \$300 ALLOWANCE
LT-9	SURFACE MOUNTED LIGHT	6X	TBD	3000K; OUTDOOR RATED; \$350 ALLOWANCE

NOTE: ANY EXISTING LIGHT FIXTURES NOT OTHERWISE NOTED WITHIN DRAWINGS ARE CONSIDERED (E) TO REMAIN. FIXTURES ARE TO BE REMOVED, REPAIRED AS NEEDED, AND SAFELY STORED FOR REINSTALLATION.

PLUMBING FIXTURE SCHEDULE

TAG	ITEM	QTY	SPEC	NOTES - PROVIDE RECIRCULATION PUMP/LOOPS FOR ALL HOT WATER FIXTURES
BT-1	FREESTANDING BATHTUB	1X	SIGNATURE HARDWARE 55" VADA	\$2,000 ALLOWANCE
FC-1	KITCHEN FAUCET	1X	TBD	\$750 ALLOWANCE
FC-2	COFFEE / BAR FAUCET	1X	TBD	\$750 ALLOWANCE
FC-3	POWDER ROOM FAUCET	1X	TBD	\$500 ALLOWANCE
FC-4	MASTER BATHROOM FAUCET	2X	TBD	\$500 ALLOWANCE
FC-5	HALL BATH FAUCET	1X	TBD	\$500 ALLOWANCE
FC-6	POT FILLER	1X	TBD	\$750 ALLOWANCE
FC-7	TUB FILLER	1X	TBD	\$750 ALLOWANCE
SK-1	KITCHEN SINK	1X	TBD	\$1,000 ALLOWANCE
SK-2	COFFEE / BAR SINK	1X	TBD	\$500 ALLOWANCE
SK-3	POWDER ROOM SINK	1X	TBD	\$500 ALLOWANCE
SK-4	MASTER BATHROOM SINK	2X	TBD	\$500 ALLOWANCE
SK-5	HALL BATH SINK	1X	TBD	\$500 ALLOWANCE
SH-1	MASTER BATH SHOWER SET	1X	TBD	\$1,000 ALLOWANCE
SH-2	GUEST BATH SHOWER SET	1X	TBD	\$1,000 ALLOWANCE
WC-1	TOILET	3X	TBD	\$500 ALLOWANCE

FINISH SCHEDULE

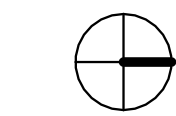
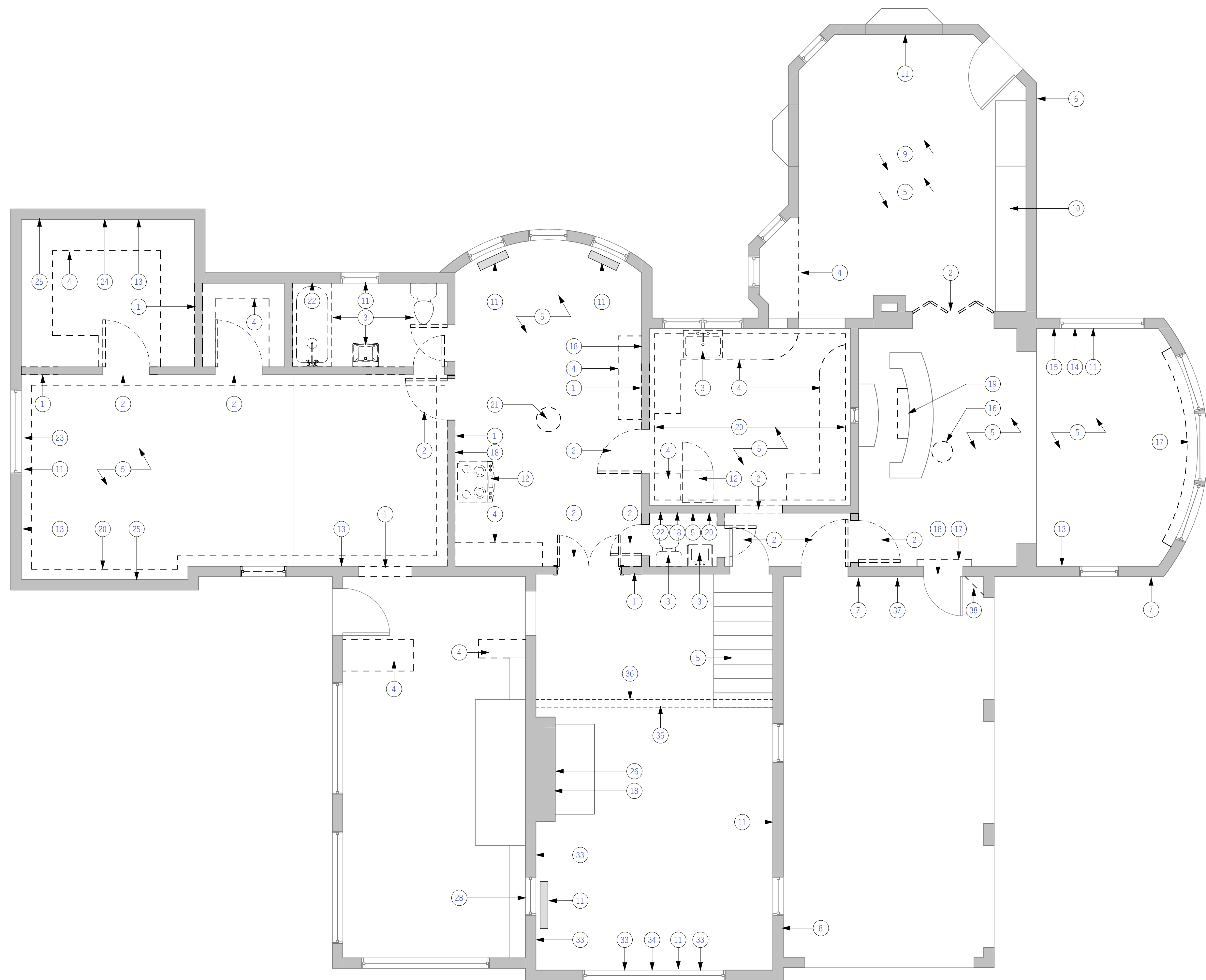
TAG	ITEM	QTY	SPEC	NOTES
BB-1	BASEBOARD	PER PLANS	(E) & TO MATCH (E)	REFER TO ELEVATIONS; REPAIR & PAINT PT-1 (ONE SHEEN UP FROM WALL FINISH) THROUGHOUT, INSTALL AT ALL NEW WALLS NOT ELEVATED
FL-1	WOOD FLOORING	PER PLANS	(E) & TO MATCH (E)	REFER TO PLANS; THROUGHOUT (UNLESS NOTED OTHERWISE). LACE-IN NEW FLOORING TO BE SEAMLESS W/ (E). SAND & REFINISH ALL
FL-2	TILE FLOORING	PER PLANS	(E)	REFER TO PLANS
FL-3	TILE FLOORING	PER PLANS	TBD	REFER TO PLANS; \$20/SF FINISH MATERIAL ALLOWANCE
FL-4	TILE FLOORING	PER PLANS	(E) TO REMAIN	REFER TO PLANS; PRESERVE AND REPAIR FLOOR AS REQUIRED
FL-5	TERRACOTTA TILE FLOORING	PER PLANS	TBD	REFER TO PLANS; \$30/SF FINISH MATERIAL ALLOWANCE
FL-6	TILE FLOORING	PER PLANS	TBD	REFER TO PLANS; \$20/SF FINISH MATERIAL ALLOWANCE
FL-7	TILE FLOORING	PER PLANS	(E) TO REMAIN	REFER TO PLANS; PRESERVE AND REPAIR FLOOR AS REQUIRED. SEE DEMO PLANS FOR ADDITIONAL CONSIDERATIONS.
FL-8	TILE FLOORING	PER PLANS	(E) TO REMAIN	REFER TO PLANS; PRESERVE AND REPAIR FLOOR AS REQUIRED
PT-1	MAIN INTERIOR PAINT COLOR	PER PLANS	SATIN	REFER TO PLANS & ELEVATIONS, PAINT ALL WALLS THROUGHOUT, UNLESS NOTED OTHERWISE
PT-2	ACCENT PAINT COLOR	PER PLANS	SATIN	REFER TO PLANS & ELEVATIONS
PT-3	ACCENT PAINT COLOR	PER PLANS	SATIN	REFER TO PLANS & ELEVATIONS
PT-4	ACCENT PAINT COLOR	PER PLANS	SATIN	REFER TO PLANS & ELEVATIONS
PT-5	EXTERIOR PINK PAINT	PER PLANS	TO MATCH (E)	REFER TO PLANS & ELEVATIONS
ST-1	STONE	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/SF FINISH MATERIAL ALLOWANCE
ST-2	STONE	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/SF FINISH MATERIAL ALLOWANCE
ST-3	STONE	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/SF FINISH MATERIAL ALLOWANCE
ST-4	STONE	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/SF FINISH MATERIAL ALLOWANCE
ST-5	STONE	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/SF FINISH MATERIAL ALLOWANCE
ST-6	STONE	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/SF FINISH MATERIAL ALLOWANCE
TL-1	WALL TILE	PER PLANS	TBD	REFER TO ELEVATIONS; \$10/SF FINISH MATERIAL ALLOWANCE
TL-2	WALL TILE	PER PLANS	TBD	REFER TO ELEVATIONS; \$10/SF FINISH MATERIAL ALLOWANCE
TL-3	WALL TILE	PER PLANS	TBD	REFER TO ELEVATIONS; \$10/SF FINISH MATERIAL ALLOWANCE
TL-4	WALL TILE	PER PLANS	(E)	REFER TO ELEVATIONS
TL-5	WALL TILE	PER PLANS	(E) & TO MATCH (E)	REFER TO ELEVATIONS. IF MATCH CANNOT BE FOUND TO COMPLETE SHOWER WALL, DEMO IN FULL AND REPLACE WITH NEW TILE; \$20/SF MATERIAL ALLOWANCE
TR-1	WINDOW AND DOOR CASING	PER PLANS	(E) & TO MATCH (E)	REFER TO ELEVATIONS; PAINT PT-1 (ONE SHEEN UP FROM WALL FINISH) THROUGHOUT
MW-1	MILLWORK	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/LF ALLOWANCE
MW-2	MILLWORK	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/LF ALLOWANCE
MW-3	MILLWORK	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/LF ALLOWANCE
MW-4	MILLWORK	PER PLANS	TBD	REFER TO PLANS & ELEVATIONS; \$100/LF ALLOWANCE

DOOR SCHEDULE

TAG	ITEM	QTY	SPEC	NOTES
102.1	LANAI 102 HALL 108	1X	TO MATCH (E)	TO MATCH (E) OPENING
102.2	LANAI 102 EXTERIOR	1X	SCREEN DOOR PER SYSTEM	SINGLE OUTSWING, 36" X 84"
109.1	CLOSET 109 HALL 108	1X	TO MATCH (E)	4-PANEL BIFOLD, 48" X 84" (CONFIRM HEIGHT IS CONSISTENT WITH (E) INTERIOR DOORS, ADJUST AS REQUIRED
110.1	PANTRY 110 HALL 108	1X	TO MATCH (E)	SINGLE PANEL POCKET, 30" X 84" (CONFIRM HEIGHT IS CONSISTENT WITH (E) INTERIOR DOORS, ADJUST AS REQUIRED
111.1	POWDER 111 HALL 108	1X	TO MATCH (E)	SINGLE PANEL, 30" X 84" (CONFIRM HEIGHT IS CONSISTENT WITH (E) INTERIOR DOORS, ADJUST AS REQUIRED
112.1	MASTER SUITE 112 HALL 108	1X	TO MATCH (E)	SINGLE PANEL, 30" X 84" (CONFIRM HEIGHT IS CONSISTENT WITH (E) INTERIOR DOORS, ADJUST AS REQUIRED
113.1	CLOSET 113 MASTER SUITE 112	1X	TO MATCH (E)	4-PANEL BIFOLD, 72" X 84" (CONFIRM HEIGHT IS CONSISTENT WITH (E) INTERIOR DOORS, ADJUST AS REQUIRED
114.1	EN SUITE 114 MASTER SUITE 112	1X	TO MATCH (E)	SINGLE PANEL POCKET, 30" X 84" (CONFIRM HEIGHT IS CONSISTENT WITH (E) INTERIOR DOORS, ADJUST AS REQUIRED
115.1	SHOWER 115 EN SUITE 114	1X	TO MATCH (E)	SINGLE PANEL EURO GLASS, 30" X 96"
116.1	TOILET ROOM 116 EN SUITE 114	1X	TO MATCH (E)	SINGLE PANEL POCKET, 30" X 84" (CONFIRM HEIGHT IS CONSISTENT WITH (E) INTERIOR DOORS, ADJUST AS REQUIRED

NOTE: ALL UNTAGGED DOORS ARE (E) TO REMAIN. ALL (E) DOORS TO REMAIN ARE TO BE REVIEWED AND ANY REPAIRS NEEDED ARE TO BE INCLUDED IN THE SCOPE OF WORK. ALL (E) DOORS TO REMAIN TO BE PAINTED PT-1 (ONE SHEEN UP FROM WALL FINISH) THROUGHOUT.

1. DEMO (E) PARTITION AS INDICATED, INCLUDING ANY (E) MECHANICAL, ELECTRICAL, PLUMBING, OR SIMILAR COMPONENTS. DEMO OF (E) SYSTEMS TO BE COORDINATED CAREFULLY WITH ALTERATION PLANS AND TERMINATED / ELIMINATED IN A SUCCINCT MANNER.
2. DEMO (E) DOOR, FRAME, AND HARDWARE.
3. DEMO (E) PLUMBING FIXTURE AND ASSOCIATED SUPPLY/DRAIN AS REQUIRED TO COORDINATE WITH ALTERATION PLANS.
4. DEMO (E) MILLWORK/COUNTERTOP IN ITS ENTIRETY.
5. DEMO (E) FLOOR AND PREP SURFACE FOR INSTALLATION OF NEW FLOORING. REFER TO ALTERATION PLANS/FINISH SCHEDULE.
6. ELIMINATE (E) EXPOSED CONDUIT WHILE MAINTAINING (E) LIGHT LOCATION. DEMO (E) LIGHT FIXTURE AND PREP FOR INSTALLATION OF NEW FIXTURE (LT-7).
7. DEMO (E) LIGHT, ASSOCIATED WIRING, AND CONDUIT. PATCH ANY HOLES IN MASONRY AND PAINT (PT-5) TO MATCH.
8. ELIMINATE (E) PLUGS, ASSOCIATED WIRING, AND FLEXIBLE CONDUIT. PATCH ANY HOLES IN MASONRY AND PAINT (PT-5) TO MATCH. COORDINATE DEMO WITH PROPOSED SWITCHING/CONDUIT.
9. DEMO (E) RECESSED LIGHTING AND PREP FOR NEW RECESSED LIGHTING (LT-6) IN SAME LOCATION.
10. DEMO COUNTERTOP AND HARDWARE ONLY. REPLACE WITH (ST-2) AND NEW HARDWARE (\$10/ALLOANCE PER ITEM).
11. REPAIR AND REPAINT ALL (E) RADIATORS AND RADIATOR COVERS. PAINT TO MATCH TRIM FINISH. INDICATED LOCATIONS DO NOT REPRESENT ALL LOCATIONS IN SCOPE.
12. DEMO (E) APPLIANCE AND TERMINATE ALL ASSOCIATED (E) MECHANICAL, PLUMBING, ELECTRICAL, OR SIMILAR COMPONENTS IN ACCORDANCE WITH ALTERATION PLANS.
13. REPAIR WATER DAMAGE ON PANELING/PLASTER/DRYWALL, ETC. ENSURE SOURCE IS ELIMINATED AS PART OF SCOPE. MOLD TO BE FULLY REMOVED IN ACCORDANCE WITH REQUIRED STANDARDS. REMAINING SUBSTRUCTURE TO BE CLEANED AND SEALED WITH A MOLD INHIBITOR. INDICATED LOCATIONS DO NOT REPRESENT ALL LOCATIONS IN SCOPE.
14. DEMO (E) FLOOR MOUNTED DUCTWORK AND DETERMINE A MORE AESTHETIC AND APPROPRIATE SOLUTION.
15. DEMO ANY (E) TRIM THAT IS DAMAGED AND REPLACE AS NECESSARY TO MATCH.
16. REMOVE (E) CHANDELIER, REWIRE WITH LONGER CORD AND REINSTALL AT SAME LOCATION WITH SWAG HOOK TO CENTER CHANDELIER OVER BAR.
17. DEMO (E) WINDOW COVERING AND/OR (E) VALANCE AND ALL ASSOCIATED HARDWARE.
18. DEMO (E) MIRROR.
19. DEMO (E) "SINK" FROM BAR.
20. DEMO (E) SOFFIT AND PREPARE REMAINING CEILING FRAMING AS NEEDED TO PROVIDE FLAT CEILING.
21. DEMO (E) CHANDELIER. MAINTAIN JUNCTION BOX LOCATION FOR NEW FIXTURE (LT-3).
22. REMOVE ALL (E) WALL TILE IN BATHROOM. PREP WALLS FOR INSTALLATION OF NEW FINISH.
23. REPAIR (E) BLOCK AROUND WINDOW AS NEEDED PRIOR TO REINSTALLING FINISH.
24. DEMO (E) GLASS BLOCK WINDOW AND INFILL WITH MASONRY TO MATCH. SEAL AND PAINT EXTERIOR.
25. REMOVE ALL (E) PANELING MATERIALS FROM WALLS AND PREP (E) FRAMING FOR INSTALLATION OF NEW DRYWALL. FOR INSTANCES WHERE THERE IS NO (E) FRAMING AND ONLY EXPOSED BLOCK IS PRESENT, PROVIDED NEW STUD WALLS OR FURRING STRIPS TO ACCEPT THE INSTALLATION OF NEW DRYWALL. VAPOR BARRIERS AND INSULATION AS REQUIRED BY CODE ARE TO BE INSTALLED. CONSULT WITH ARCHITECT IF DIMENSIONS TO ALTERATION PLANS MUST CHANGE SIGNIFICANTLY.
26. DEMO (E) GREEN TILE ON FACE OF FIREPLACE SURROUND AND PREP SURFACE FOR NEW STONE OR TILE MATERIAL PER ALTERATION PLANS.
27. CLEAN RESIDUE OFF (E) TILE FLOOR TO RESTORE ORIGINAL CONDITION.
28. DEMO (E) SHUTTERS.
29. DEMO (E) MISCELLANEOUS SHELVING IN CLOSET. ADD CLOSET ROD TO FULL PERIMETER.
30. DEMO (E) FLOOR ONLY AS REQUIRED TO ACCOMMODATE NEW FIXTURE LAYOUT. ANY DEMOED TILE SHALL BE CAREFULLY REMOVED AND STORED FOR REUSE. IF REMOVAL IS SMOOTH AND DAMAGE DOES NOT OCCUR, THE GREEN BORDER IS TO BE REMOVED AND REINSTALLED PER THE ALTERATION PLANS.
31. (E) WALL TILE IN THE NEW SHOWER AREA IS TO BE CAREFULLY REMOVED AND STORED FOR REUSE. PREPARE WALL FOR REINSTALLATION OF TILE AS "WET" CONDITION.
32. DEMO (E) BED SHROUD.
33. REMOVE (E) DRAPERY CORBELS AND PRESERVE. DO NOT DISCARD.
34. REMOVE (E) SHIP PAINTING AND PRESERVE. DO NOT DISCARD.
35. REMOVE (E) MEDALLION AND PRESERVE. DO NOT DISCARD.
36. REMOVE (E) WALL PAPER AND PREPARE SURFACE FOR PAINT.
37. DEMO (E) UNUSED UTILITES (GAS, 220V ELECTRIC). PATCH ANY HOLES IN MASONRY AND PAINT (PT-5) TO MATCH.
38. DEMO (E) SHELVES.
39. DEMO (E) WINDOW. REFER TO ELEVATIONS.





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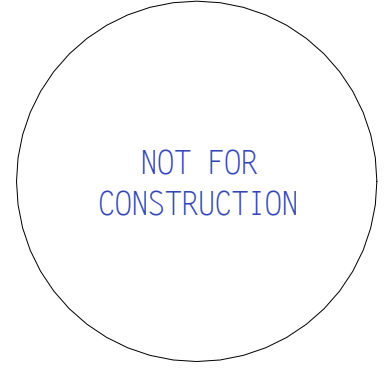
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THE PINK CASTLE

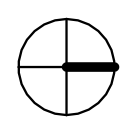
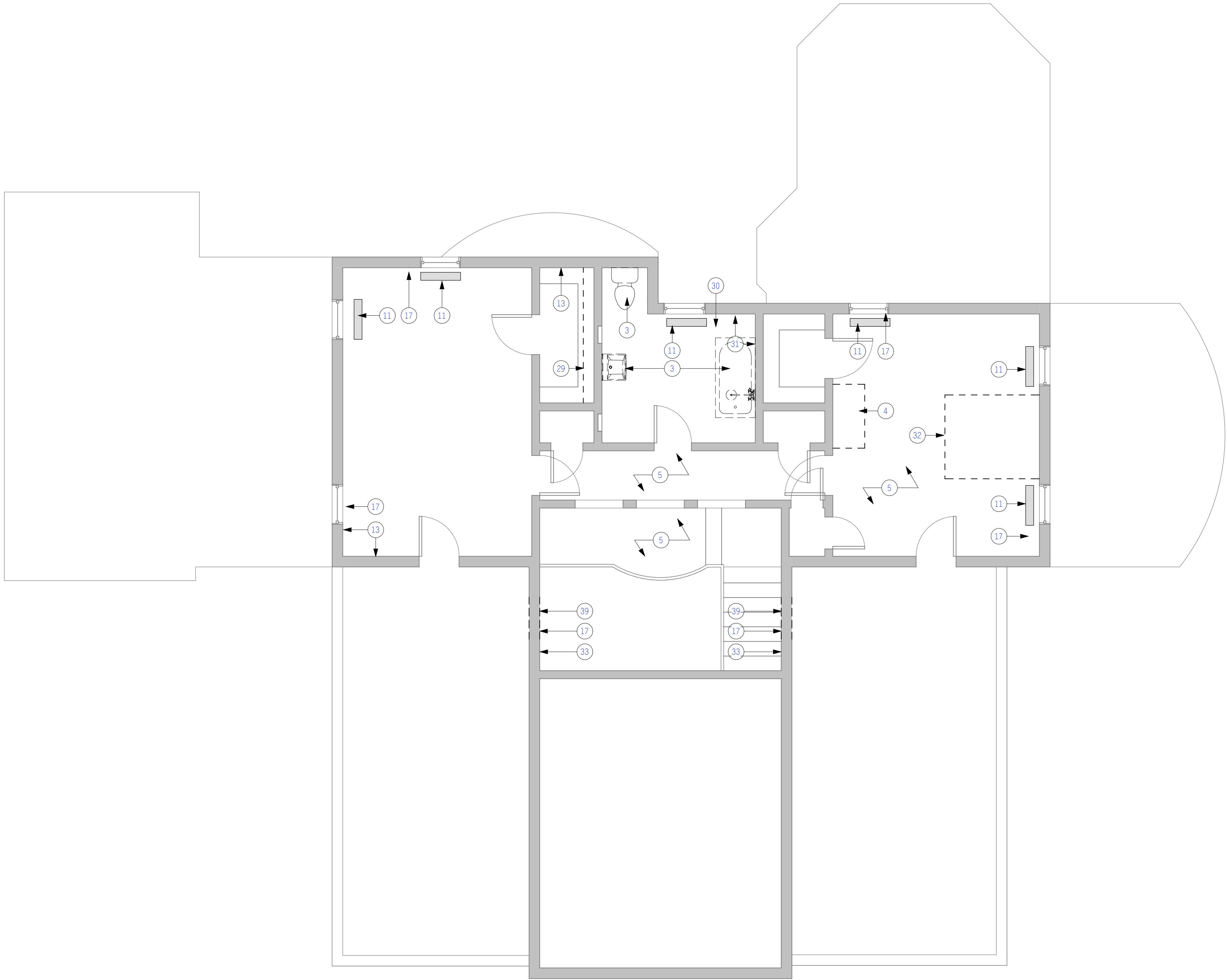
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DEMO PLAN, SECOND FLOOR

PERMIT & BID DRAWINGS

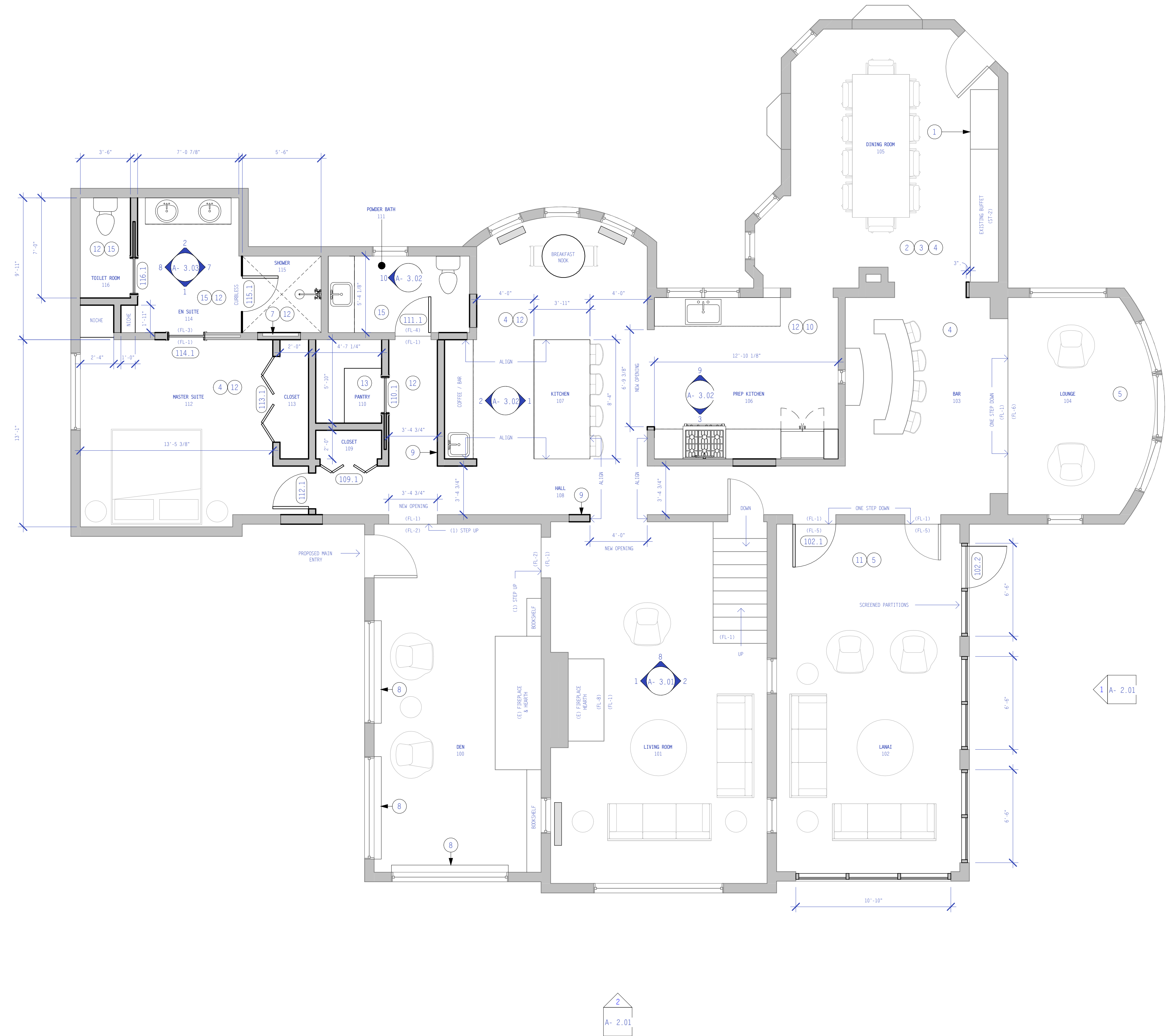


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05 - 02 - 2026

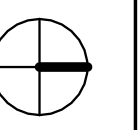
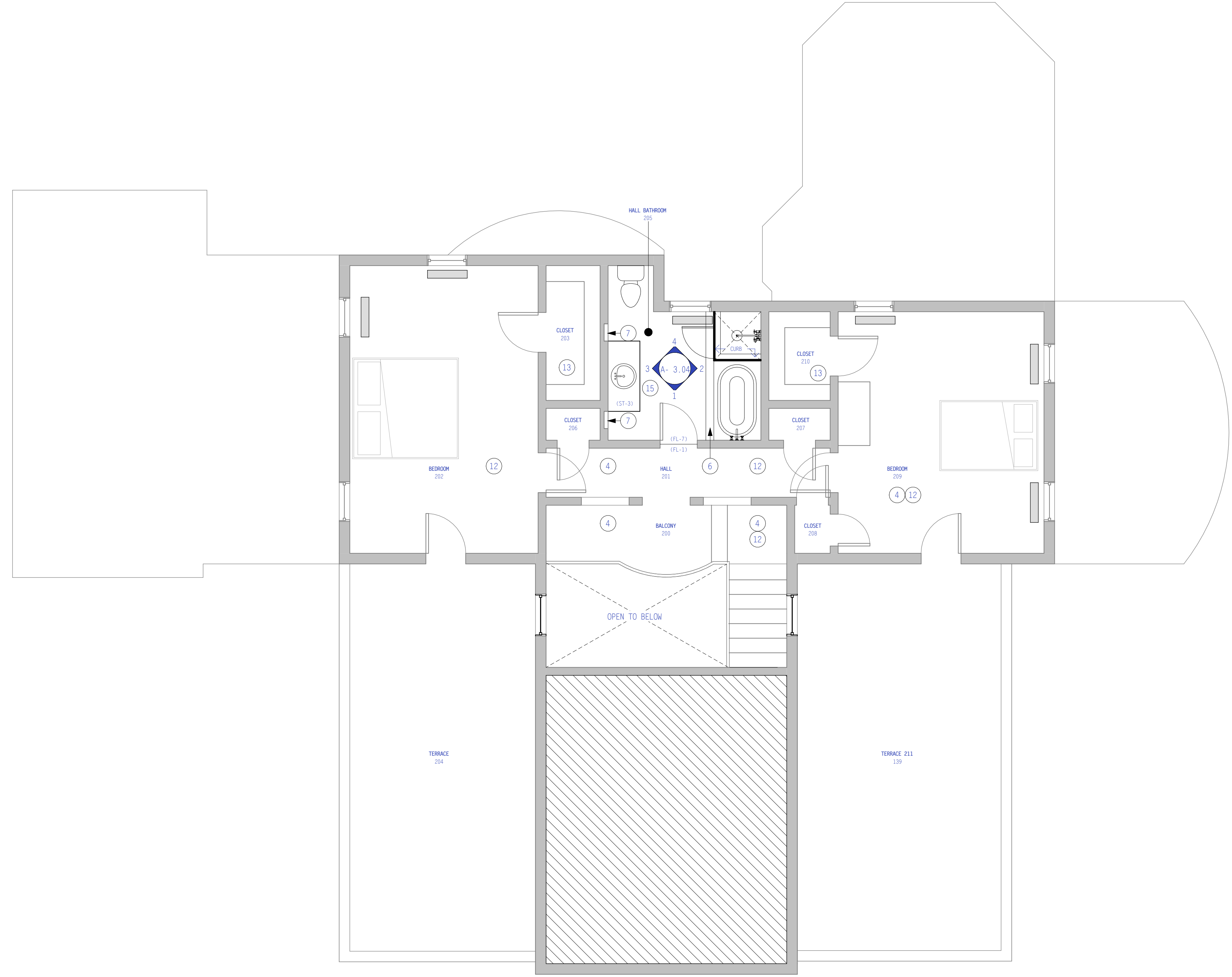


1. PAINT (E) CABINETS (PT-2). REPLACE ALL HARDWARE WITH NEW (SELECTION TBD). REPLACE COUNTERTOP (SEE SCHEDULE).
2. PAINT BEADBOARD CEILING (PT-2).
3. REPLACE RECESSED LIGHTS (LT-6). MAINTAIN (E) LOCATIONS. (SEE SCHEDULE).
4. INSTALL NEW HARDWOOD FLOORING. (SEE SCHEDULE).
5. INSTALL NEW TILE FLOORING. (SEE SCHEDULE).
6. REINSTALL GREEN BOARDER TO MEET NEW BATHROOM DIMENSIONS. (SEE DEMO PLAN).
7. NICHE. (SEE ELEVATIONS).
8. NEW ELECTRIC BASEBOARD HEAT. SPECIFICATION TBD BY ELECTRICAL CONTRACTOR.
9. ALL NEW WALLS TO BE CONSTRUCTED TO MATCH (E) WALL CONSTRUCTION WHERE AN EXTENSION OF AN (E) WALL. WHEN INDEPENDENT, NEW WALLS TO BE CONSTRUCTED OF 3 1/2" WOOD STUDS, 16" O.C. w/ 5/8" GYPSUM WALLBOARD EACH SIDE.
10. ALL AREAS WITH MISSING DRYWALL, NOT OTHERWISE NOTED, TO BE REPAIRED/REPLACED AS PART OF RENOVATION SCOPE.
11. LANAI CEILING TO RECEIVE (1) CENTER MOUNTED CEILING FAN (CF-1), (6) SURFACE-MOUNTED LIGHT FIXTURES (LT-9), ARRANGED IN 2 EQUALLY-SPACED ROWS OF 3, AND (2) SURFACE-MOUNTED ELECTRIC INFRARED HEATERS (IH-1), SPACED EQUALLY TO EITHER SIDE OF THE CEILING FAN AND COORDINATED WITH LIGHTING LAYOUT. ALL ITEMS TO BE PIPED WITH SURFACE-MOUNTED CONDUIT RUN IN A SUCCINCT AND INTENTIONAL MANNER. CONDUIT TO BE PAINTED (PT-5) TO MATCH EXTERIOR. PROVIDE 3 SWITCHES: ONE FOR FAN, ONE FOR LIGHTS, AND ONE FOR HEATERS. FAN AND HEATERS TO ALSO BE REMOTE CONTROLLED.
12. PROVIDE UNIFORM AND WELL ALIGNED RECESSED LIGHTING (LT-1) LAYOUT FOR NOTATED ROOM. INSTALL (2) LAYERS OF 1/2" DRYWALL AT NEW CEILINGS IN THESE AREAS TO ACCOMMODATE LIGHTING LAYOUT THAT IS NOT LIMITED BY (E) FRAMING.
13. PROVIDE CENTRALLY LOCATED SURFACE MOUNTED FIXTURE (LT-10).
14. EACH TYPE OF LIGHTING, IN EACH ROOM TO BE INDIVIDUALLY SWITCHED. MAIN LIGHTING ONLY (TYPICALLY RECESSED LIGHTING) IN A ROOM TO BE CONTROLLED BY 3/4-WAY LIGHTING WHERE APPLICABLE.
15. INSTALL (EF-1).

NOTE: ALL DIMENSIONS PROVIDED FOR REFERENCE ONLY. VERIFY IN FIELD AS REQUIRED TO COMPLETE ALTERATION SCOPE.



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SLOWTIDE .STUDIO,
ARCHITECTS

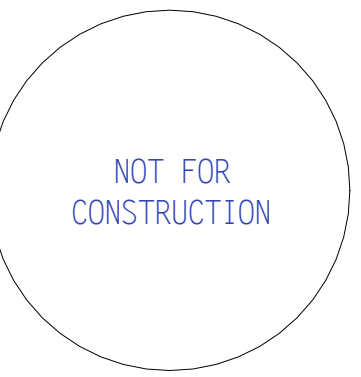
1915 WOODLAND AVENUE
SYLVAN LAKE - MICHIGAN - 48320
BDV @ SLOWTIDE.STUDIO & 248.891.2737

THE PINK CASTLE

36780 JUDD ROAD
NEW BOSTON - MICHIGAN - 48164

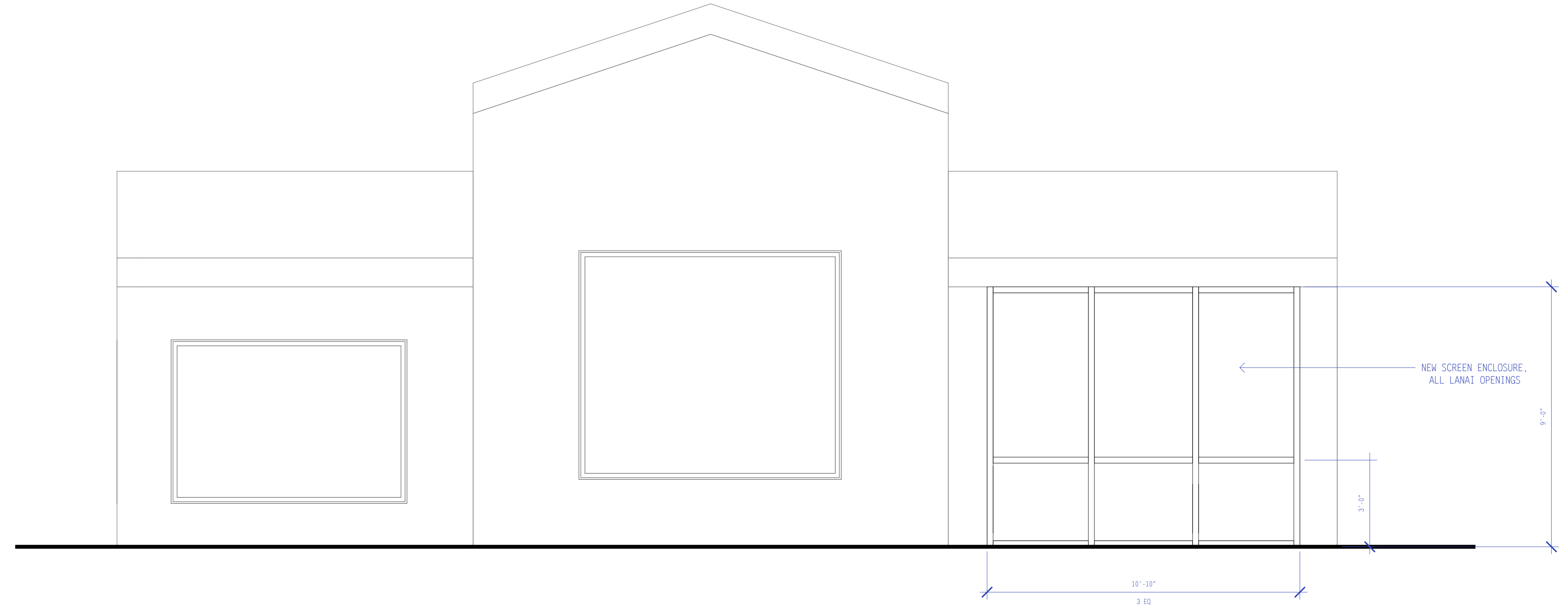
ELEVATIONS, EXTERIOR

PERMIT & BID DRAWINGS

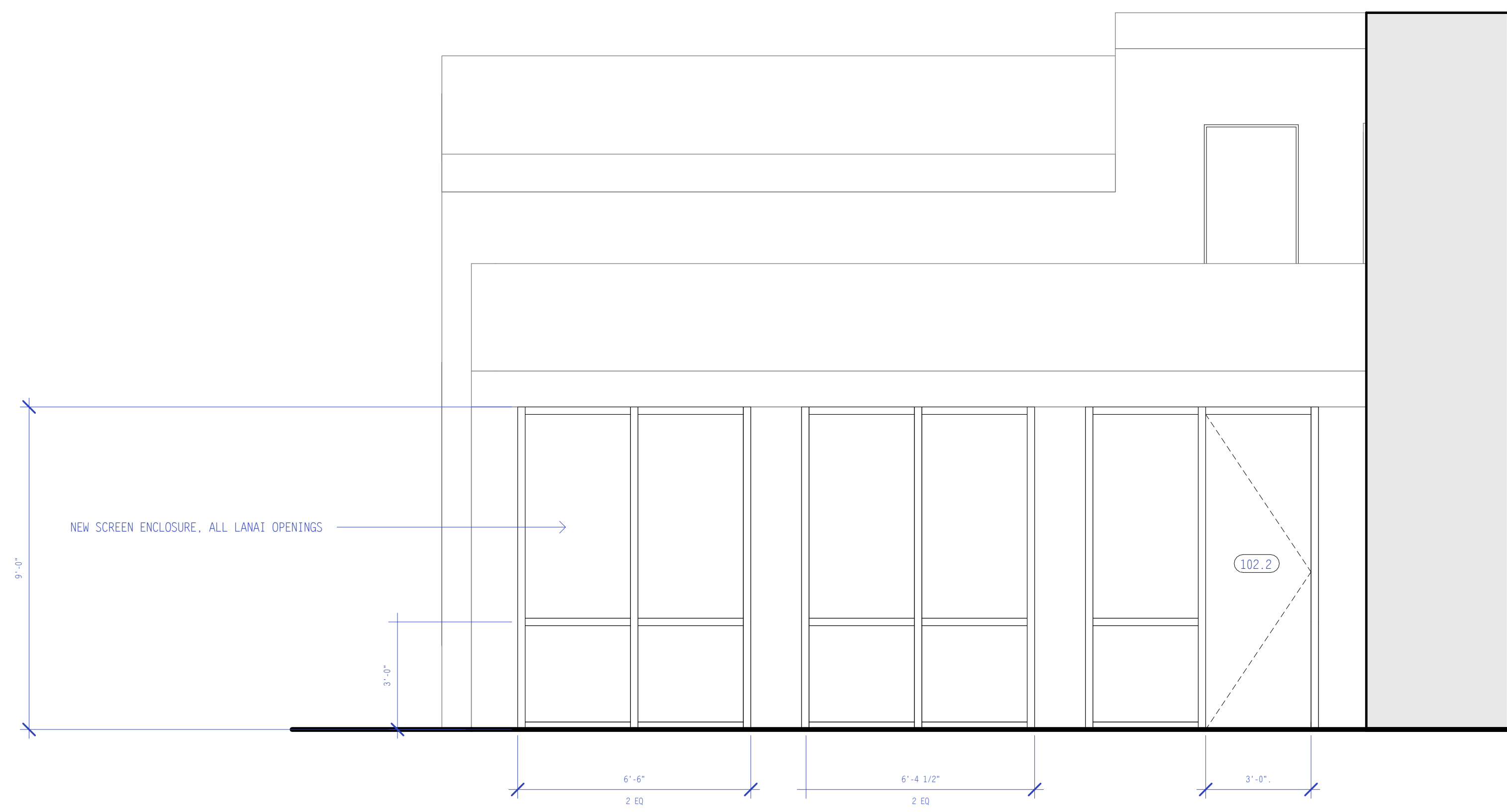


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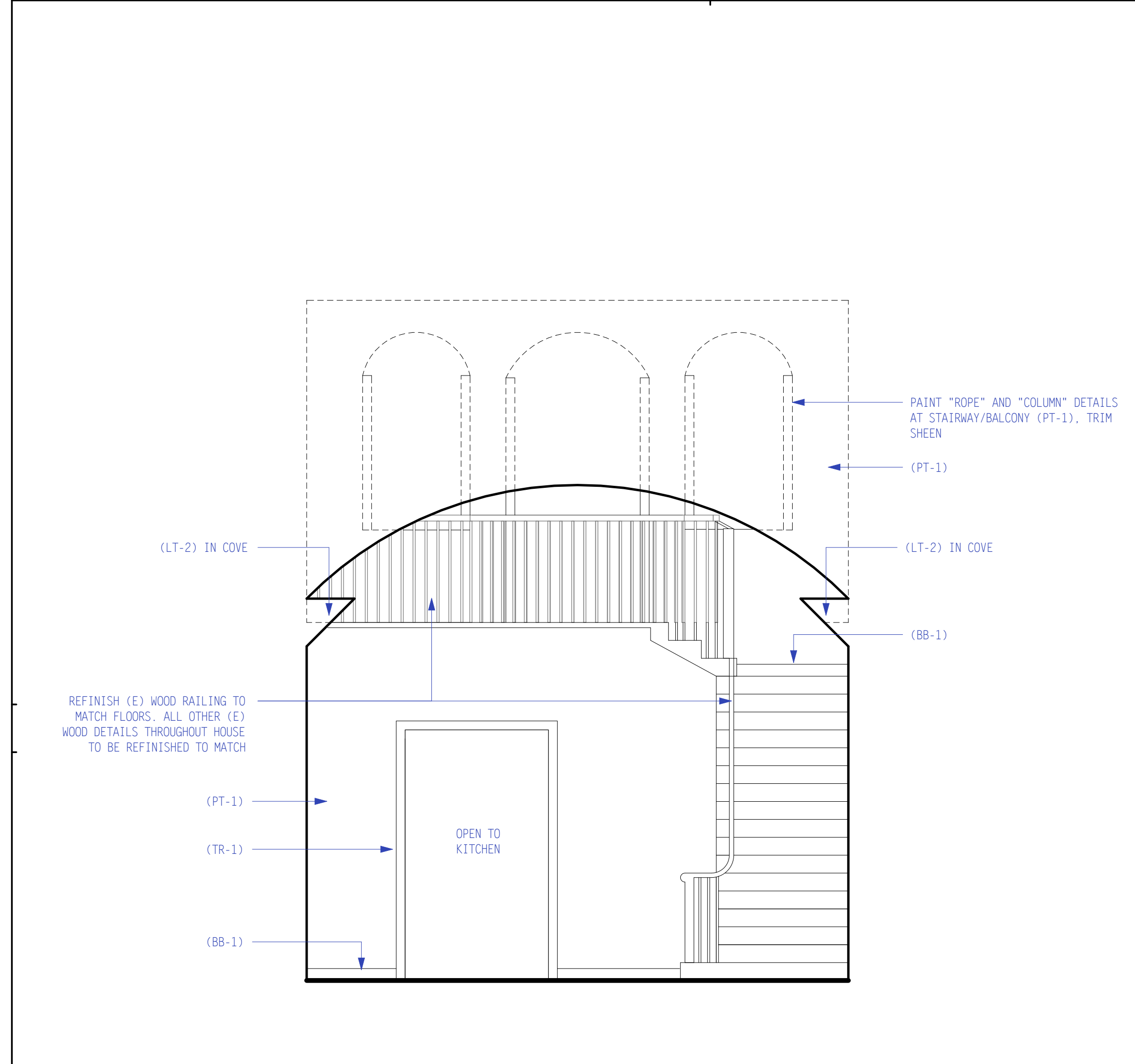
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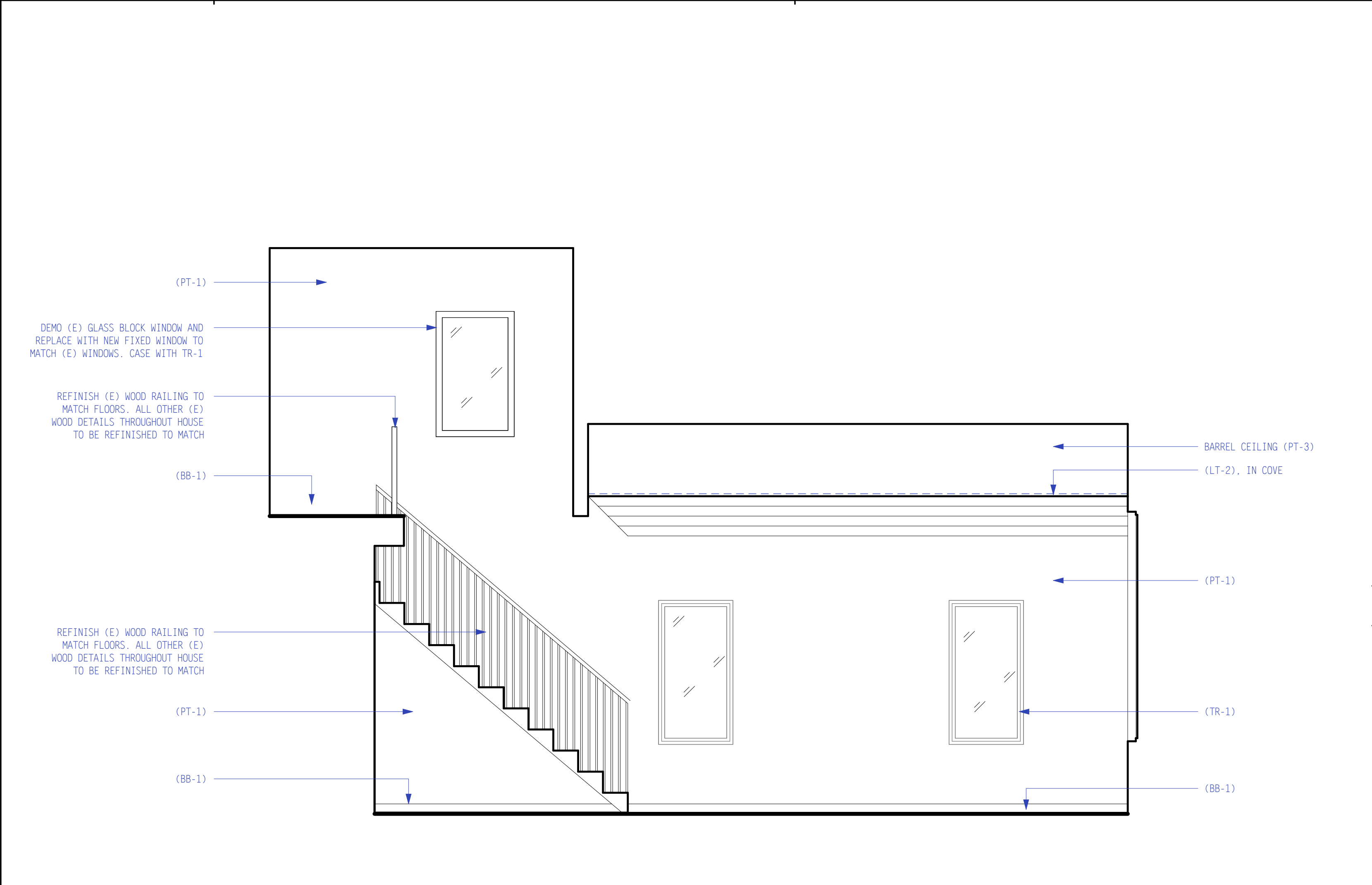
EXTERIOR ELEVATION, E 1
3/8" = 1'-0" 2



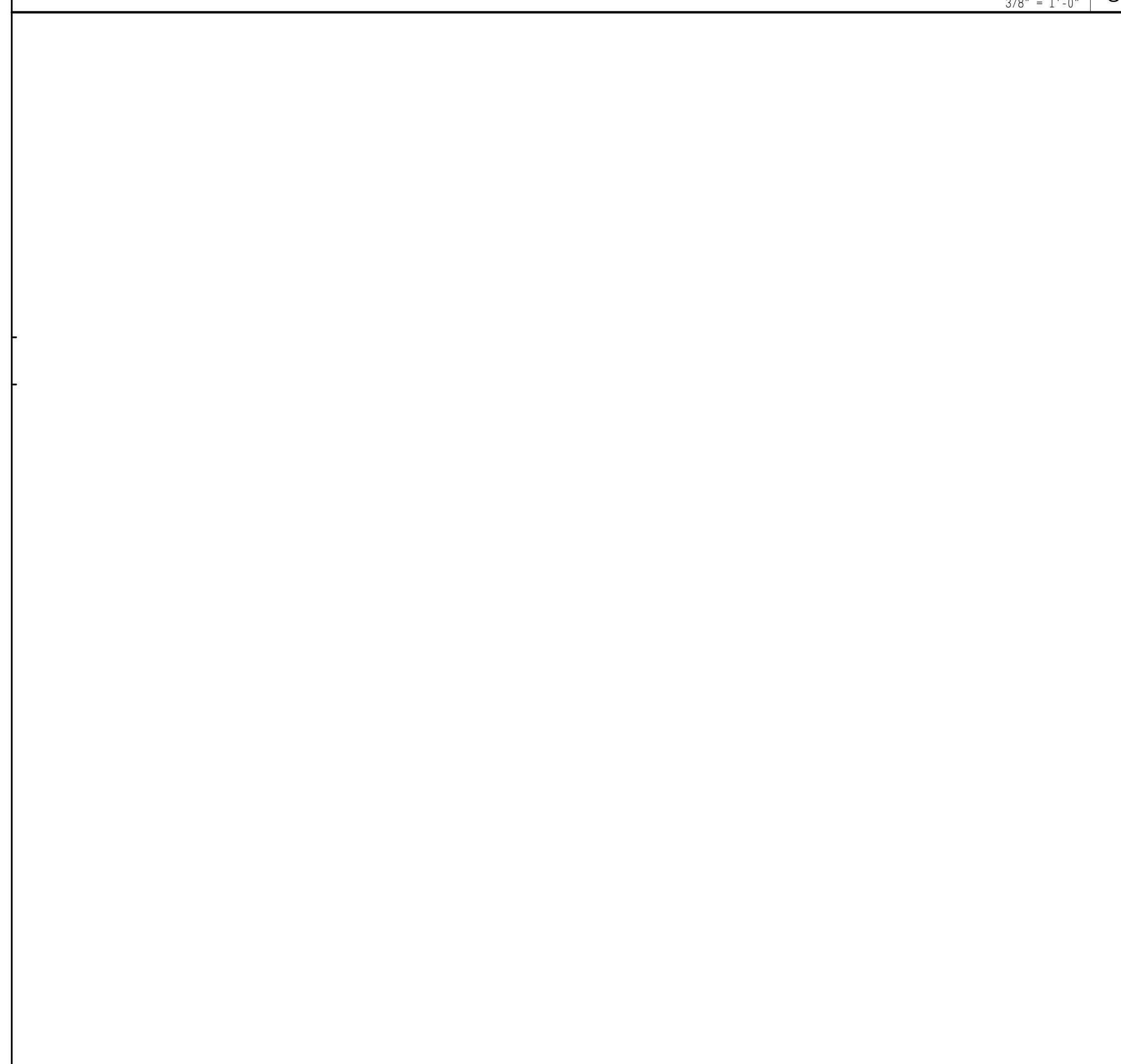
EXTERIOR ELEVATION, N 1
3/8" = 1'-0" 1



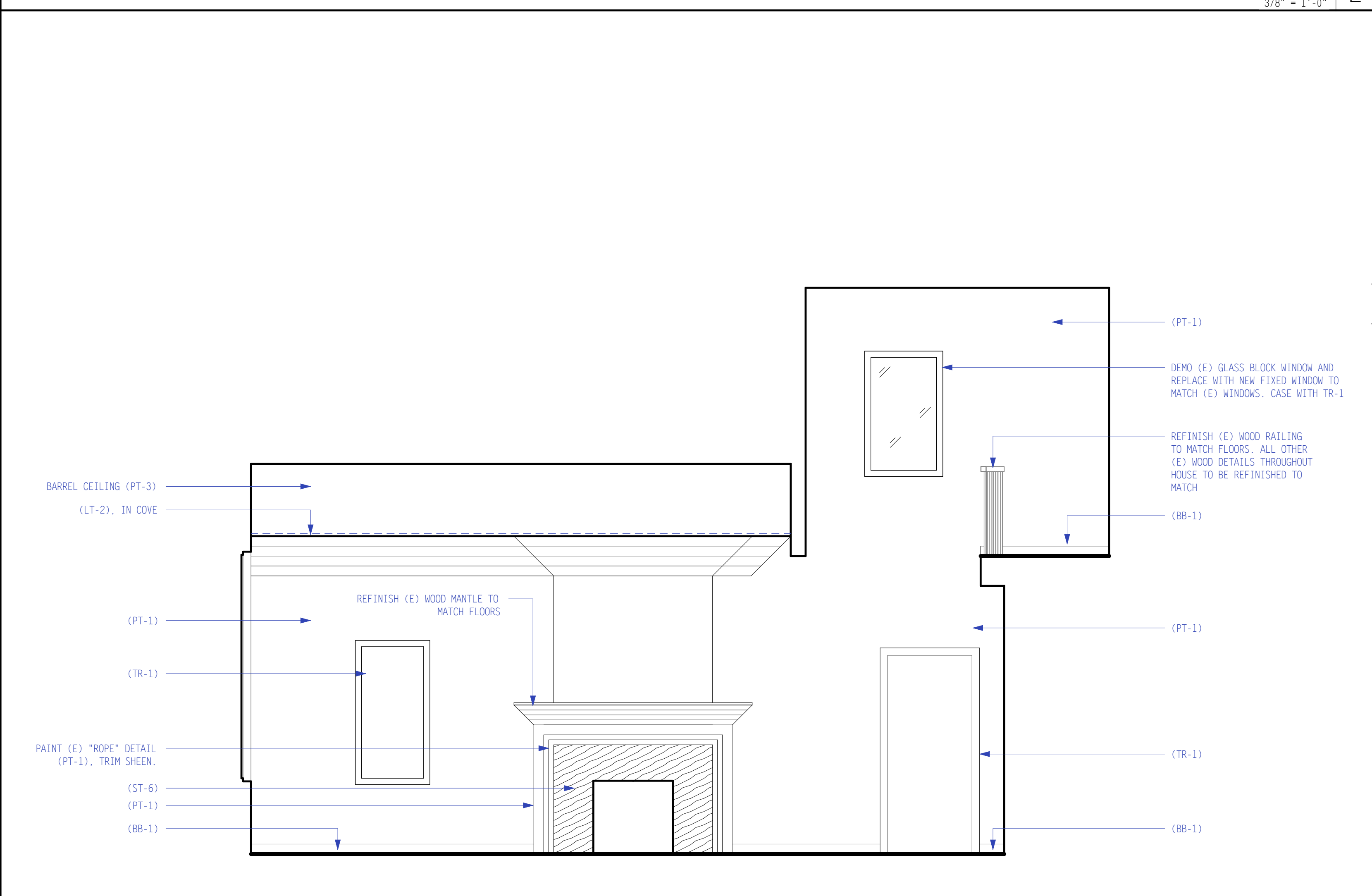
LIVING ROOM, W
3/8" = 1'-0" 8

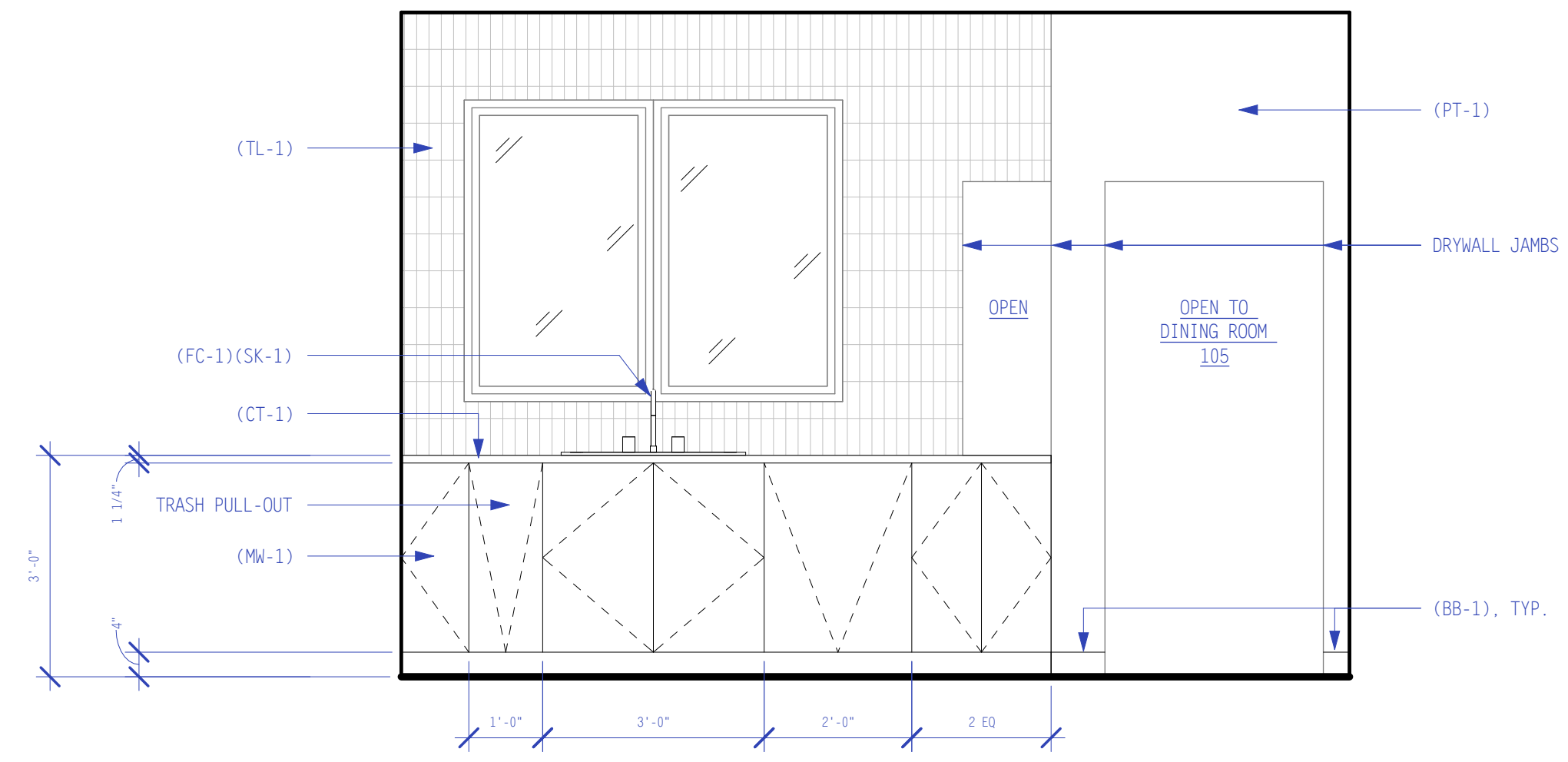


LIVING ROOM, N
3/8" = 1'-0" 2

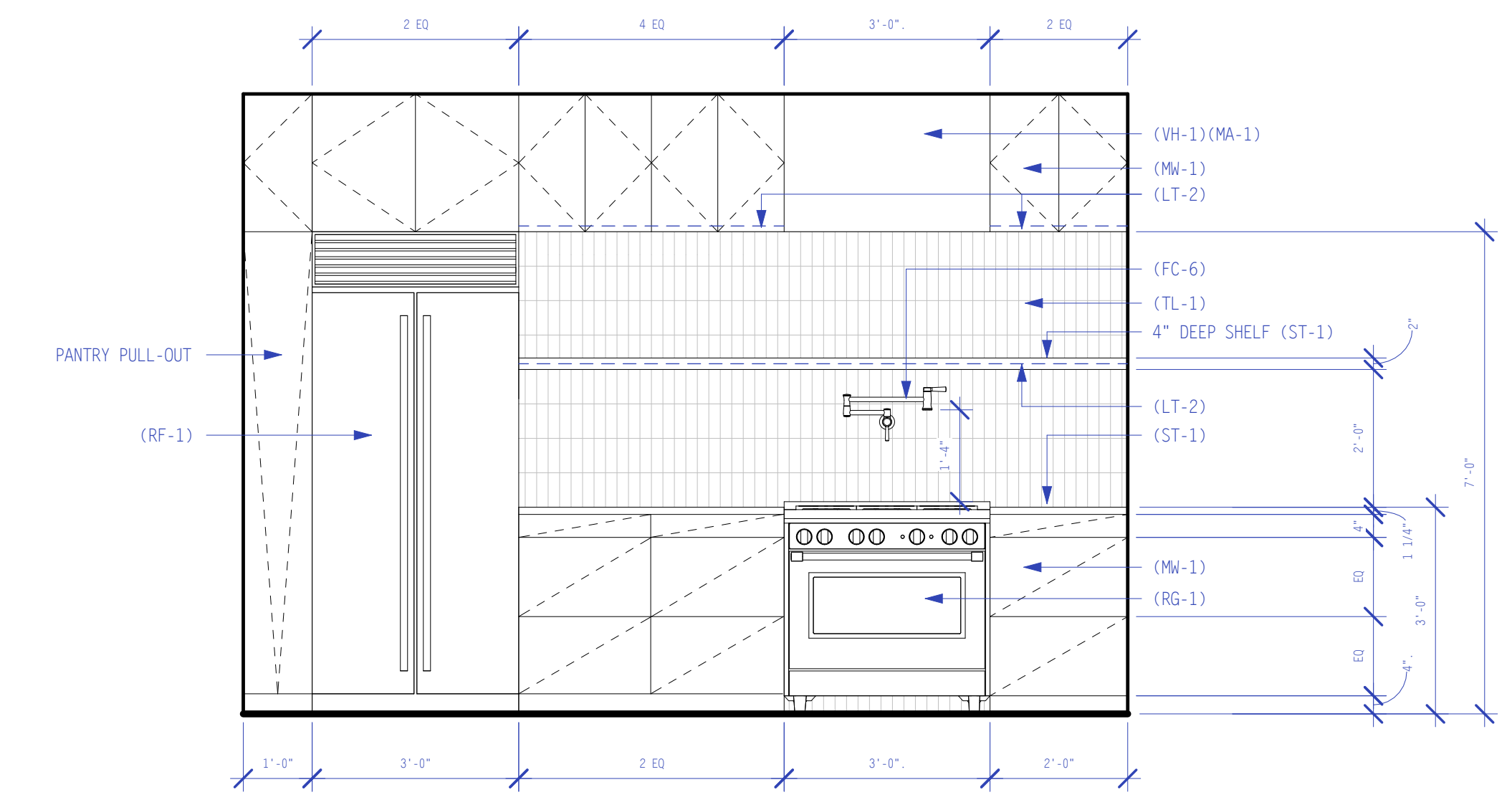


LIVING ROOM, S
3/8" = 1'-0" 1

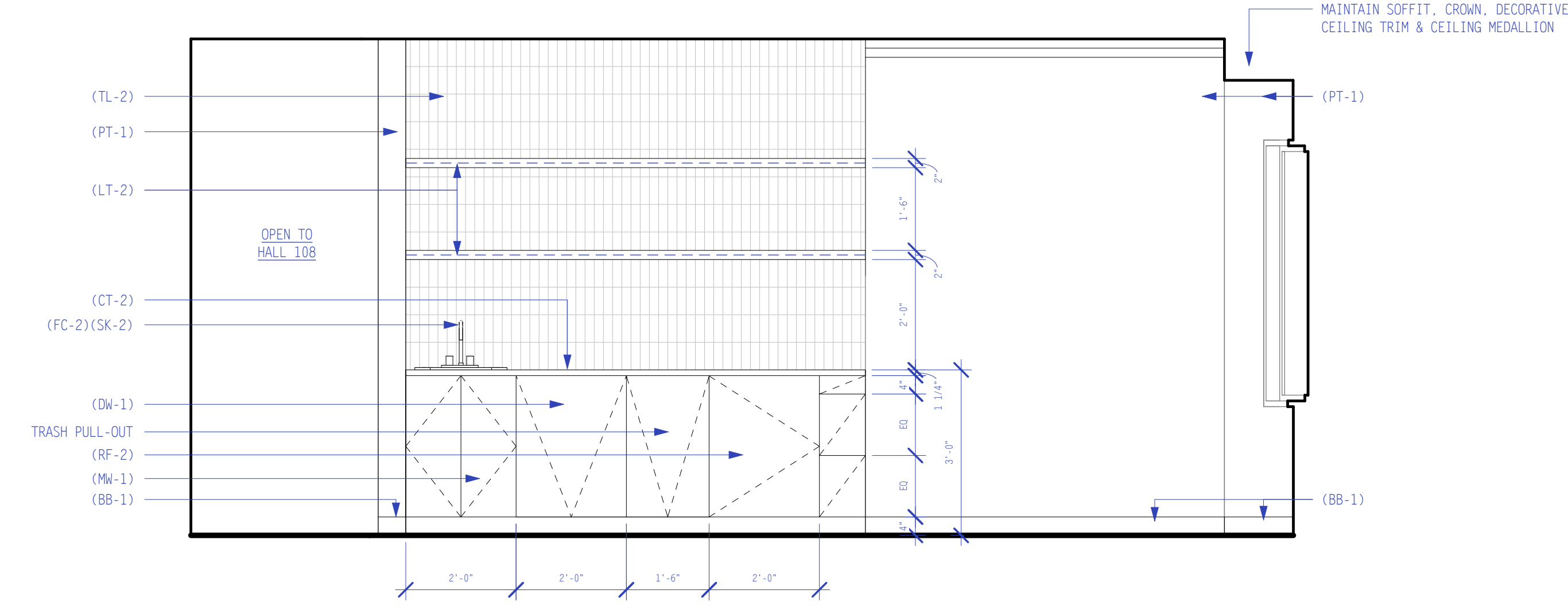




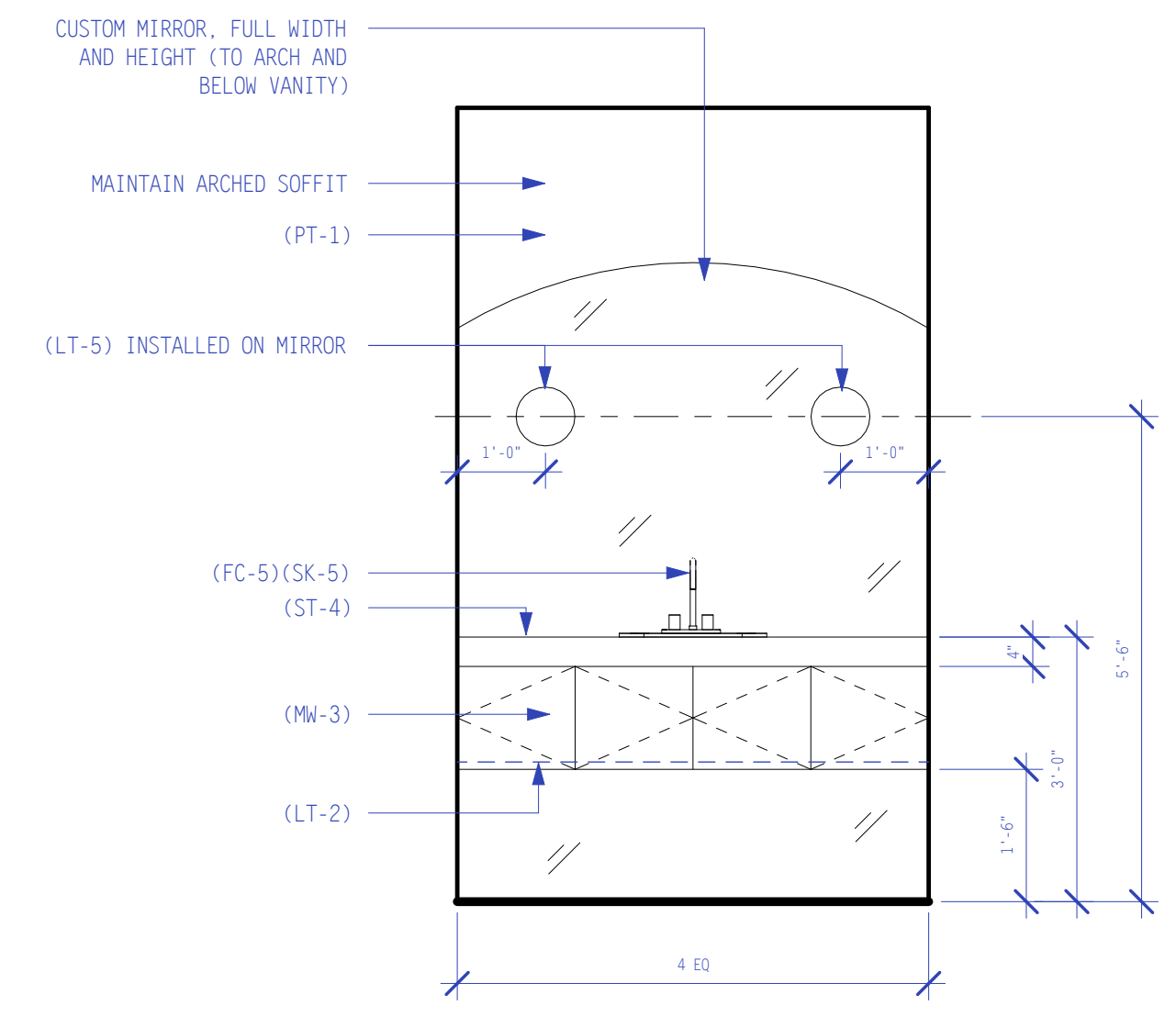
PREP KITCHEN, W
1/2" = 1'-0" 9



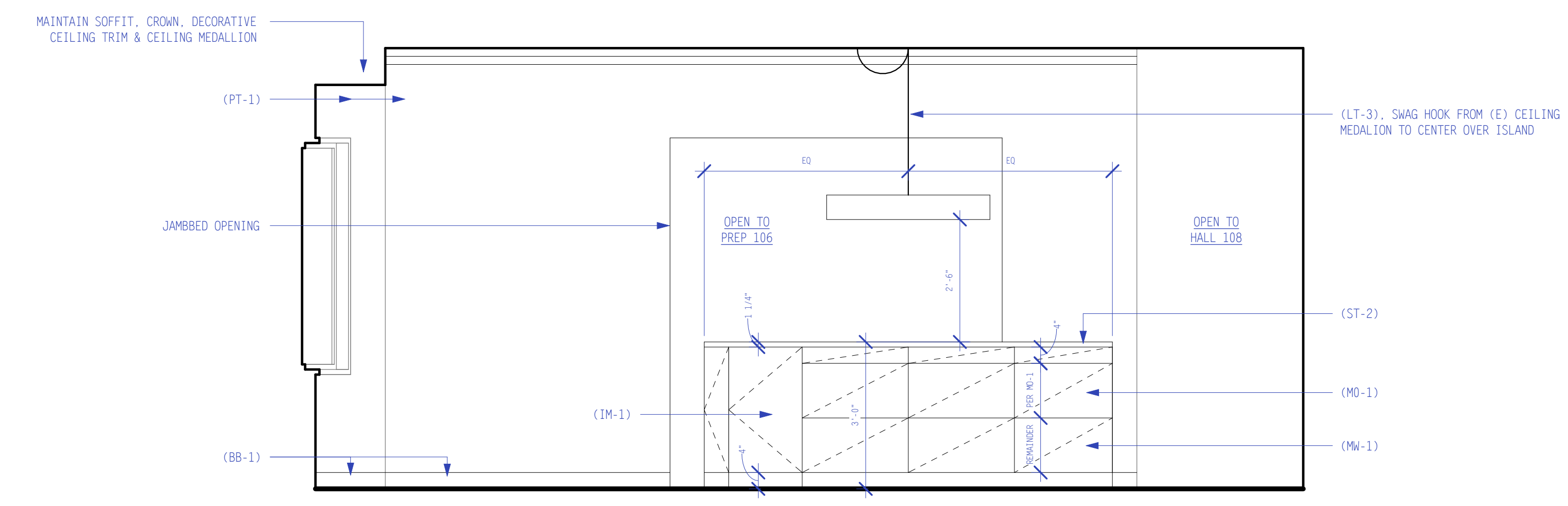
PREP KITCHEN, E
1/2" = 1'-0" 3



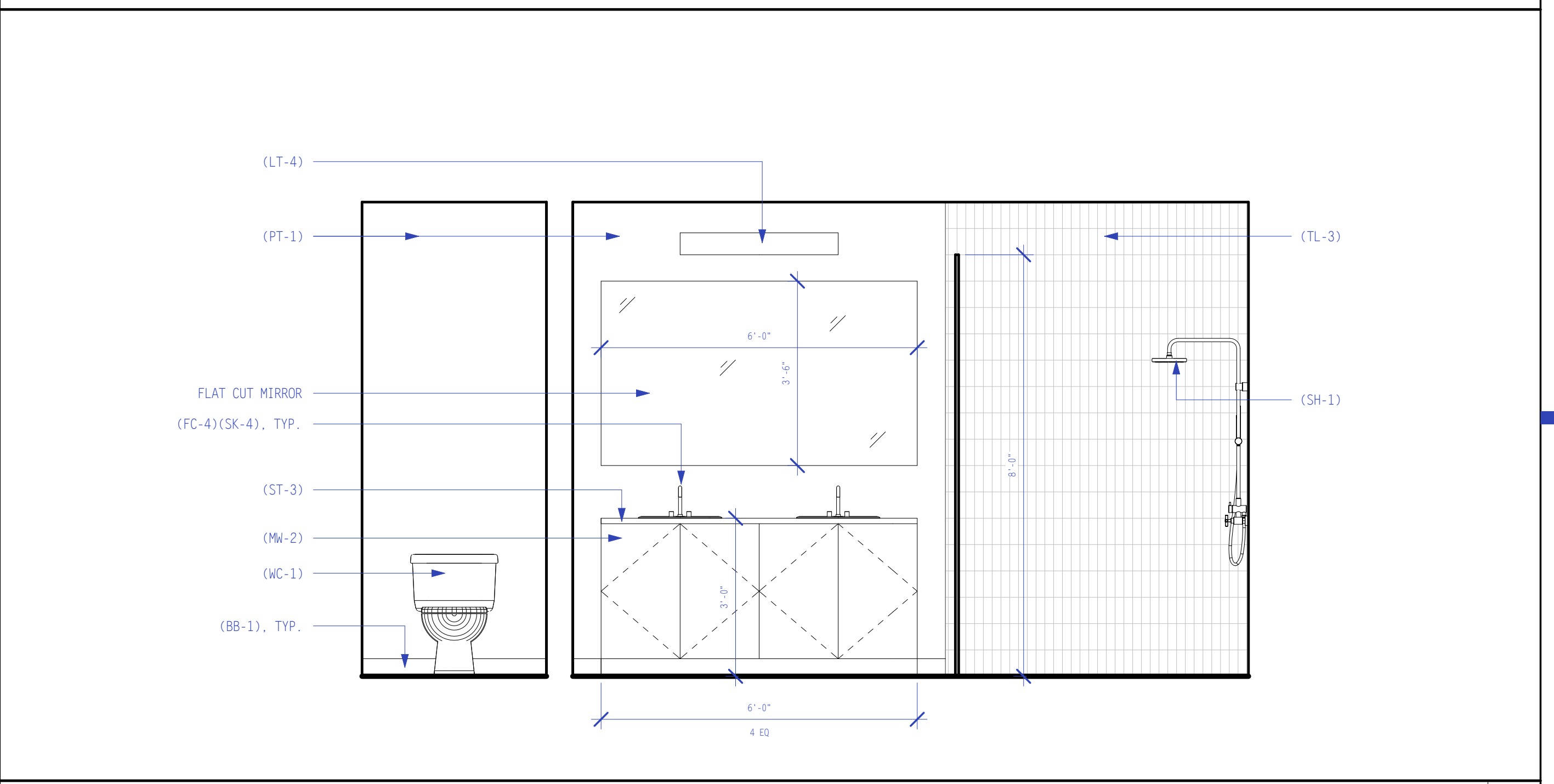
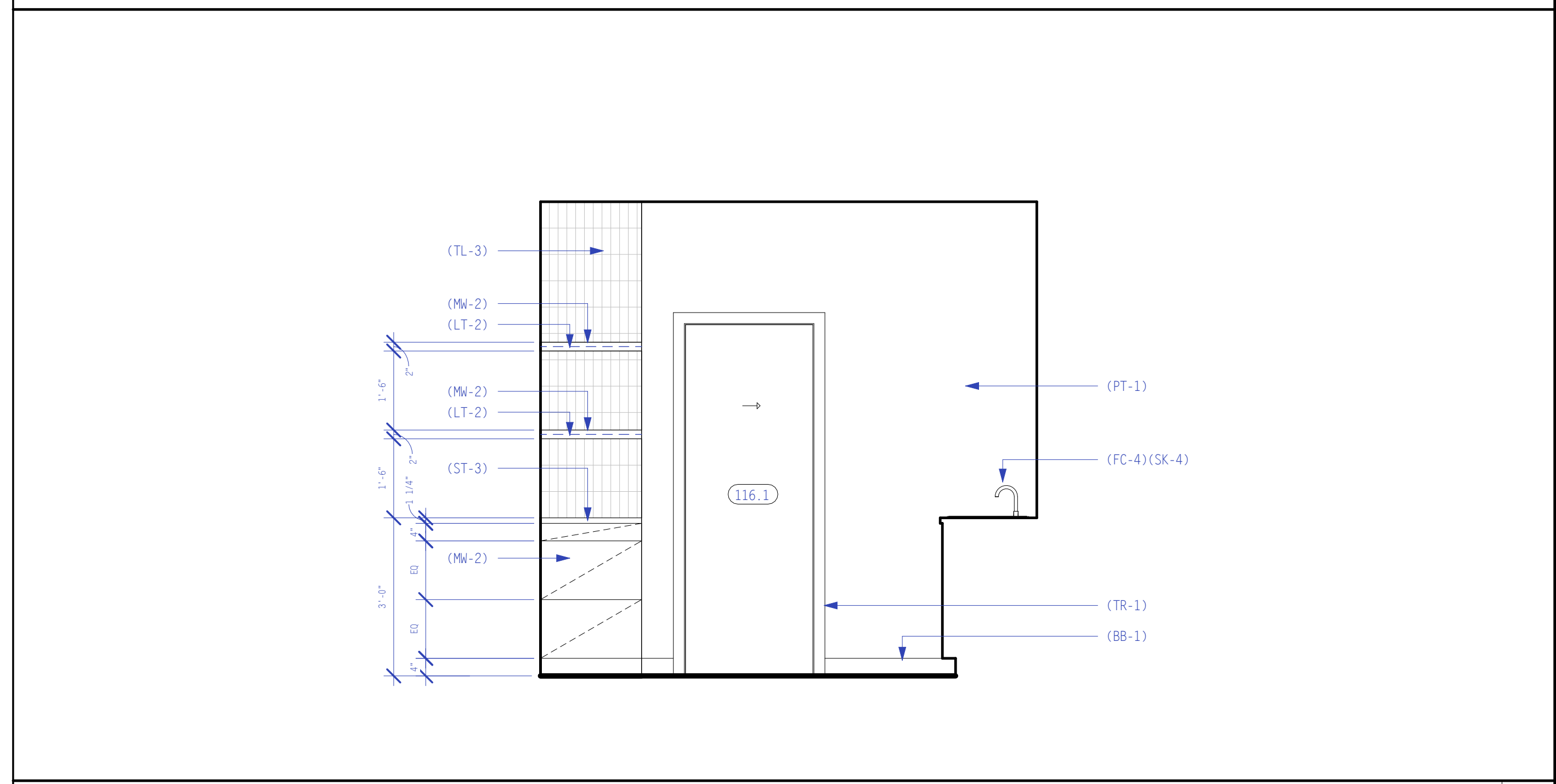
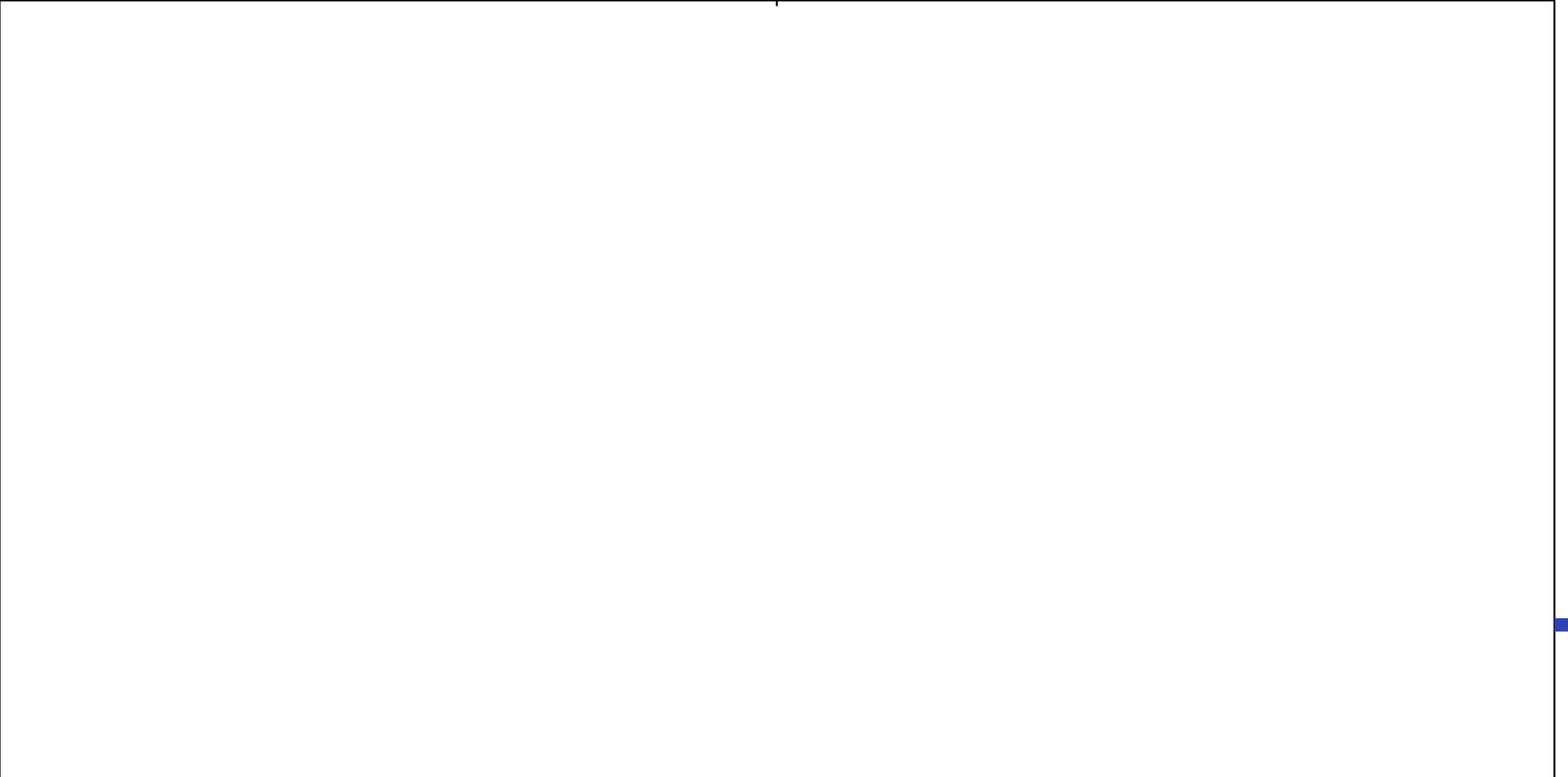
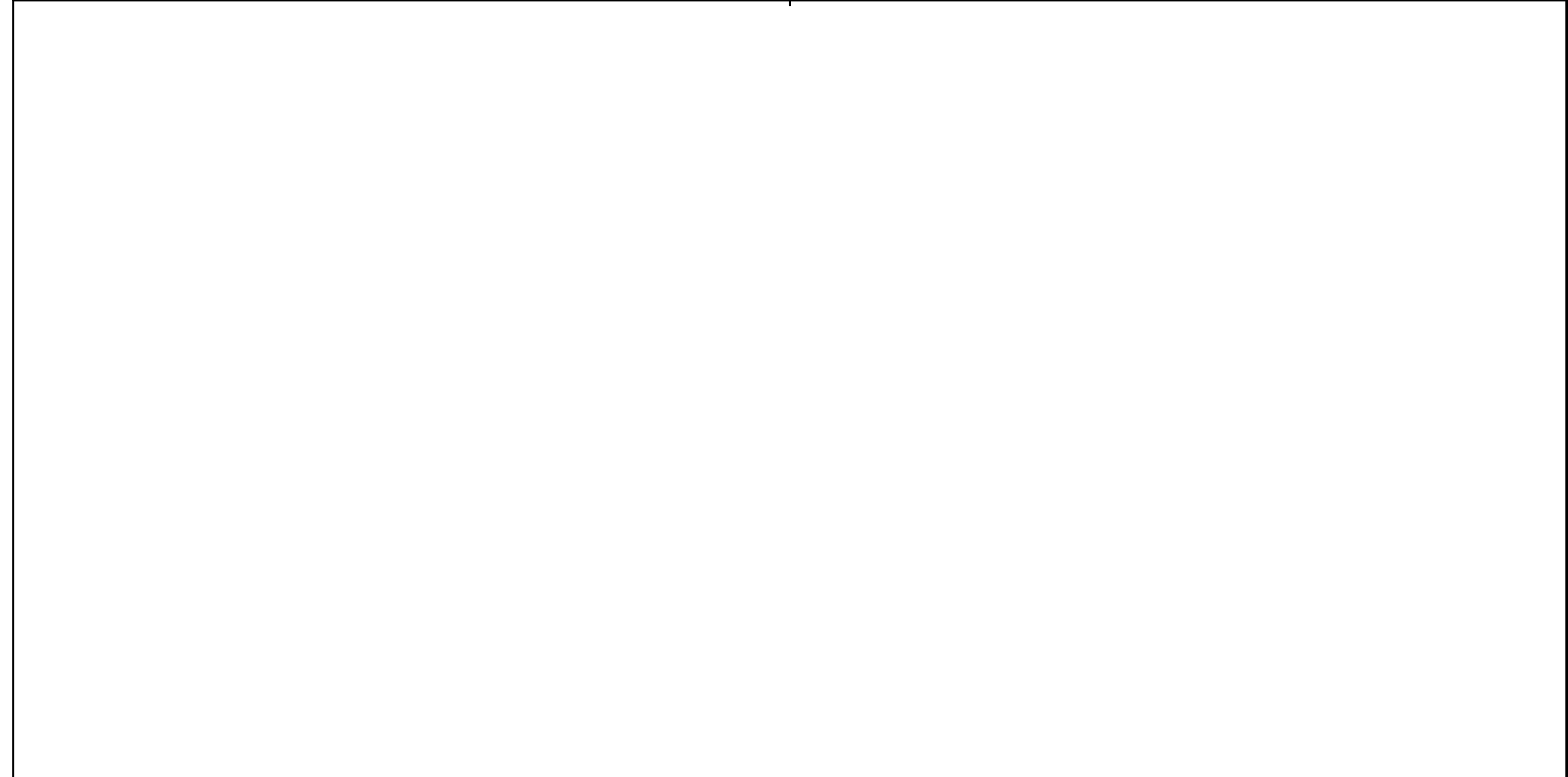
KITCHEN, S
1/2" = 1'-0" 2



POWDER ROOM, S
1/2" = 1'-0" 10

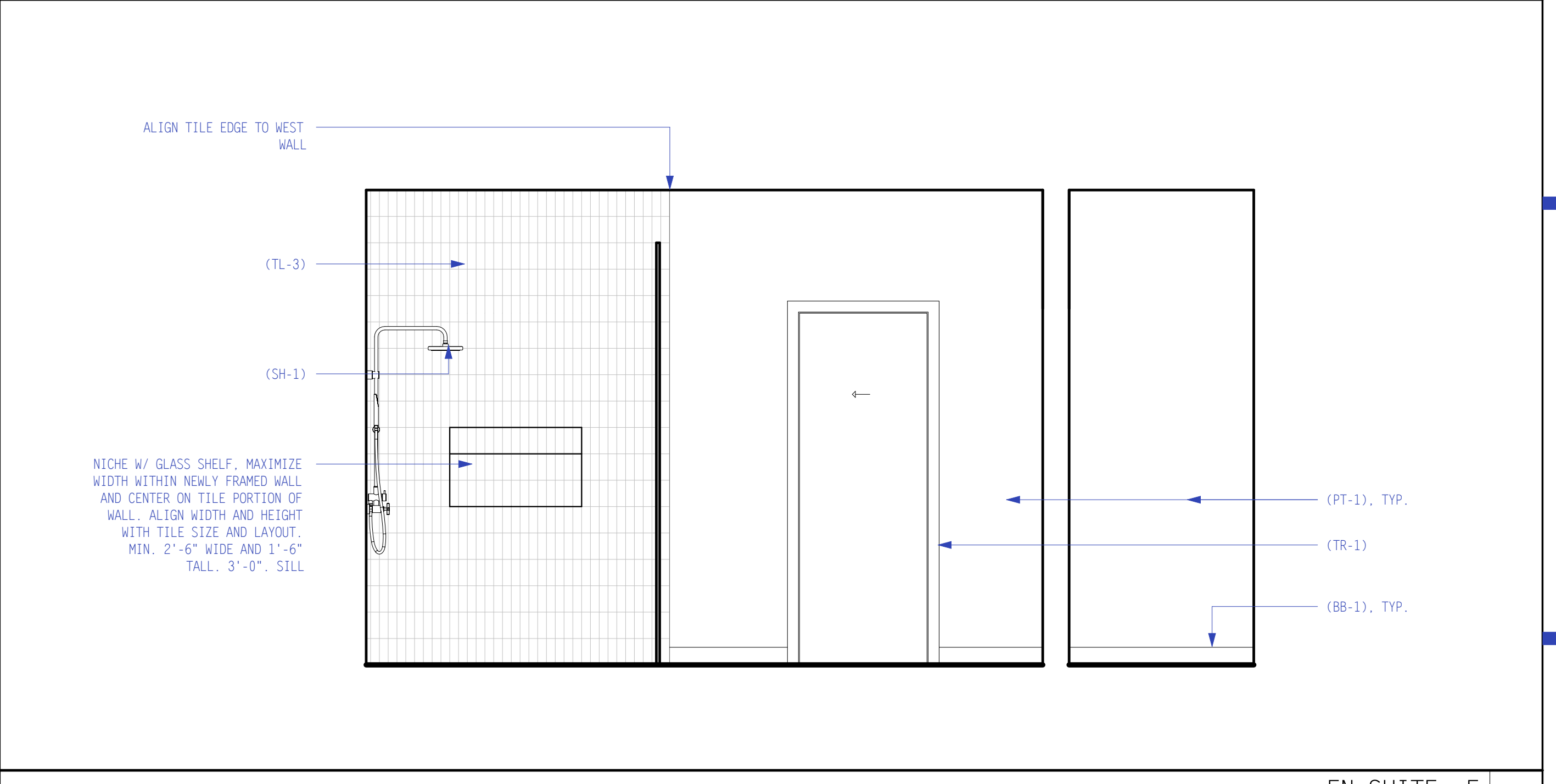
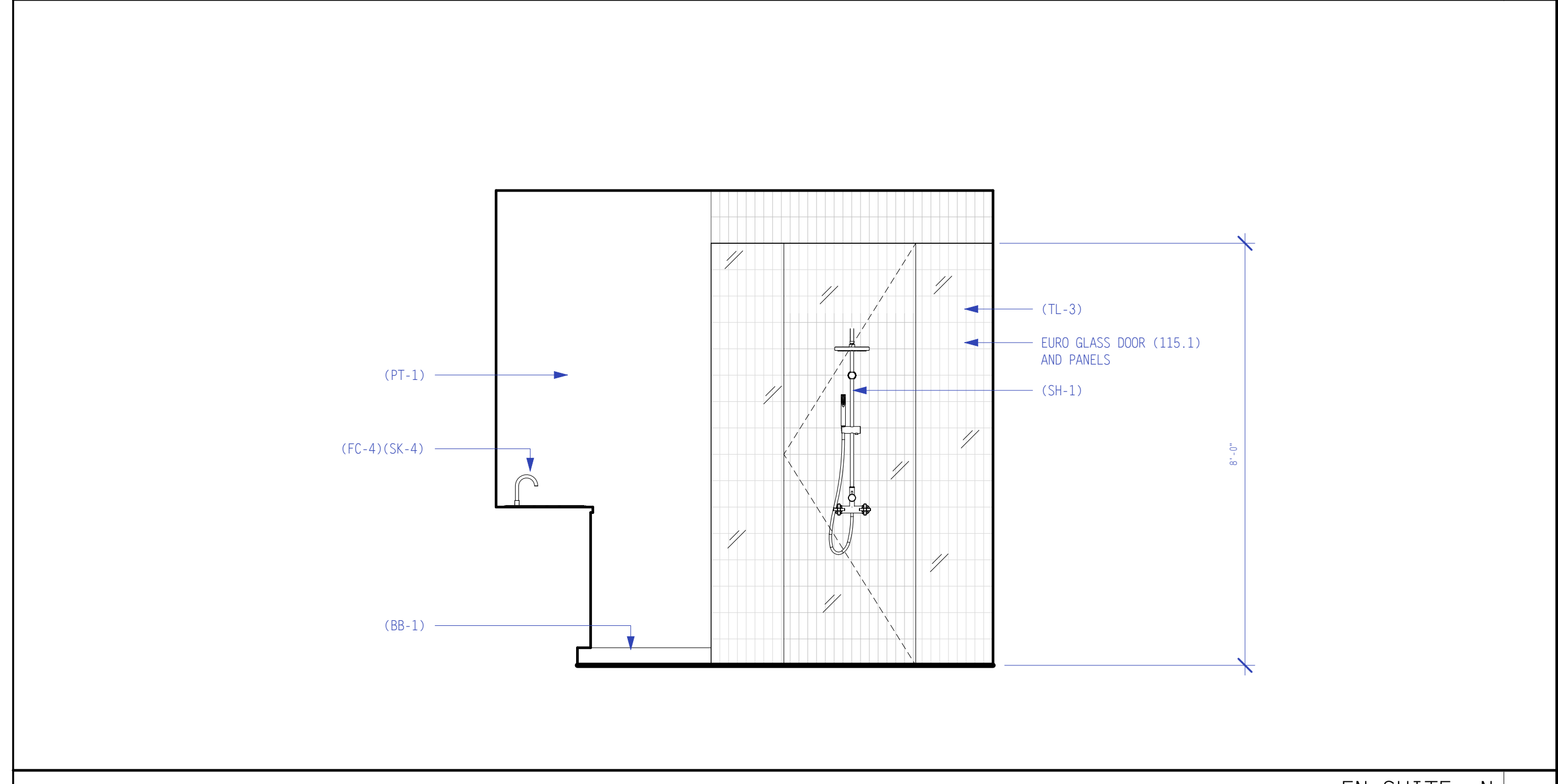


KITCHEN, N
1/2" = 1'-0" 1



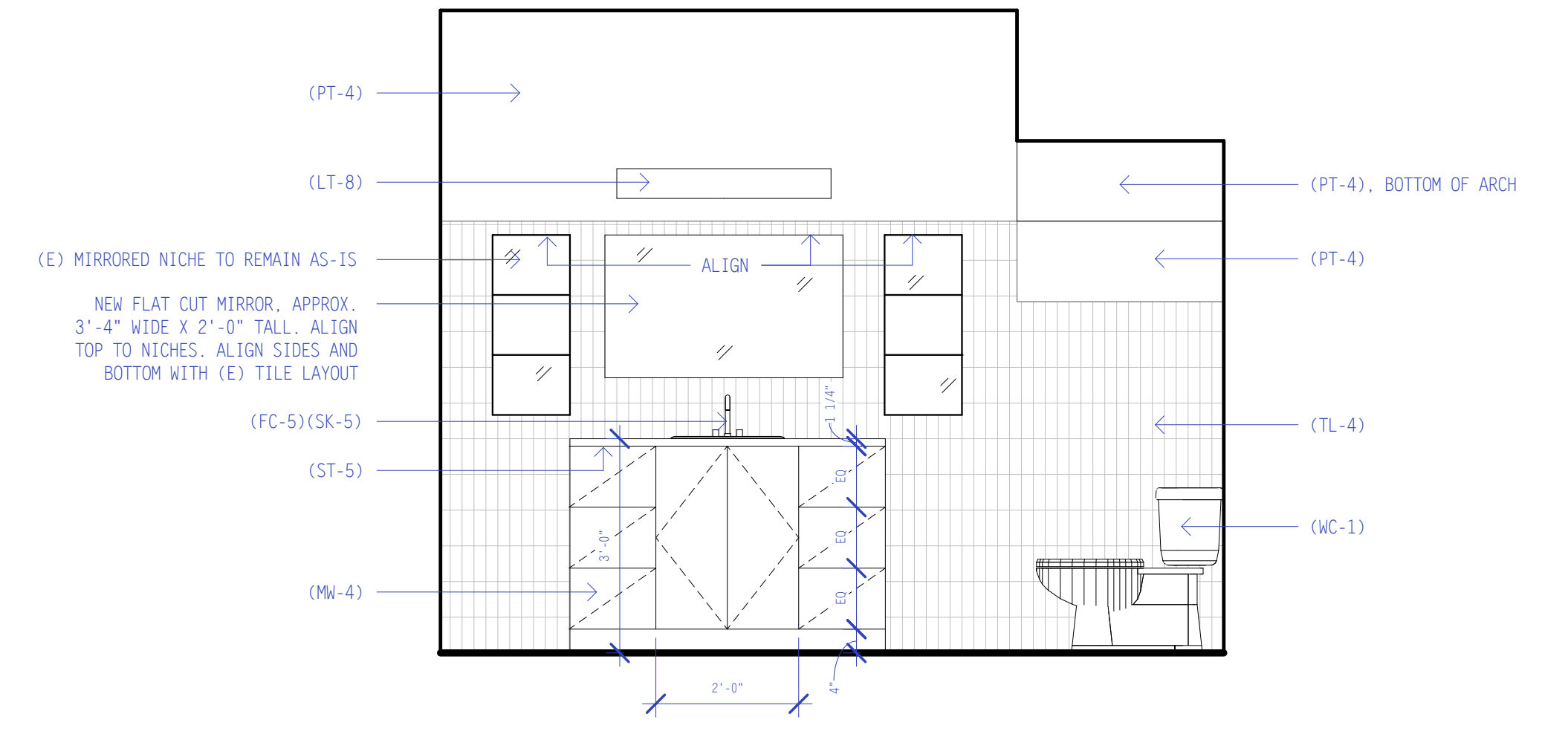
EN SUITE, S
1/2" = 1'-0" 8

EN SUITE, W
1/2" = 1'-0" 2

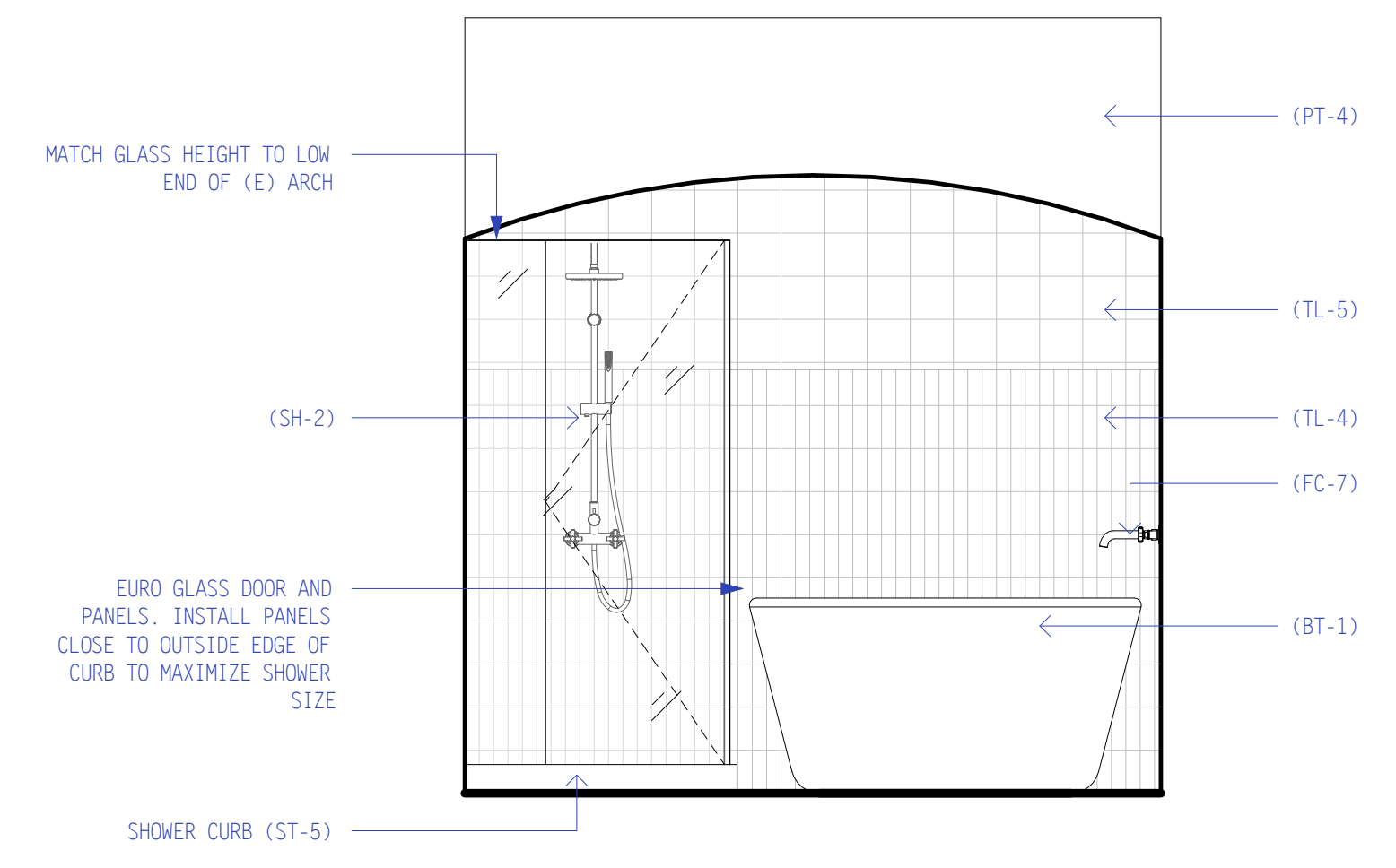


EN SUITE, N
1/2" = 1'-0" 7

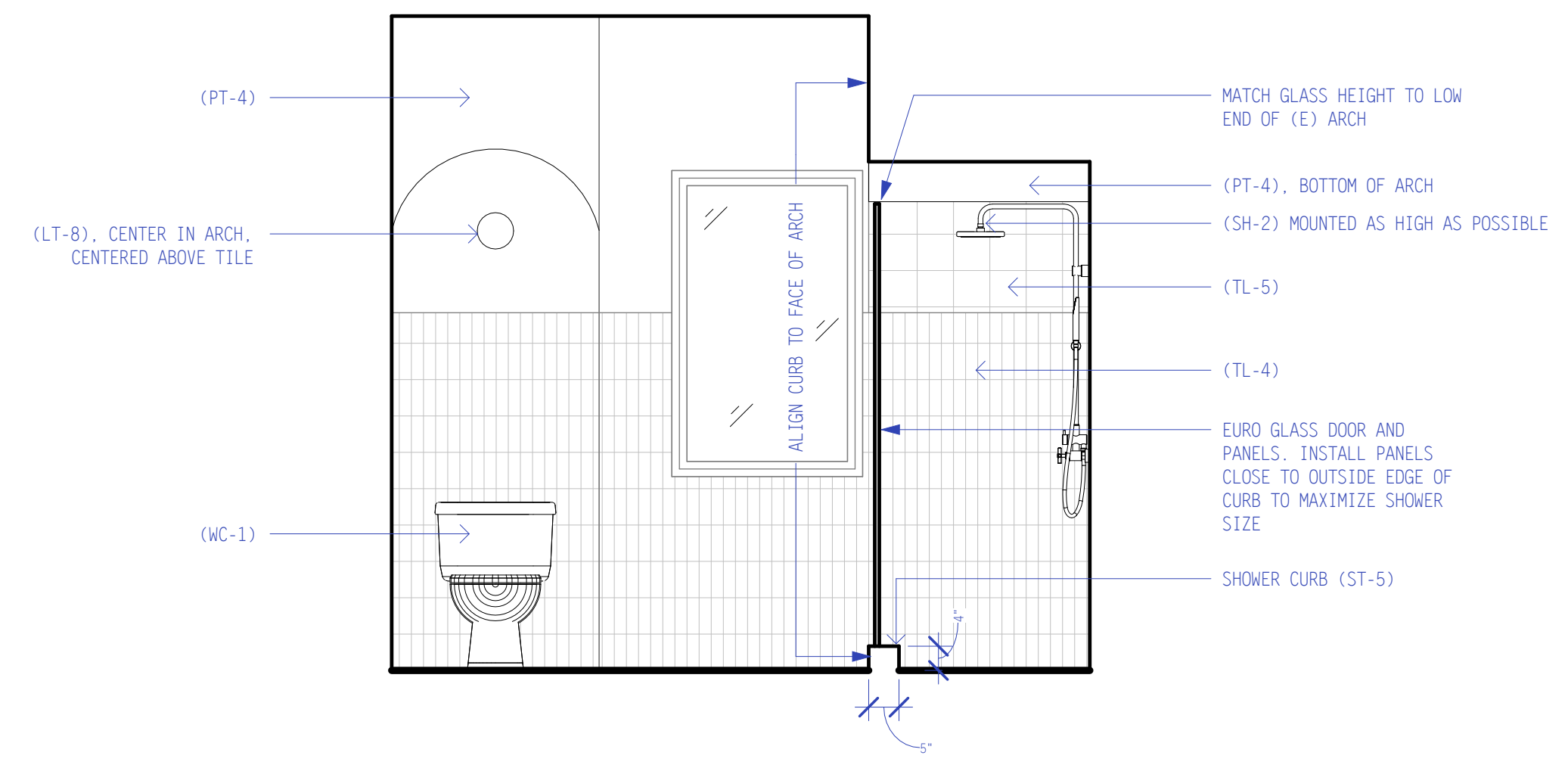
EN SUITE, E
1/2" = 1'-0" 1



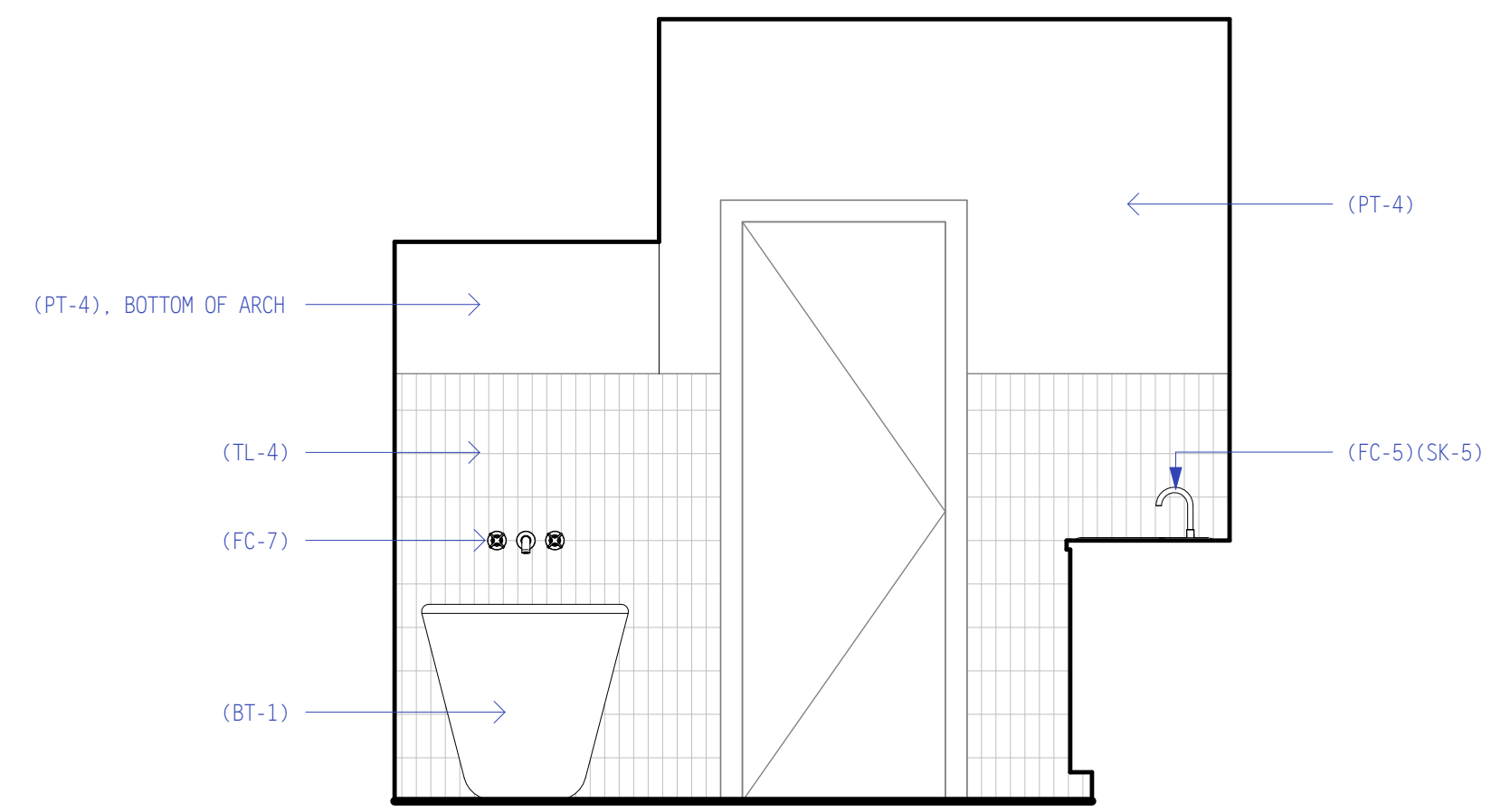
BATHROOM, S
1/2" = 1'-0" 3



BATHROOM, N
1/2" = 1'-0" 2



BATHROOM, W
1/2" = 1'-0" 4



BATHROOM, E
1/2" = 1'-0" 1